

## INDEX TO DRAWINGS

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- 3. SITE OVERVIEW PLAN
- 4. SITE PLAN
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- 6-7. UTILITY PLAN
- 8-10. SEWER PLAN & PROFILE
- 11. EROSION CONTROL PLAN
- 12. LANDSCAPE PLAN
- 13. LANDSCAPE DETAILS
- 14-18. CONSTRUCTION DETAILS
- 1 of 1. TRUCK TURN EXHIBIT
- BUILDING ELEVATIONS (BY OTHERS)

## PERMITS & APPROVALS

<u>TYPE</u>	<u>PERMIT NUMBER</u>	<u>APPROVED</u>
NHDES ALTERATION OF TERRAIN	AOT-1238	4/12/17
	AOT-1740	1/26/20
NHDES SEWER EXTENSION	D2017-0301	4/3/17

## WAIVERS & VARIANCES

- 1) SEE VARIANCE GRANTED BY THE SALEM ZONING BOARD OF ADJUSTMENT ON SEPTEMBER 6, 2016, PETITION #8, TO ALLOW THE PROVISIONS OF THE LARGE SCALE REDEVELOPMENT ORDINANCE (SECTION 490-710, SUBSECTIONS A THROUGH E) TO APPLY TO THE PORTION OF MAP 98 LOT 12502 THAT IS IN THE RESIDENTIAL DISTRICT. (NOTE: MAP 98 LOT 12502 HAS SINCE BEEN SUBDIVIDED.)

## SALEM PLANNING BOARD

1) ON MARCH 9, 2017 THE SALEM PLANNING BOARD GRANTED THE FOLLOWING CONDITIONAL USE PERMITS:

- A) 490-501 B. USE – RESIDENTIAL USE IS NOT ALLOWED IN THE COMMERCIAL-INDUSTRIAL C DISTRICT
- B) 490-501 C. BUILDING SETBACK – THE MINIMUM PROPOSED BUILDING SETBACKS ARE 10' FRONT, 10' SIDE AND 10' REAR.
- C) 490-501 C. BUILDING HEIGHT – 3 STORY BUILDINGS ARE PROPOSED IN THE RESIDENTIAL DISTRICT WHERE 2½ STORIES ARE ALLOWED.

2) ON MARCH 9, 2017 THE SALEM PLANNING BOARD VOTED TO APPROVE THE VILLAS AT NORTH TUSCAN VILLAGE SITE PLAN SUBJECT TO THE FOLLOWING CONDITIONS:

2) ON MARCH 9, 2017 THE SALEM PLANNING BOARD VOTED TO APPROVE THE VILLAS AT NORTH TUSCAN VILLAGE SITE PLAN SUBJECT TO THE FOLLOWING CONDITIONS:

PRIOR TO BUILDING PERMIT:

1. PAY FOR OUTSIDE INSPECTIONS PER DIRECTION OF ENGINEERING DEPT.;
2. SUBMIT STATE PERMITS/APPROVALS (SEWER EXTENSION, ALTERATION OF TERRAIN)
3. COMPLY WITH LOCAL FLOODPLAIN DEVELOPMENT REGULATIONS;
4. NOTE CONDITIONAL USE PERMITS ON PLAN;
5. SUBMIT CONSTRUCTION ACCESS PLAN;
6. NOTE NO USE OF CENTRAL STREET (BEYOND EXISTING LIMIT) UNTIL CENTRAL STREET/MAIN STREET IMPROVEMENT IS COMPLETED;
7. INSTALL WELL FOR IRRIGATION AND NOTE ON PLAN;
8. SUBMIT APPROVAL FROM ENGINEERING DIVISION PER 3/9/17 MEMO;
9. SUBMIT APPROVAL FROM ROCKINGHAM COUNTY CONSERVATION DISTRICT;
10. SUBMIT APPROVAL FROM DESIGN GUIDELINES CONSULTANT;
11. NOTE NO MORE THAN 50 UNITS TO BE BUILT PER YEAR;
12. ADD REVISED ELEVATION DRAWINGS TO PLANS;

12. ADD REVISED ELEVATION DRAWINGS TO PLANS,  
PRIOR TO OCCUPANCY:

13. PAY IMPACT FEES - \$4577/UNIT;
14. CONSTRUCT ALL SITE IMPROVEMENTS (INCLUDING BUILDING LOCATION, DIMENSIONS, SETBACKS, SITE GRADING, UTILITIES, DRAINAGE, LANDSCAPING, LIGHTING, PARKING SPACES) IN ACCORDANCE TO APPROVED PLAN;
15. PROVIDE CERTIFIED AS-BUILT SITE PLAN;
16. COMPLETE IMPROVEMENTS NOTED IN TRAFFIC MITIGATION TABLE;

OTHER:

17. ALL REPRESENTATIONS MADE BY APPLICANT OR AGENTS AND ALL NOTES ON PLANS ARE INCORPORATED AS PART OF APPROVAL

3) ON NOVEMBER 26, 2019 THE SALEM PLANNING BOARD GRANTED THE FOLLOWING WAIVER FOR PHASE 2:

A) 490-501 C. BUILDING SETBACK - THE MINIMUM PROPOSED BUILDING SETBACKS ARE 15' FRONT, 10' SIDE, 18' REAR (BUILDING) AND 12' REAR (BULKHEAD).

4) ON NOVEMBER 26, 2019 THE SALEM PLANNING BOARD VOTED TO APPROVE THE AMENDED PHASE 2 SITE PLAN SUBJECT TO THE FOLLOWING CONDITIONS:

PRIOR TO BUILDING PERMIT:

1. SUBMIT APPROVAL FROM ENGINEERING DIV. PER 11/26/19 MEMO;
2. SUBMIT APPROVAL FROM DESIGN REVIEW CONSULTANT;
3. PAY FOR OUTSIDE INSPECTIONS PER DIRECTION OF ENGINEERING DIV.;
4. SUBMIT STATE PERMITS (SEWER EXTENSION, ALTERATION OF TERRAIN);
5. NOTE CONDITIONAL USE PERMIT FOR REDUCED BUILDING SETBACKS ON PLAN;
6. SUBMIT APPROVAL FROM ARLITTER FOR PLANTINGS OVER LOT LINE.

PRIOR TO OCCUPANCY:

7. PAY IMPACT FEES - \$5,749 PER UNIT;
8. RECORD EASEMENT FOR DRIVEWAY ON LOT 1101;
9. CONSTRUCT ALL SITE IMPROVEMENTS (INCLUDING BUILDING LOCATIONS, DIMENSIONS, AND SETBACKS, SITE GRADING, UTILITIES, DRAINAGE, LANDSCAPING, LIGHTING, PARKING SPACES) IN ACCORDANCE WITH APPROVED PLAN;
10. PROVIDE CERTIFIED AS-BUILT SITE PLAN FOR EVERY 10 UNITS;

OTHER:  
11. ALL REPRESENTATIONS MADE BY APPLICANT OR AGENTS AND ALL NOTES ON PLANS ARE INCORPORATED AS PART OF APPROVAL.

# **AMENDED SITE DEVELOPMENT PLANS**

## **THE VILLAS AT**

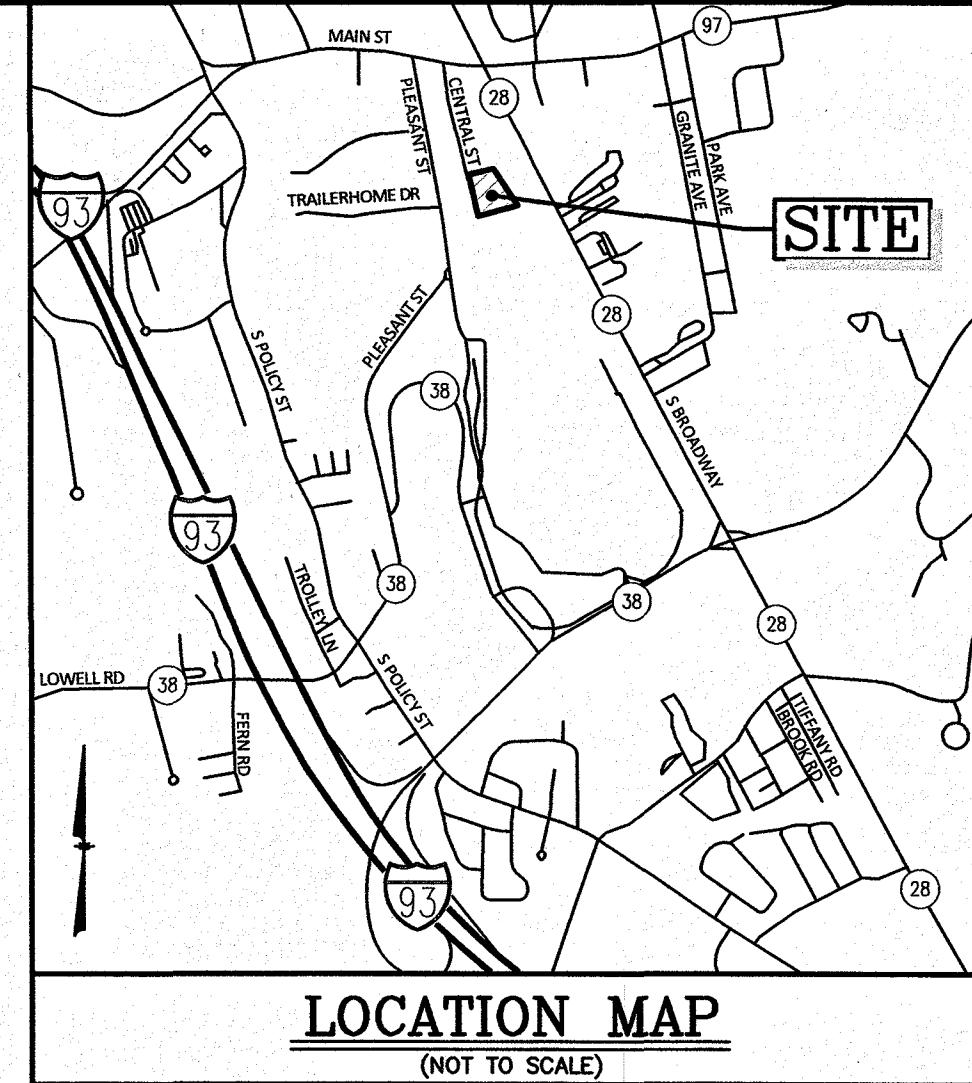
## **NORTH TUSCAN VILLAGE**

### **PHASE 2**

**SALEM PROPERTY MAP 98 LOT 12542**  
**11 CENTRAL STREET**  
**SALEM, NEW HAMPSHIRE**



*Prepared for:*  
**BLACK BROOK REALTY  
TUSCAN VILLAGE NORTH, LLC  
17 MAIN STREET  
HOPKINTON, MASSACHUSETTS 01748**

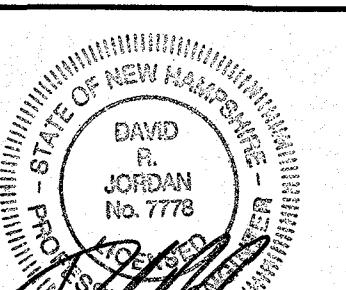
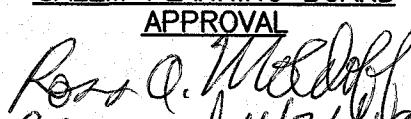


8	REVISE SHEETS 12 & 13	DRJ	2/3/20
7	ADD AOT APPROVAL TO COVER	PWM	1/27/20
6	REVISE SHEET 16	DRJ	1/22/20
5	REVISE SHEETS 6-7, 9-10, 15 & 18	DRJ	1/13/20
4	REVISE SHEETS 2-12, 16 & 18	DRJ	1/7/20
3	ADD CONDITIONS OF APPROVAL, REVISE ALL SHEETS	DRJ	12/16/19
2	REVISIONS PER REVIEW COMMENTS	DRJ	11/8/19
1	REVISE SHEETS 5-7 & 12	PWM	10/24/19
	DESCRIPTION	DRJ	10/24/19

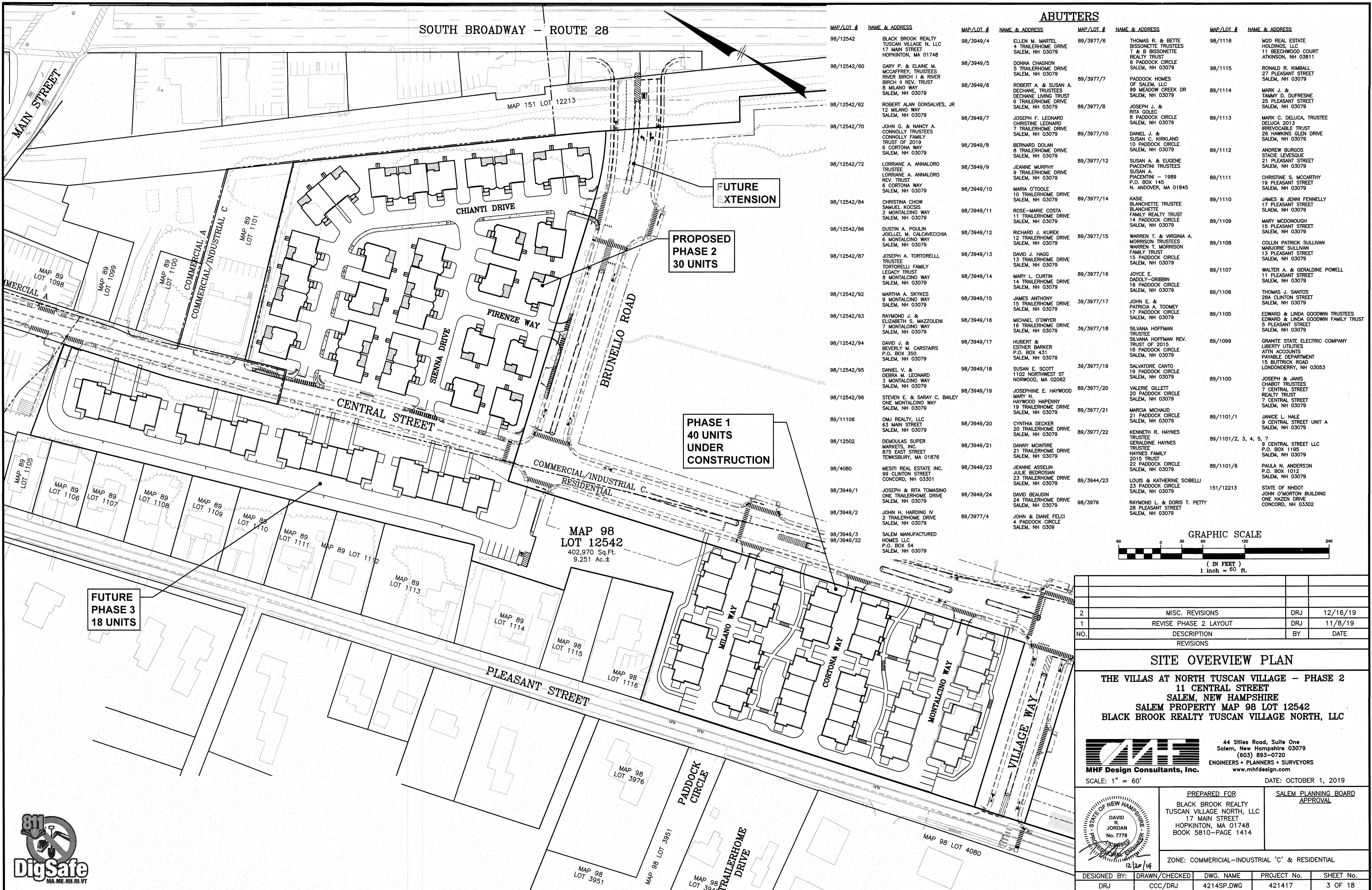
**TITLE SHEET**

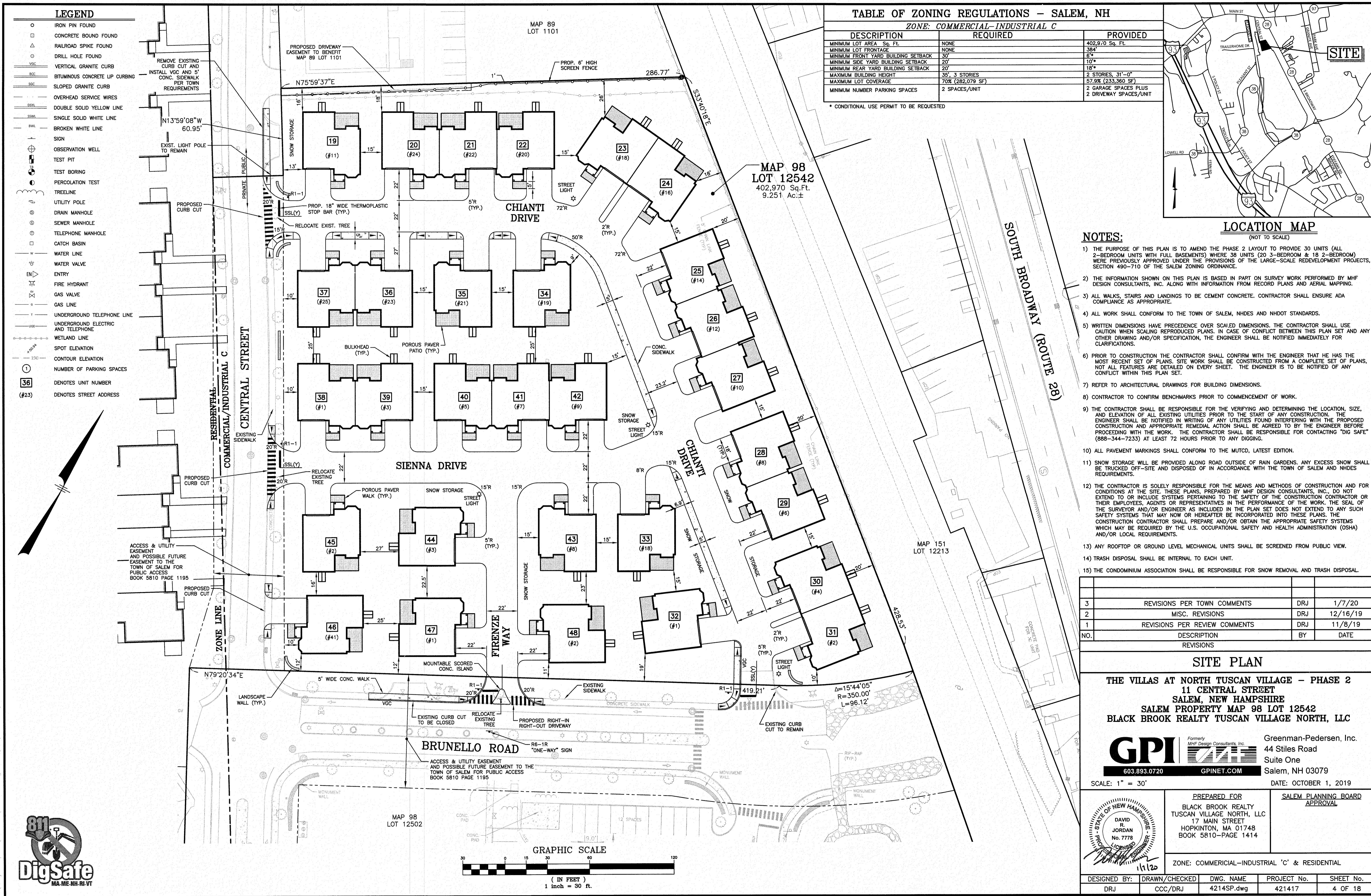
**THE VILLAS AT NORTH TUSCAN VILLAGE - PHASE 2  
11 CENTRAL STREET  
SALEM, NEW HAMPSHIRE  
SALEM PROPERTY MAP 98 LOT 12542  
BLACK BROOK REALTY TUSCAN VILLAGE NORTH, L.L.C.**

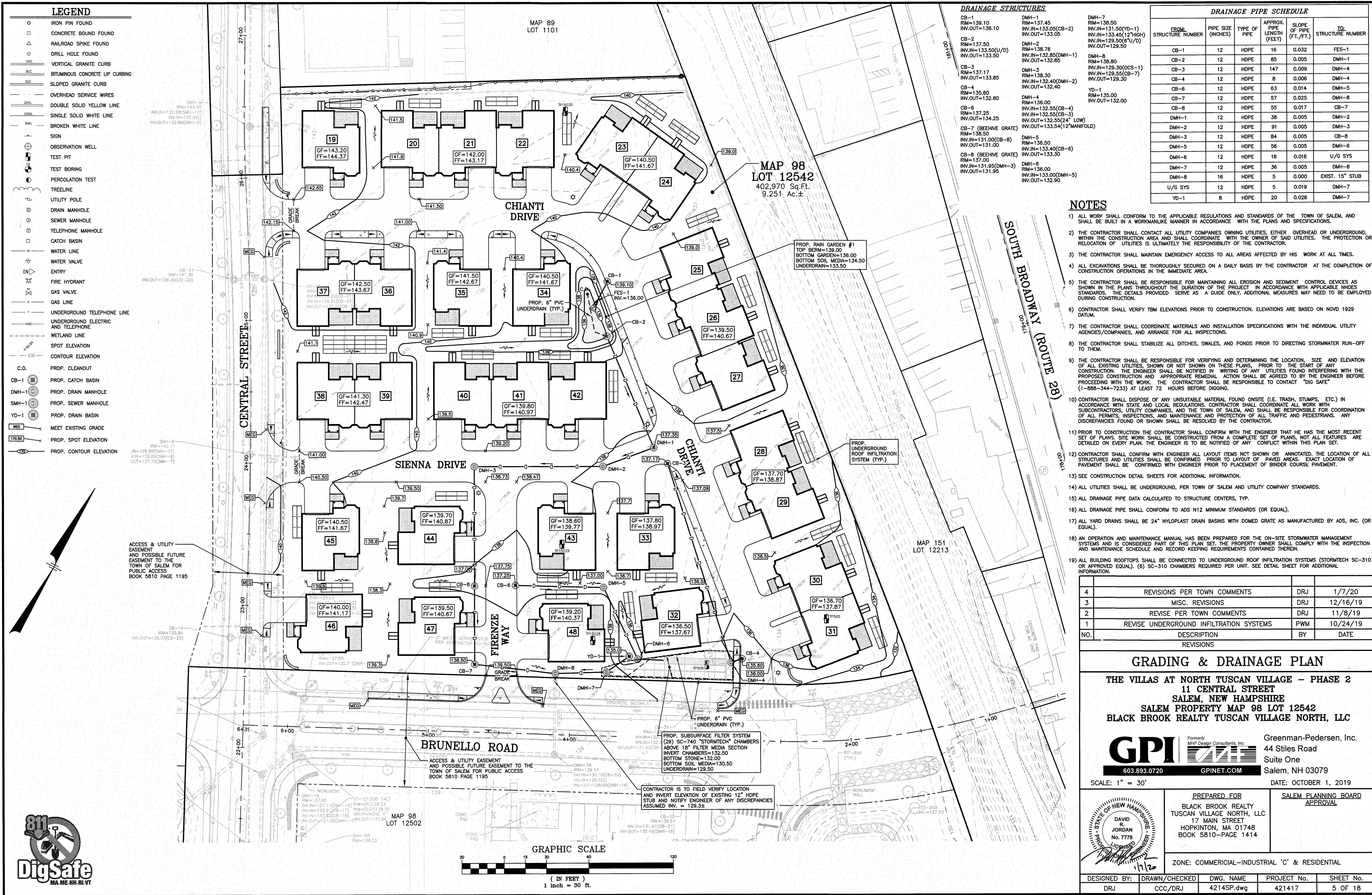
**GPI** | Formerly  
MHF Design Consultants, Inc.  
44 Stiles Road  
Suite One  
Salem, NJ 07870  
609.862.8722  
GPI.NET.COM

603.893.0720	GPINET.COM	Salem, NH 03079		
SCALE: NONE	DATE: OCTOBER 1, 2019			
 2/3/20	<u>PREPARED FOR</u> BLACK BROOK REALTY TUSCAN VILLAGE NORTH, LLC 17 MAIN STREET HOPKINTON, MA 01748  BOOK 5810-PAGE 1414	<u>SALEM PLANNING BOARD</u> <u>APPROVAL</u>  Approved 11/26/19 Signed 2/4/20		
	ZONE: COMMERCIAL-INDUSTRIAL 'C' & RESIDENTIAL			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
DRJ	CCC/DRJ	4214TH.DWG	421417	1 OF 18

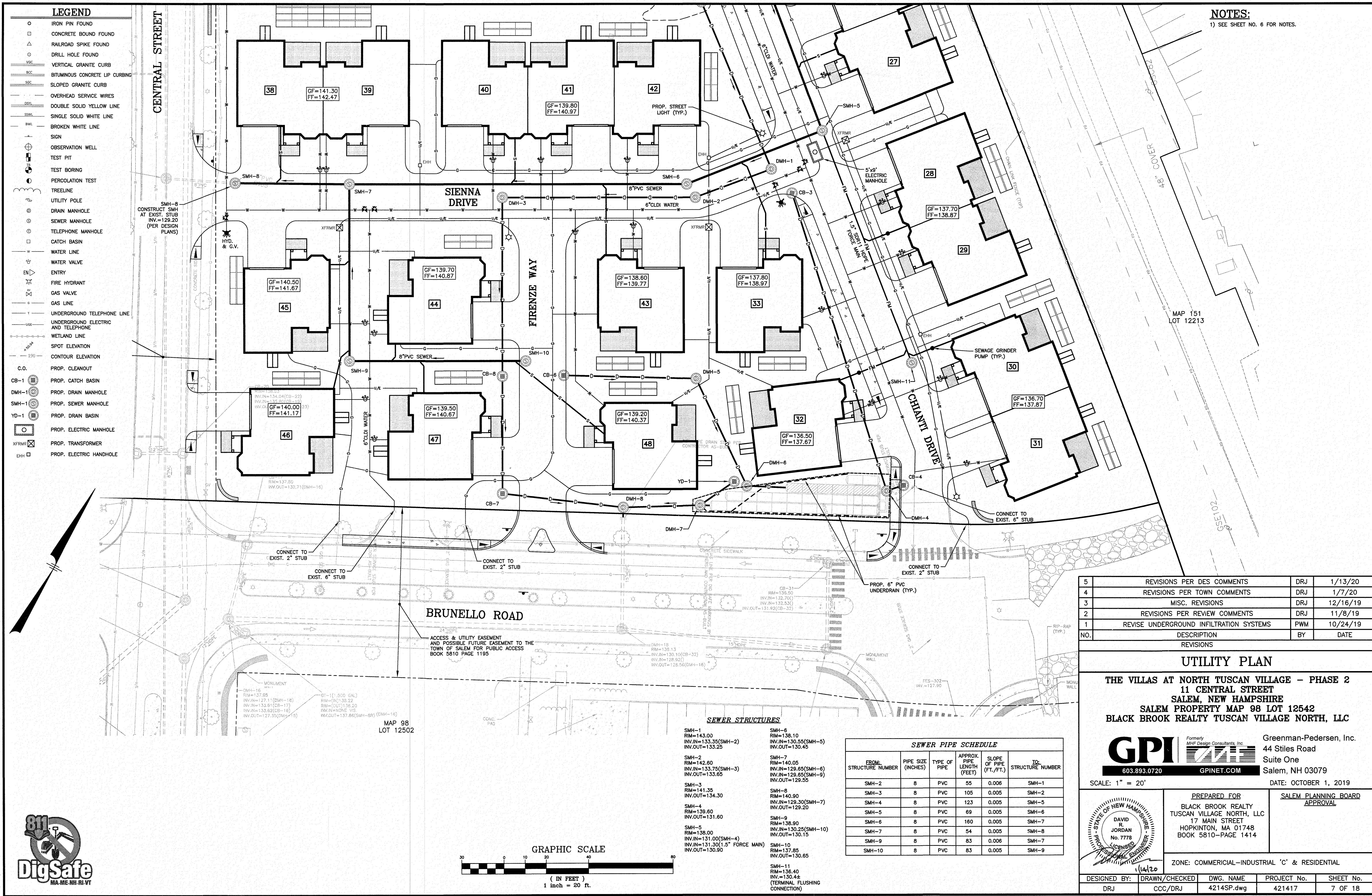




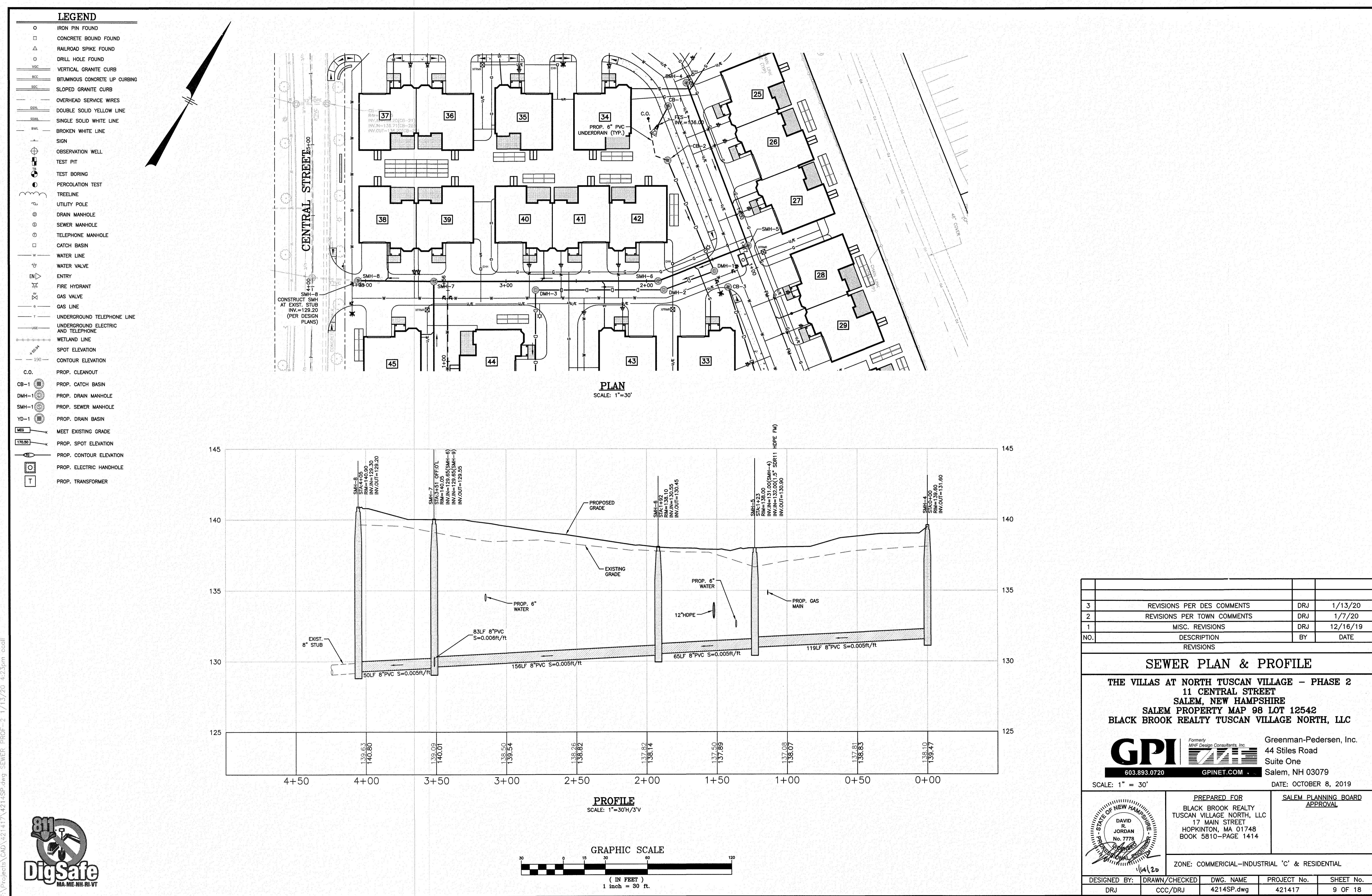


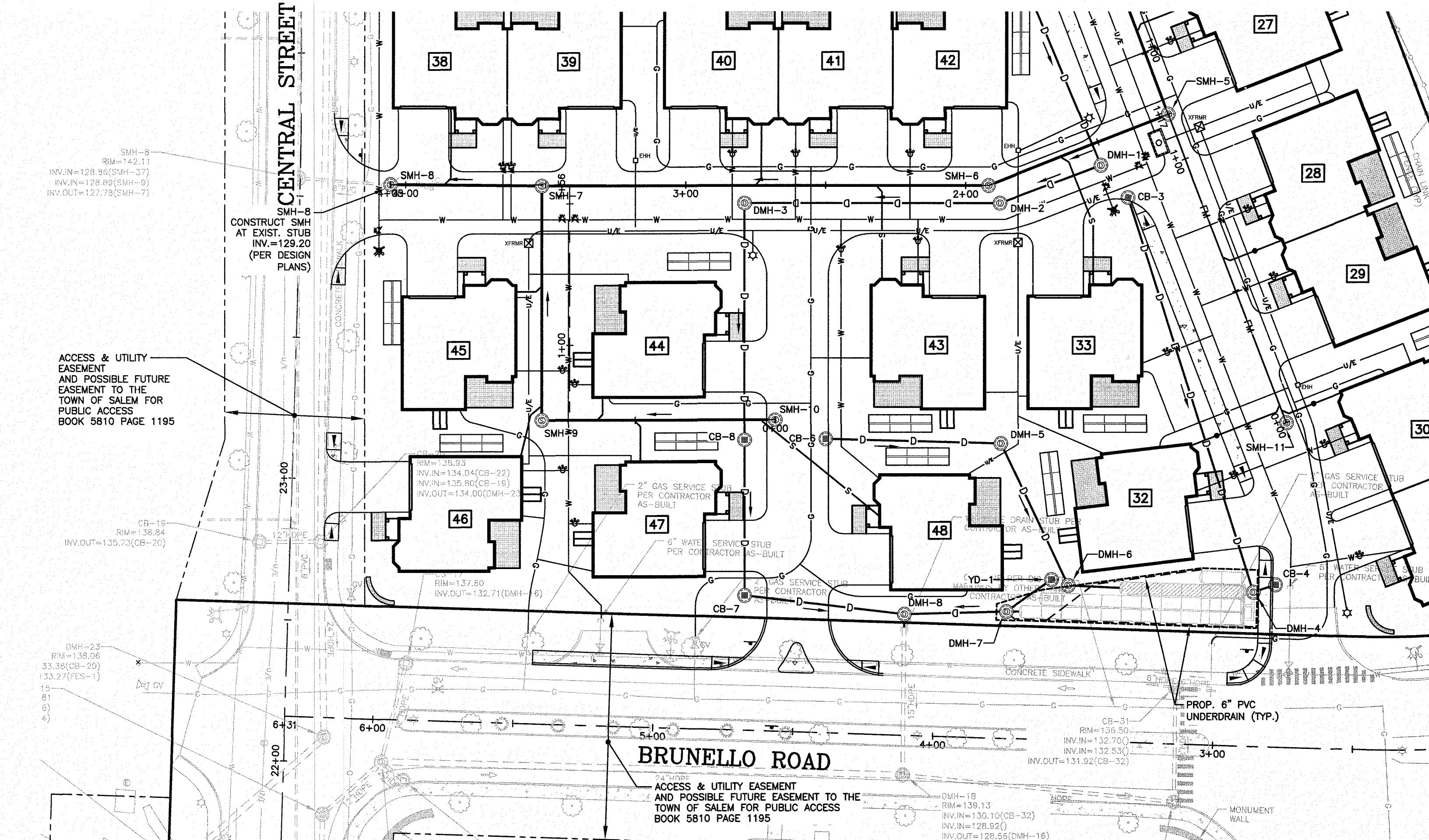
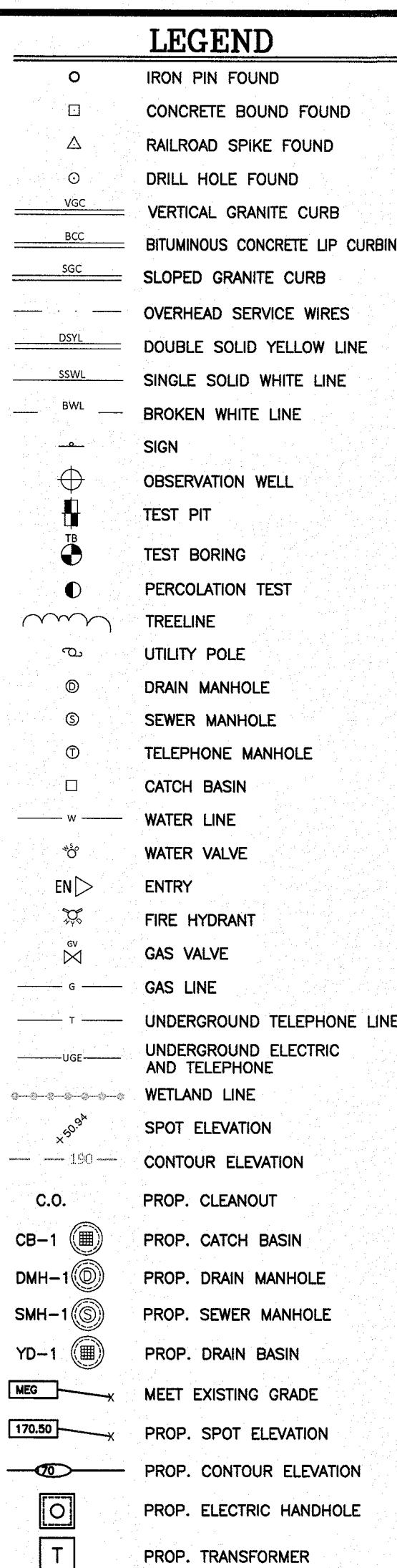






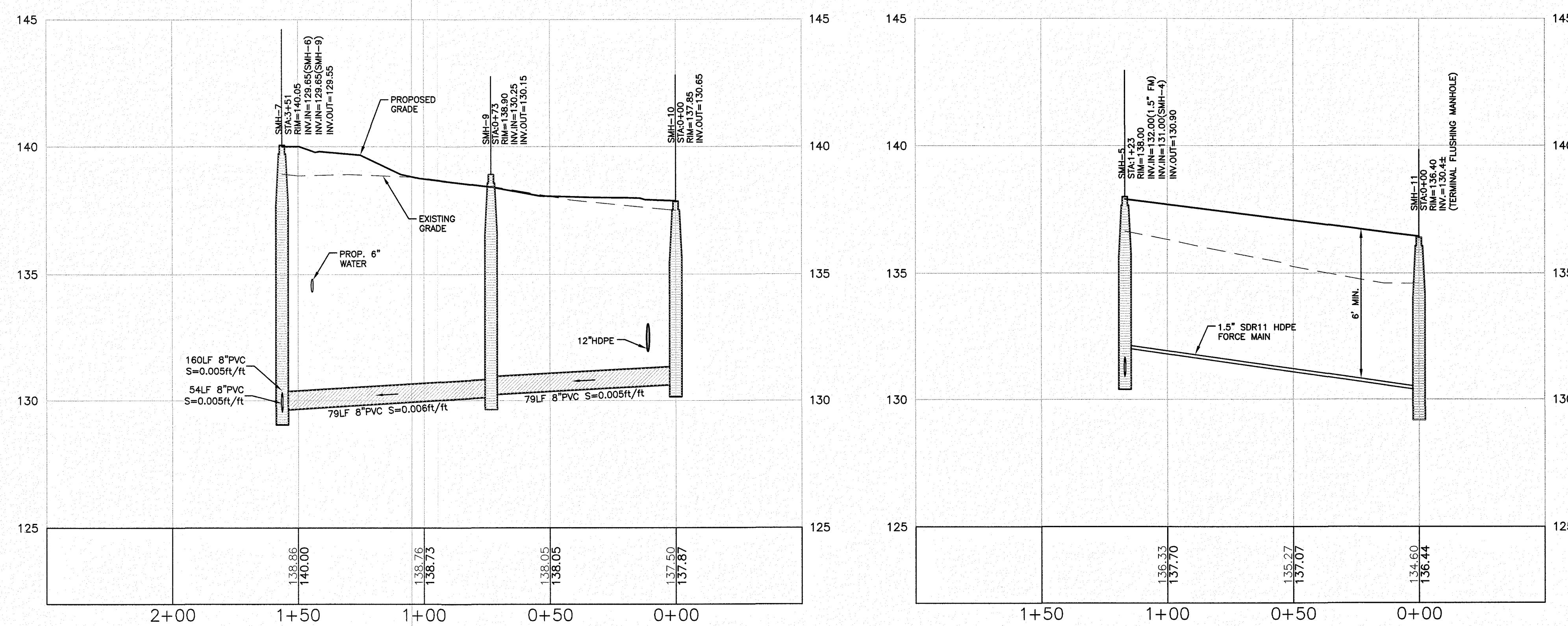






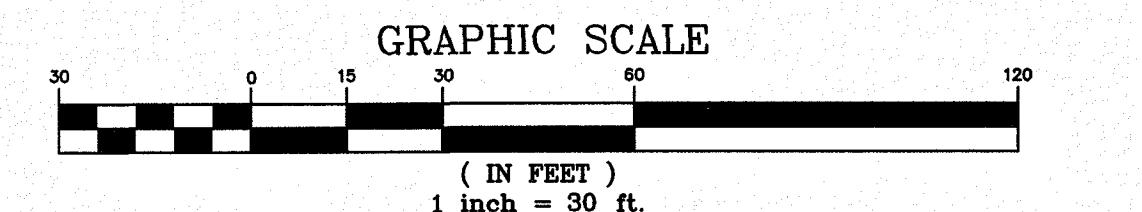
## PLAN

SCALE: 1"=30



**PROFILE**

SCALE: 1" = 30' H/3' V



**PROFILE**

SCALE: 1"=30'H/3'V

NO.	DESCRIPTION	BY	DATE
3	REVISIONS PER DES COMMENTS	DRJ	1/13/20
2	REVISIONS PER TOWN COMMENTS	DRJ	1/7/20
1	MISC. REVISIONS	DRJ	12/16/19
	REVISIONS		

## SEWER PLAN & PROFILE

**THE VILLAS AT NORTH TUSCAN VILLAGE – PHASE 2**  
**11 CENTRAL STREET**  
**SALEM, NEW HAMPSHIRE**  
**SALEM PROPERTY MAP 98 LOT 12542**  
**BLACK BROOK REALTY TUSCAN VILLAGE NORTH, LLC**



603.893.0720

Formerly  
MHF Design Consultants, Inc.

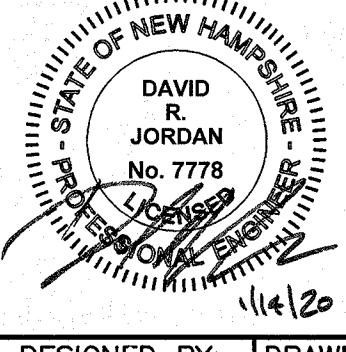


GPINET.COM

Greenman-Pedersen, Inc.  
44 Stiles Road  
Suite One  
Salem, NH 03079

SCALE: 1" = 30'

DATE: OCTOBER 8, 2019

	<u>PREPARED FOR</u> BLACK BROOK REALTY TUSCAN VILLAGE NORTH, LLC 17 MAIN STREET HOPKINTON, MA 01748 BOOK 5810-PAGE 1414	<u>SALEM PLANNING BOARD</u> <u>APPROVAL</u>
ZONE: COMMERCIAL-INDUSTRIAL 'C' & RESIDENTIAL		

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
DRJ	CCC/DRJ	4214SP.dwg	421417	10 OF 18



Formerly  
MHF Design Consultants, Inc.

Greenman-Pedersen, Inc.  
44 Stiles Road  
Suite One  
Salem, NH 03079

DATE: OCTOBER 8, 2019

SALEM PLANNING BOARD

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APPROVAL

1. *What is the primary purpose of the study?* (check all that apply)

1. *Leucosia* *leucosia* (L.) *leucosia* (L.) *leucosia* (L.) *leucosia* (L.)

## INDUSTRIAL 'C' & RESIDENTIAL

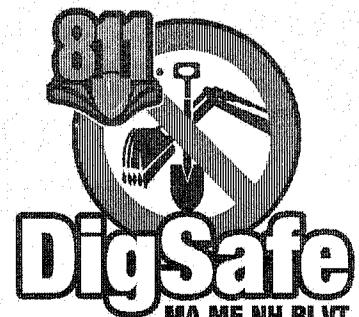
# RESIDENTIAL

PROJECT No.    SHEET No.

421417 | 10 OF 18



LEGEND	
○	IRON PIN FOUND
□	CONCRETE BOUND FOUND
△	RAILROAD SPIKE FOUND
○	DRILL HOLE FOUND
VGC	VERTICAL GRANITE CURB
BCC	BITUMINOUS CONCRETE LIP CURBING
SGC	SLOPED GRANITE CURB
—	OVERHEAD SERVICE WIRES
DSYL	DOUBLE SOLID YELLOW LINE
SSWL	SINGLE SOLID WHITE LINE
BWL	BROKEN WHITE LINE
SIGN	SIGN
⊕	OBSERVATION WELL
TEST PIT	TEST PIT
TEST BORING	TEST BORING
PERCOLATION TEST	PERCOLATION TEST
TREELINE	TREELINE
UTILITY POLE	UTILITY POLE
DRAIN MANHOLE	DRAIN MANHOLE
SEWER MANHOLE	SEWER MANHOLE
TELEPHONE MANHOLE	TELEPHONE MANHOLE
□	CATCH BASIN
—	WATER LINE
—	WATER VALVE
EN>	ENTRY
×	FIRE HYDRANT
—	GAS VALVE
—	GAS LINE
—	UNDERGROUND TELEPHONE LINE
—	UNDERGROUND ELECTRIC AND TELEPHONE
—	WETLAND LINE
—	SPOT ELEVATION
—	CONTOUR ELEVATION
C.O.	PROP. CLEANOUT
CB-1	PROP. CATCH BASIN
DMH-1	PROP. DRAIN MANHOLE
SMH-1	PROP. SEWER MANHOLE
YD-1	PROP. DRAIN BASIN
MEG	MEET EXISTING GRADE
170.50	PROP. SPOT ELEVATION
—	PROP. CONTOUR ELEVATION



NO.	DESCRIPTION	BY	DATE
4	REVISIONS PER TOWN COMMENTS	DRJ	1/7/20
3	MISC. REVISIONS	DRJ	12/16/19
2	REVISIONS PER REVIEW COMMENTS	DRJ	11/8/19
1	REVISE UNDERGROUND INFILTRATION SYSTEMS	PWM	10/24/19
REVISIONS			

**EROSION CONTROL PLAN**

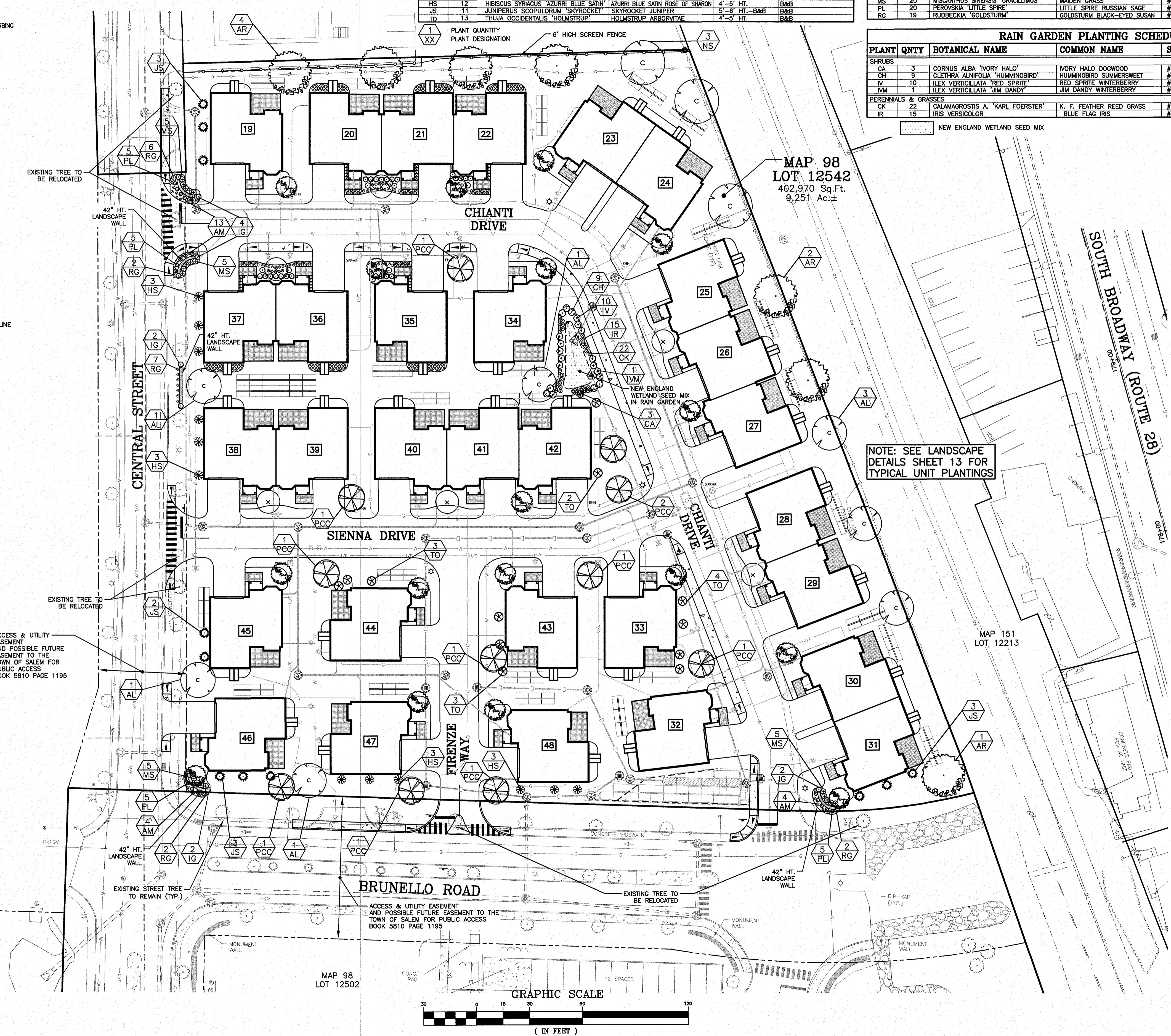
**THE VILLAS AT NORTH TUSCAN VILLAGE - PHASE 2**  
**11 CENTRAL STREET**  
**SALEM, NEW HAMPSHIRE**  
**SALEM PROPERTY MAP 98 LOT 12542**  
**BLACK BROOK REALTY TUSCAN VILLAGE NORTH, LLC**

**GPI** Formerly MHP Design Consultants, Inc.  
 603.893.0720 [GPINET.COM](http://GPINET.COM)  
 Greenman-Pedersen, Inc.  
 44 Stiles Road  
 Suite One  
 Salem, NH 03079  
 DATE: OCTOBER 1, 2019

SCALE: 1" = 30'

	PREPARED FOR BLACK BROOK REALTY TUSCAN VILLAGE NORTH, LLC 17 MAIN STREET HOPKINTON, MA 01748 BOOK 5810-PAGE 1414 DESIGNED BY: DRJ DRAWN/CHECKED: CCC/DRJ DWG. NAME: 4214SP.dwg PROJECT No.: 421417 SHEET No.: 11 OF 18
ZONE: COMMERCIAL-INDUSTRIAL 'C' & RESIDENTIAL	

LEGEND	
○	IRON PIN FOUND
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△	RAILROAD SPIKE FOUND
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○	OBSERVATION WELL
TP	TEST PIT
TB	TEST BORING
PT	PERCOLATION TEST
TL	TREELINE
UP	UTILITY POLE
DM	DRAIN MANHOLE
SM	SEWER MANHOLE
TM	TELEPHONE MANHOLE
CB	CATCH BASIN
WL	WATER LINE
WV	WATER VALVE
EN	ENTRY
FH	FIRE HYDRANT
GV	GAS VALVE
GL	GAS LINE
UTL	UNDERGROUND TELEPHONE LINE
UE	UNDERGROUND ELECTRIC AND TELEPHONE
WL	WETLAND LINE
SE	SPOT ELEVATION
CE	CONTOUR ELEVATION



TREE/SHRUB PLANTING SCHEDULE					
PLANT	QNTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES/SHRUBS					
AR	7	ACER x FREEMANII 'AUTUMN BLAZE'	FREEMAN MAPLE	2 1/2'-3" CAL.	B&B
AL	7	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	6'-7" HT.	B&B; MULTI-STEM
NS	3	NYC SYCAMORE 'CHANTICLEER'	BLACK GUM	2 1/2'-3" CAL.	B&B
POC	11	PYRUS CALLERYANA 'CHANTICLEER'	LOVELY SELECT GALLARY PEAR	4" CAL.	B&B
HS	12	HIBISCUS SYRIACUS 'AZURRI BLUE SATIN'	AZURRI BLUE SATIN ROSE OF SHARON	4'-5" HT.	B&B
JS	11	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	5'-6" HT.-B&B	B&B
TO	13	THUJA OCCIDENTALIS 'HOLMSTROP'	HOLMSTROP ARBORVITAE	4'-5" HT.	B&B

WALL PLANTING SCHEDULE					
PLANT	QNTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHRUBS					
IG	10	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	#7 CONTAINER	MIN. SIZE 30" HT.
PERENNIALS & GRASSES					
AM	21	ALCHEMILLA MOLLIS	LADY'S MANTLE	#1 CONTAINER	
MS	20	MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS	#3 CONTAINER	
PL	20	PEROVSKIA 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	#3 CONTAINER	
RG	19	RUDBECKIA 'GOLDSTORM'	GOLDSTORM BLACK-EYED SUSAN	#1 CONTAINER	

RAIN GARDEN PLANTING SCHEDULE					
PLANT	QNTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHRUBS					
CA	3	CORNUS ALBA 'IVORY HALO'	IVORY HALO DOGWOOD	#10 CONTAINER	MIN. SIZE 30" HT.
CH	9	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMER SWEET	#10 CONTAINER	MIN. SIZE 30" HT.
IV	10	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	#10 CONTAINER	MIN. SIZE 30" HT.
IVM	1	ILEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERBERRY	#5 CONTAINER	MIN. SIZE 30" HT.
PERENNIALS & GRASSES					
CK	22	CALAMAGROSTIS A. 'KARL FOERSTER'	K. F. FEATHER REED GRASS	#3 CONTAINER	
IR	15	IRIS VERSICOLOR	BLUE FLAG IRIS	#1 CONTAINER	

NEW ENGLAND WETLAND SEED MIX  
SPECIES: FOX SEDGE (CAREX VULPINOIDEA), LURID SEDGE (CAREX LURIDA), BLUNT BROOM SEDGE (CAREX SCOPARIA), BLUE VERNAIN (VERBENA HASTATA), FOWL BLUEGRASS (POA PALUSTRIS), HOP SEDGE (CAREX LUPULINA), GREEN BULRUSH (SCIRpus ATRIORS), CREEPING SPIKE RUSH (ELEOCHARIS PALUSTRIS), TRINODE SEDGE (CAREX TRINODA), SOFT RUSH (JUNCUS EFUSUS), SPOTTED JOE PYE (EUPATORIUM MACULATUM), RATTLESNAKE GRASS (GYLACIA CANADENSIS), SWAMP ASTER (ASTER PUNICEUS), BLUEFLAG (IRIS VERSICOLOR), SWAMP MILKWEED (ASCLEPIAS INCARNATA), SQUARE STEMMED MONKEY FLOWER (MIMULUS RINGENS).

NEW ENGLAND WETLAND PLANTS, INC.  
820 WEST ST.  
AMHERST, MA 01002

NOTES:

- 1) ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERYMEN, INC.).
- 2) 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUBS AND GROUNDCOVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
- 3) PLANT PIT BACKFILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PART OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACKFILL WHEN AVAILABLE.
- 4) ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH 6" LOAM AND SEED AS SPECIFIED BELOW.
- 5) ALL SEED, SHRUB AND TREE AREAS SHALL RECEIVE 6" PH CORRECTED TOPSOIL. AFTER TOPSOIL IS SPREAD EVENLY OVER ENTIRE AREA, ALL CLODS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED.
- 6) APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:

LIMESTONE: 100 LBS./1,000 SQUARE FEET.  
FERTILIZER: 500 LBS./ACRE OF 10-20-20 OR 1000 LBS./ACRE OF 5-10-10.  
MULCH: HAY MULCH APPROXIMATELY 3 TONS/ACRE

SEED MIX (SLOPES LESS THAN 4:1)	LBS./ACRE
CREEPING RED FESCUE	20
TALL FESCUE	15
PERENNIAL RYEGRASS	5
REDTOP	2
<b>SLOPE MIX (SLOPES GREATER THAN 4:1)</b>	<b>LBS./ACRE</b>
CREEPING RED FESCUE	20
TALL FESCUE	20
BIRDSFOOT TREFOIL	8
48	

- 7) FOR TEMPORARY EROSION CONTROL NOTES, SEE DETAIL SHEET.
- 8) NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE STRAW MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 3 TONS PER ACRE.
- 9) ANY CHANGES IN PLANT LOCATIONS OR TYPES SHALL BE APPROVED BY THE DEVELOPER, LANDOWNER AND CITY PRIOR TO INSTALLATION.
- 10) CLEAR AND GRUB (TO LIMITS REQUIRED ON GRADING PLAN) TO REMOVE VEGETATION, TREES, ROCKS, DEBRIS, ROOTS, ETC. STUMPS SHALL BE REMOVED AND DISPOSED OF OFF SITE IN ACCORDANCE WITH STATE REGULATIONS. AFTER CLEARING, ROTOTILL, STRIP AND STOCKPILE ALL ON-SITE TOPSOIL FOR REUSE TO THE MAXIMUM EXTENT POSSIBLE.
- 11) FOR SEED AREAS USE EXISTING TOPSOIL IF AVAILABLE. FOR A 4" DEPTH AND TOP DRESS WITH 2" OF SCREENED TOPSOIL. UNLESS OTHERWISE NOTED ON PLAN, ALL LOADS OF TOPSOIL IMPORTED OR RE-ROUTED FROM ON SITE SHALL BE TESTED AND AMENDED AS DIRECTED BY DEVELOPER TO MEET MINIMUM REQUIREMENTS.
- 12) PLANTINGS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEARS AFTER WRITTEN ACCEPTANCE OF THE DEVELOPER.
- 13) THE CONTRACTOR SHALL DIG ROOT BALLS FOR TRANSPLANTED ITEMS TO THE DIMENSIONS OUTLINED IN THE NURSERY STOCK SPECIFICATIONS MANUAL (SEE NOTE #1).
- 14) THE CONTRACTOR SHALL TAKE EXTREME CAUTION TO MINIMIZE DAMAGE TO ROOT SYSTEMS DURING DIGGING AND TRANSPLANTING. ROOT BALLS OF TRANSPLANTS SHALL BE WRAPPED IN BURLAP (WHICH SHALL BE REMOVED UPON RE-PLANTING) AND KEPT MOIST.
- 15) EXPOSED SOILS SHALL BE SEADED OR HAY MULCHED WITHIN 72 HOURS OF FINAL GRADING.
- 16) THE CONTRACTOR SHALL INSTALL AN IRRIGATION SYSTEM TO PROVIDE COMPLETE COVERAGE OF ALL SEED AREAS AND SHRUB BEDS. THE SYSTEM SHALL INCLUDE A TIMER AND SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES. IRRIGATION WATER TO BE PROVIDED BY AN ON-SITE WELL. MUNICIPAL WATER SHALL NOT BE USED FOR IRRIGATION.
- 17) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
- 18) PATIO SCREENING IF REQUESTED BY THE UNIT OWNER, SHALL CONSIST OF 5'-6" HT. (AT TIME OF PLANTING) ARBORVITAE, OR EVERGREEN SHRUBS, OR A WHITE VINYL SCREEN FENCE SEGMENT AT THE UNIT OWNER'S DISCRETION.
- 19) THE LANDSCAPE ARCHITECT SHALL REVIEW THE CONDITION AND LOCATION OF ALL PLANTINGS PRIOR TO INSTALLATION.

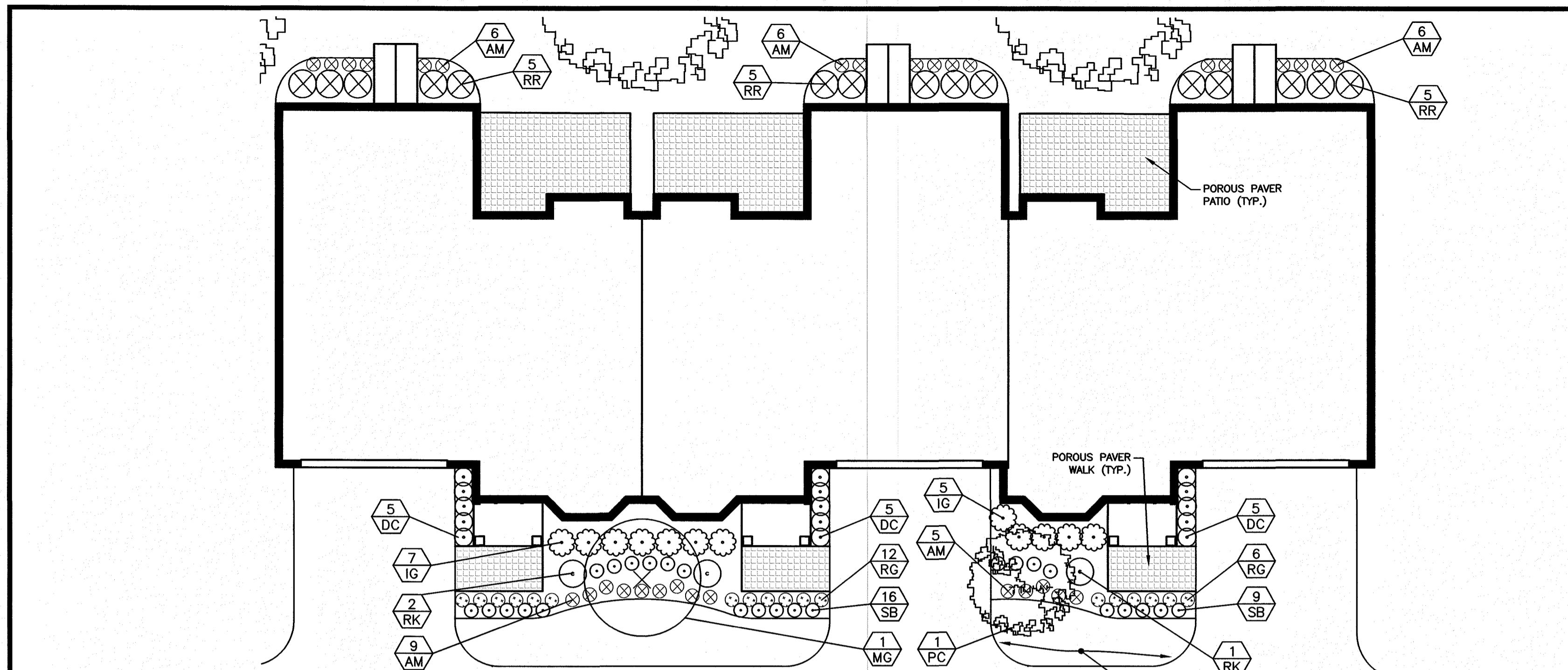
5	REVISIONS PER TJD&A COMMENTS	DRJ	2/3/20
4	REVISIONS PER TOWN COMMENTS	DRJ	1/7/20
3	MISC. REVISIONS	DRJ	12/16/19
2	MISC. REVISIONS, REVISE NOTE 18, ADD NOTE 19	DRJ	11/12/19
1	REVISIONS PER REVIEW COMMENTS	DRJ	11/8/19
NO.	DESCRIPTION	BY	DATE

### LANDSCAPE PLAN

THE VILLAS AT NORTH TUSCAN VILLAGE - PHASE 2  
11 CENTRAL STREET  
SALEM, NEW HAMPSHIRE  
SALEM PROPERTY MAP 98 LOT 12542  
BLACK BROOK REALTY TUSCAN VILLAGE NORTH, LLC

**GPI** Formally MHF Design Consultants, Inc.  
44 Stiles Road  
Suite One  
Salem, NH 03079  
DATE: OCTOBER 1, 2019

	PREPARED FOR	SALEM PLANNING BOARD APPROVAL		
	BLACK BROOK REALTY	TUSCAN VILLAGE NORTH, LLC		
17 Main Street HOPKINTON, MA 01748				
BOOK 5810-PAGE 1414				
ZONE: COMMERCIAL-INDUSTRIAL 'C' & RESIDENTIAL				
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
DRJ	CCC/DRJ	42147	421417	12 of 18

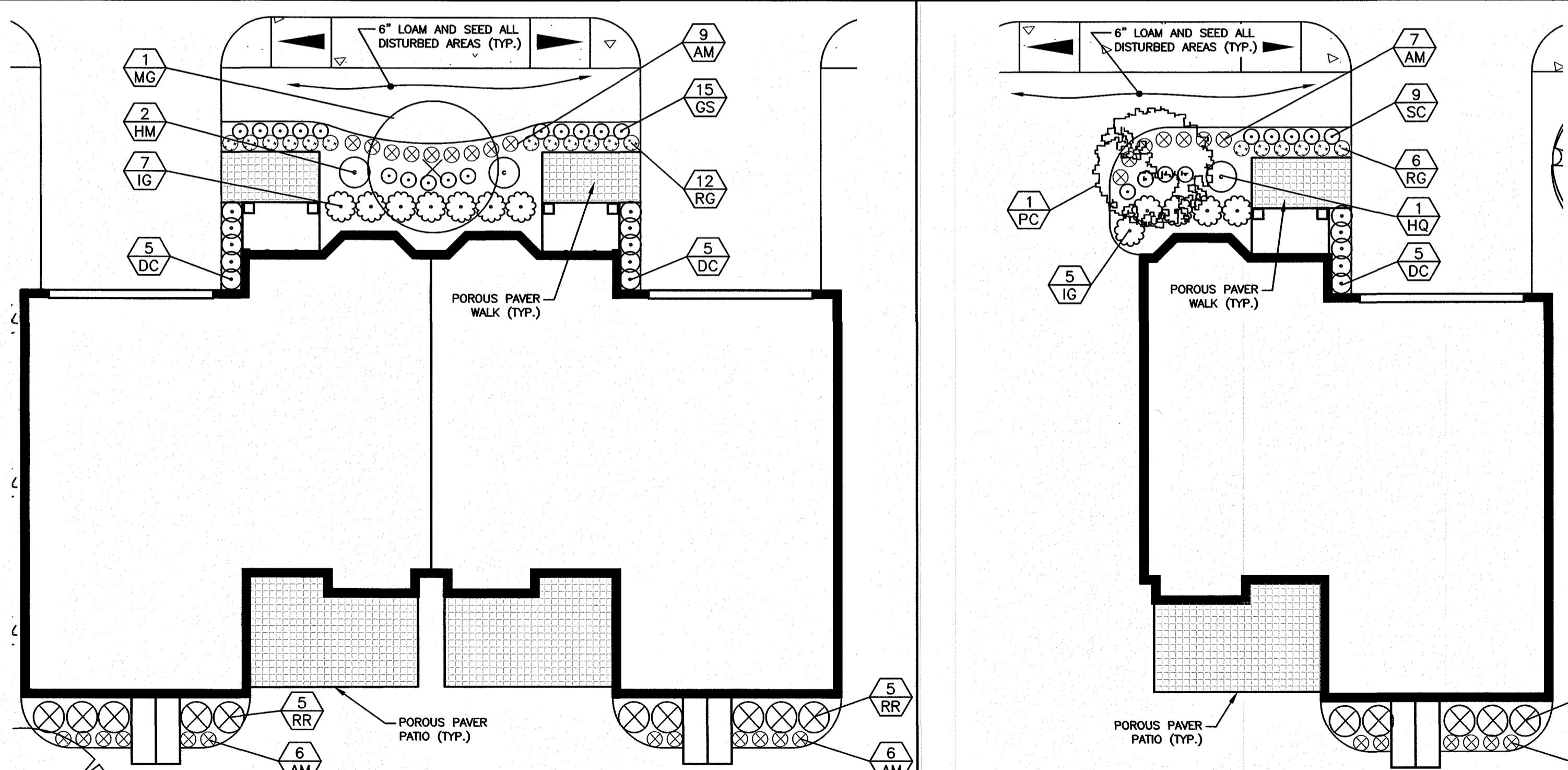


TRILEX PLANTING SCHEDULE					
PLANT	QNTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
PC	1	PRUNUS SARGENTII 'COLUMNARIS'	COLUMNAR SARGENT CHERRY	2"- 2 1/2" CAL	B&B
MG	1	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2 1/2"- 3" CAL	B&B
SHRUBS					
IG	12	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	#7 CONTAINER	MIN. SIZE 30" HT.
RR	15	RHODODENDRON x 'RAMAPO'	RAMAPO RHODODENDRON	#7 CONTAINER	MIN. SIZE 30" HT.
RK	3	ROSA 'KNOCK OUT'	KNOCK OUT ROSE	#7 CONTAINER	MIN. SIZE 30" HT.
PERENNIALS & GRASSES					
AM	32	ALCHEMILLA MOLLIS	LADY'S MANTLE	#1 CONTAINER	12"-24" SPACING
SB	25	STACHYS BYZANTINA	LAMB'S EAR	#1 CONTAINER	12"-24" SPACING
RG	18	RUDBECKIA 'GOLDSTORM'	GOLDSTORM BLACK-EYED SUSAN	#1 CONTAINER	12"-24" SPACING
DC	15	DESCHAMPSIA CESPITOSA 'GOLD TAU'	TUFTED HAIR GRASS	#2 CONTAINER	12"-24" SPACING

1 PLANT QUANTITY  
XX PLANT DESIGNATION **TYPICAL TRILEX PLANTING**

SCALE: 1"=10'

6" LOAM AND SEED ALL DISTURBED AREAS (TYP.)



DUPLEX PLANTING SCHEDULE					
PLANT	QNTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
MG	1	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2 1/2"- 3" CAL	B&B
SHRUBS					
IG	7	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	#7 CONTAINER	MIN. SIZE 30" HT.
RR	10	RHODODENDRON x 'RAMAPO'	RAMAPO RHODODENDRON	#7 CONTAINER	MIN. SIZE 30" HT.
HM	2	LITCHI HYDRANGEA MACROPHYLLA 'TWIST & SHOUT'	TWIST & SHOUT HYDRANGEA	#7 CONTAINER	MIN. SIZE 30" HT.
PERENNIALS & GRASSES					
AM	21	ALCHEMILLA MOLLIS	LADY'S MANTLE	#1 CONTAINER	12"-24" SPACING
GS	15	GERANIUM SANGUINEUM 'NH PURPLE'	CRANESBILL	#1 CONTAINER	12"-24" SPACING
RG	12	RUDBECKIA 'GOLDSTORM'	GOLDSTORM BLACK-EYED SUSAN	#1 CONTAINER	12"-24" SPACING
DC	10	DESCHAMPSIA CESPITOSA 'GOLD TAU'	TUFTED HAIR GRASS	#2 CONTAINER	12"-24" SPACING

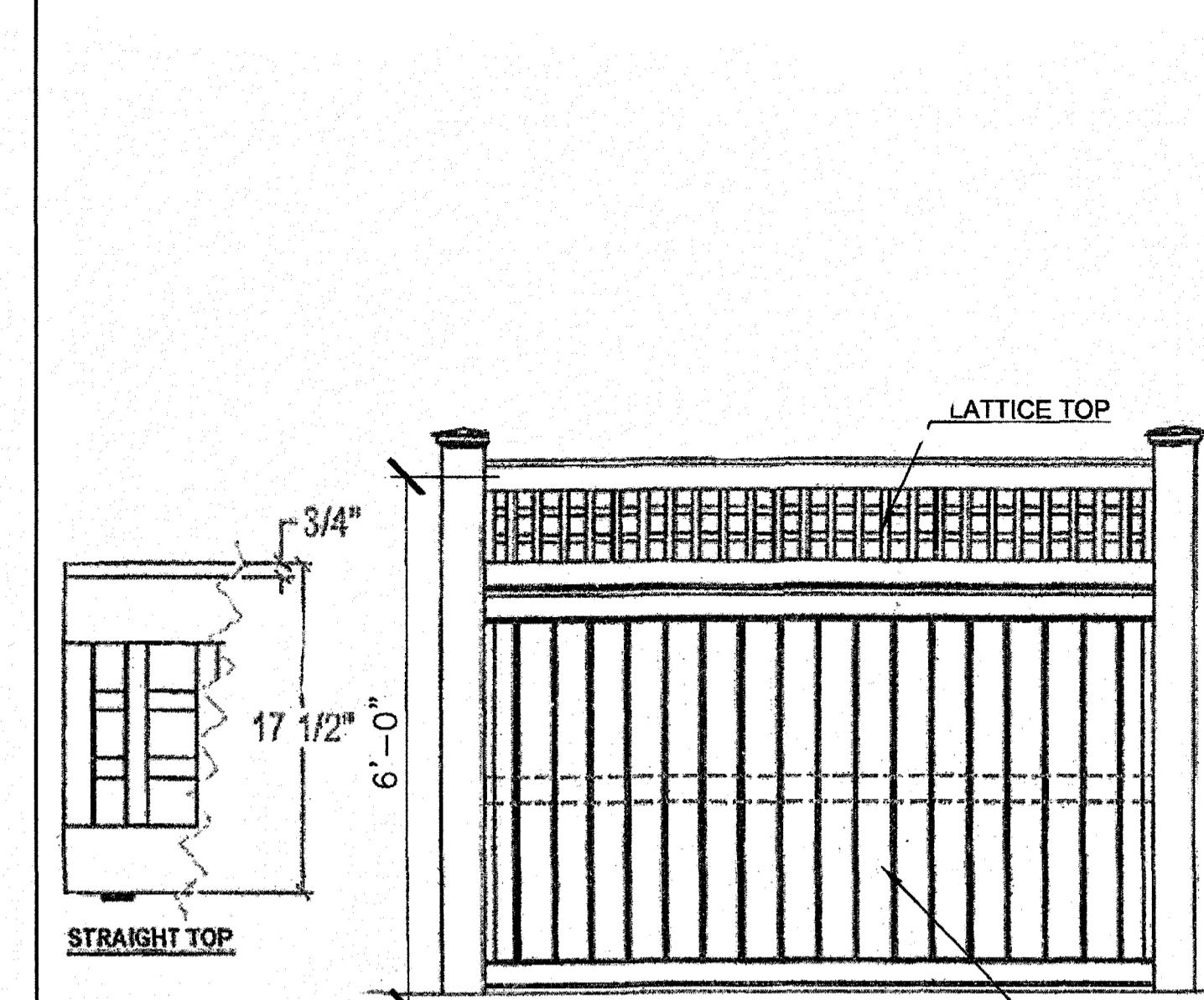
1 PLANT QUANTITY  
XX PLANT DESIGNATION **TYPICAL DUPLEX PLANTING**

SCALE: 1"=10'

SINGLE UNIT PLANTING SCHEDULE					
PLANT	QNTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
PC	1	PRUNUS SARGENTII 'COLUMNARIS'	COLUMNAR SARGENT CHERRY	2"- 2 1/2" CAL	B&B
SHRUBS					
IG	5	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	#7 CONTAINER	MIN. SIZE 30" HT.
RR	5	RHODODENDRON x 'RAMAPO'	RAMAPO RHODODENDRON	#7 CONTAINER	MIN. SIZE 30" HT.
HQ	1	HYDRANGEA QUERCIFOLIA 'PEE WEE'	OAK-LEAF HYDRANGEA	#7 CONTAINER	MIN. SIZE 30" HT.
PERENNIALS & GRASSES					
AM	13	ALCHEMILLA MOLLIS	LADY'S MANTLE	#1 CONTAINER	12"-24" SPACING
SC	9	GERANIUM SANGUINEUM 'NH PURPLE'	CRANESBILL	#1 CONTAINER	12"-24" SPACING
RG	6	RUDBECKIA 'GOLDSTORM'	GOLDSTORM BLACK-EYED SUSAN	#1 CONTAINER	12"-24" SPACING
DC	5	DESCHAMPSIA CESPITOSA 'GOLD TAU'	TUFTED HAIR GRASS	#2 CONTAINER	12"-24" SPACING

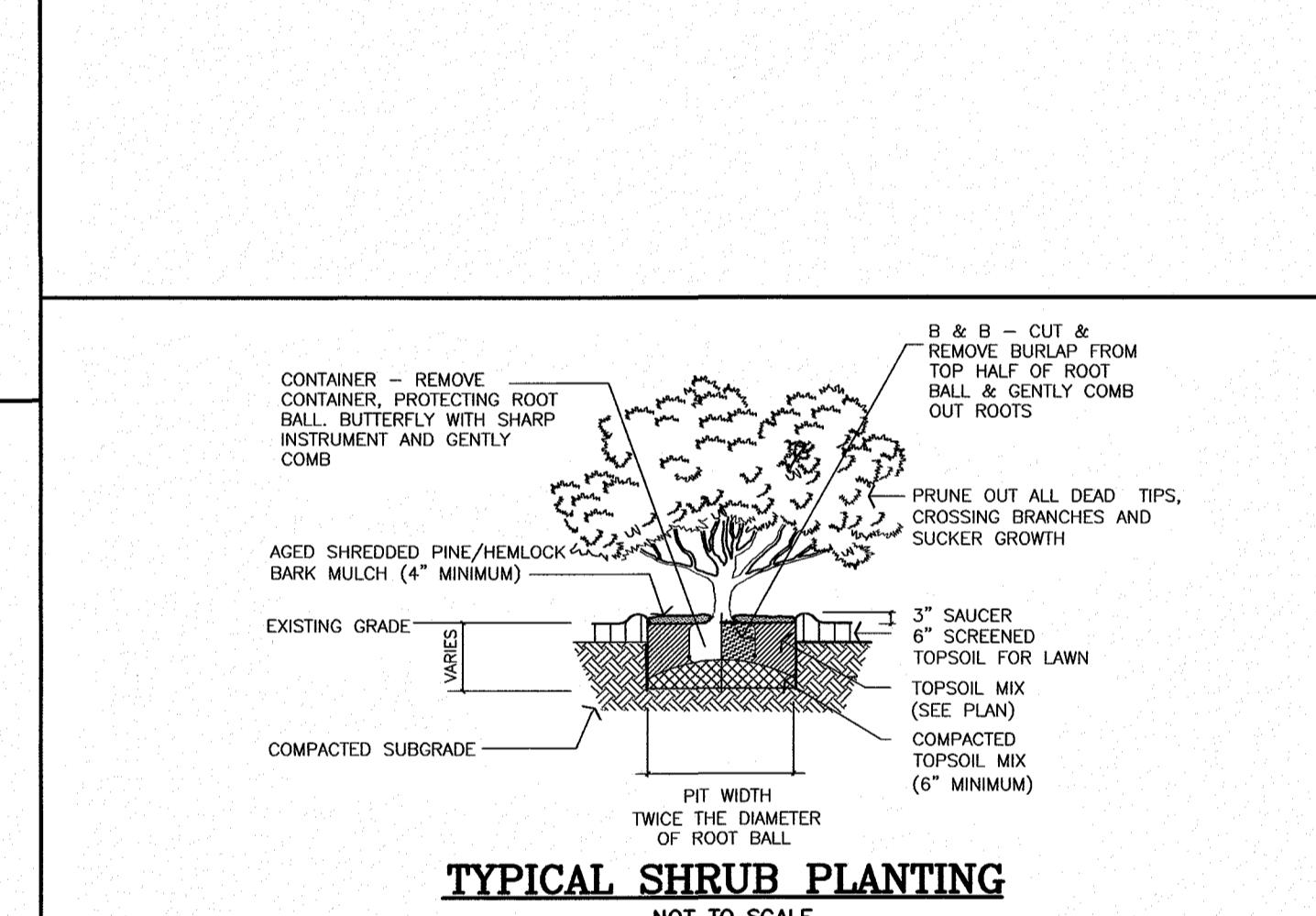
1 PLANT QUANTITY  
XX PLANT DESIGNATION **TYPICAL SINGLE UNIT PLANTING**

SCALE: 1"=10'



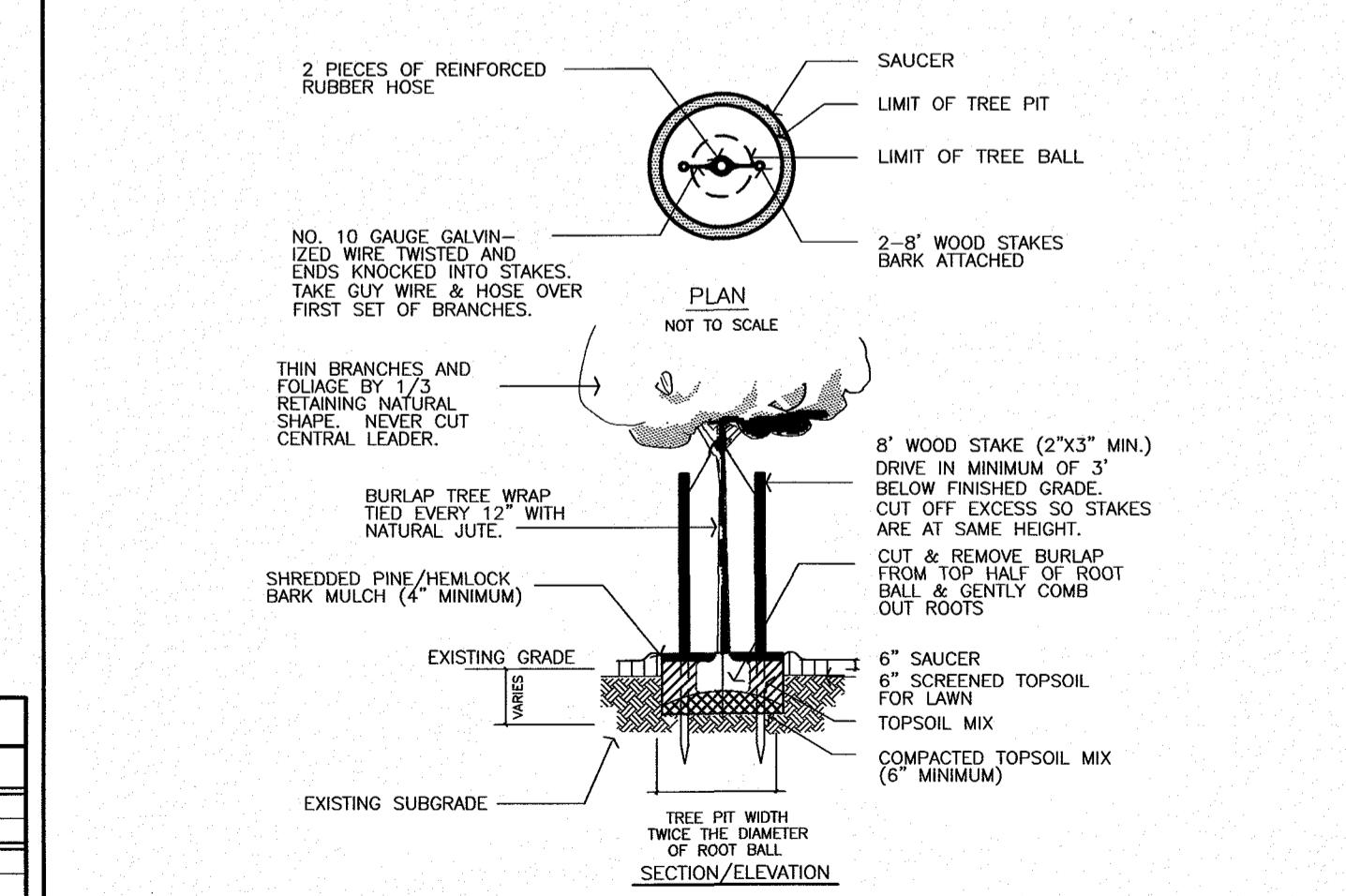
**6' HT. SCREEN FENCE**

NOT TO SCALE



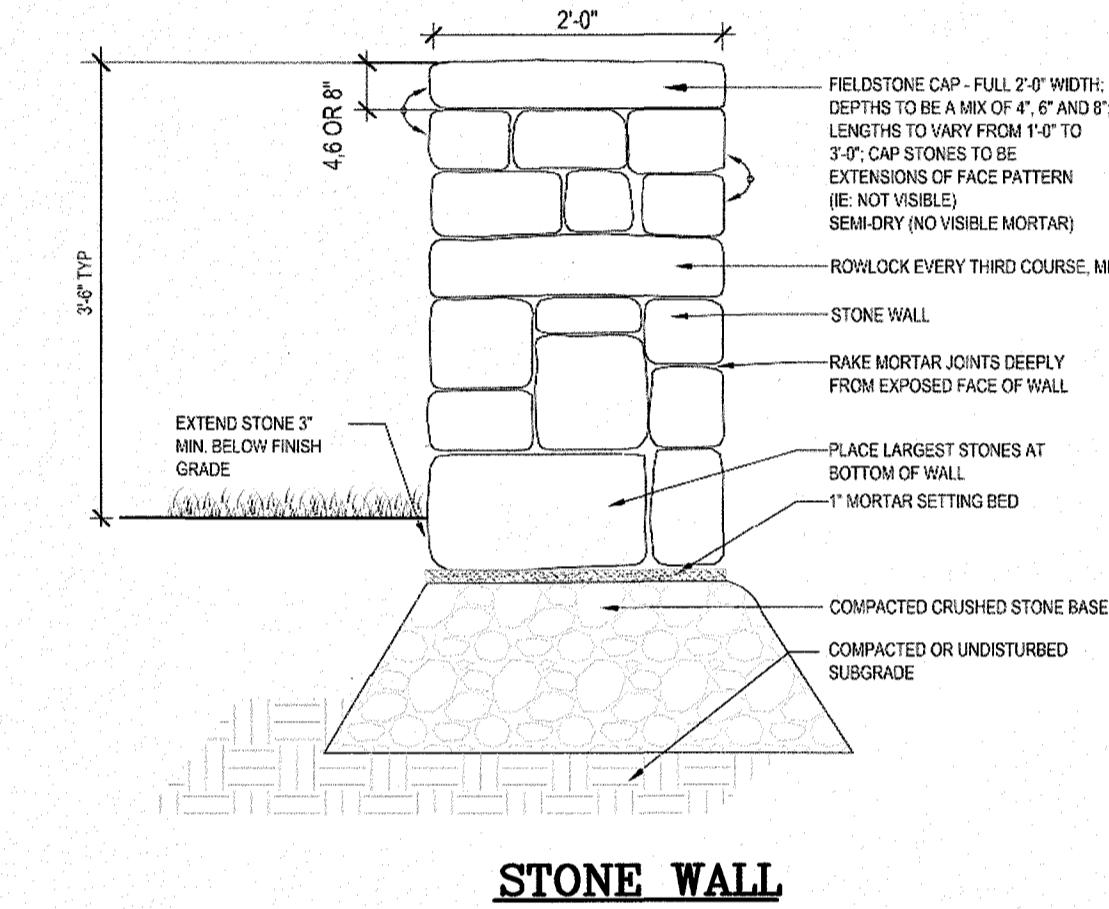
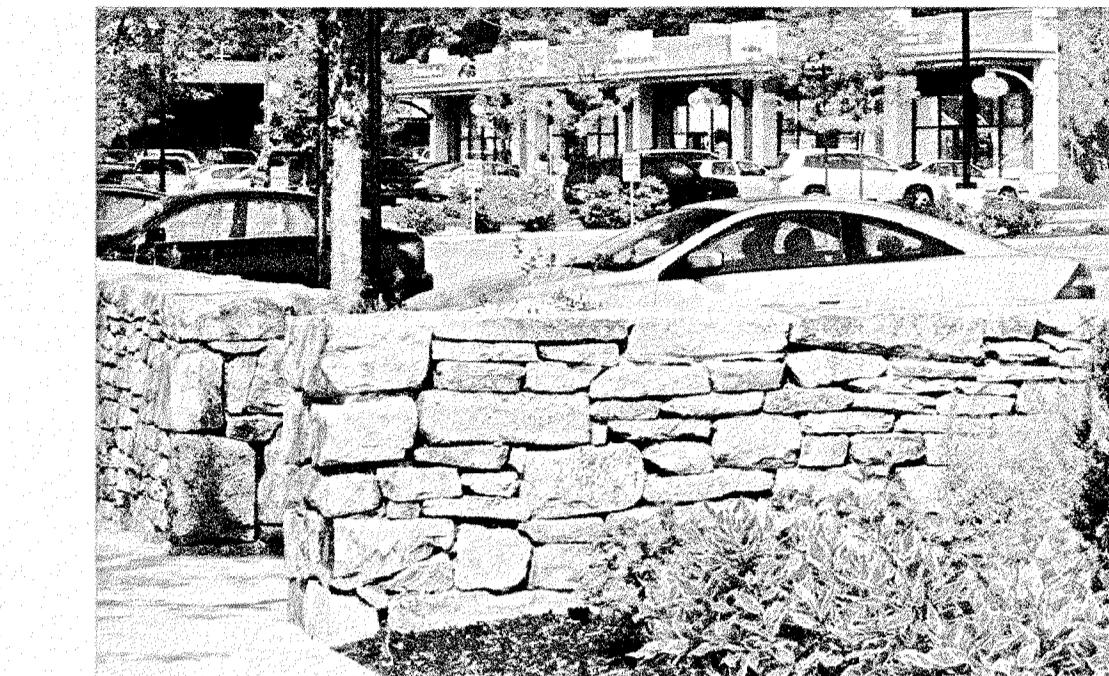
**TYPICAL SHRUB PLANTING**

NOT TO SCALE



**TYPICAL TREE PLANTING**

NOT TO SCALE



**STONE WALL**

NOT TO SCALE

4	REVISIONS PER TJD&A COMMENTS	DRJ	2/3/20
3	MISC. REVISIONS	DRJ	12/16/19
2	REVISE PERENNIAL PLANTING SPECS., TYPICAL PLANTING DETAILS	DRJ	11/12/19
1	REVISIONS PER REVIEW COMMENTS	DRJ	11/8/19
NO.	DESCRIPTION	BY	DATE

### LANDSCAPE DETAILS

THE VILLAS AT NORTH TUSCAN VILLAGE - PHASE 2  
11 CENTRAL STREET  
SALEM, NEW HAMPSHIRE  
SALEM PROPERTY MAP 98 LOT 12542  
BLACK BROOK REALTY TUSCAN VILLAGE NORTH, LLC

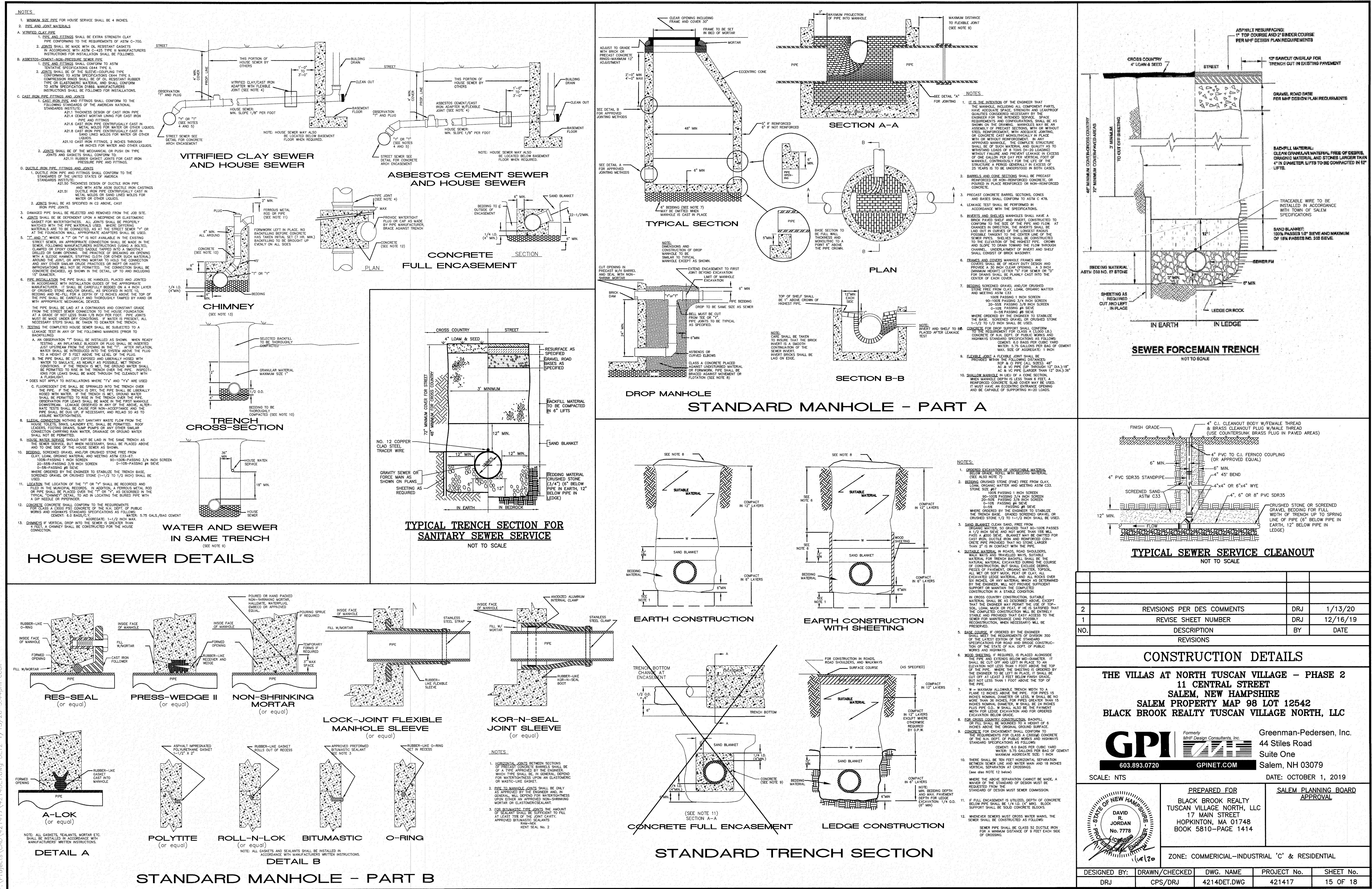
**GPI** Formally MHF Design Consultants, Inc.  
44 Stiles Road  
Salem, NH 03079  
GPI.NET.COM

Greenman-Pedersen, Inc.  
Formerly  
44 Stiles Road  
Suite One  
Salem, NH 03079

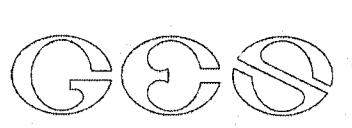
DATE: OCTOBER 1, 2019

PREPARED FOR	SALEM PLANNING BOARD APPROVAL
BLACK BROOK REALTY TUSCAN VILLAGE NORTH, LLC 17 MAIN STREET HOPKINTON, MA 01748 BOOK 5810-PAGE 1414	
ZONE: COMMERCIAL-INDUSTRIAL 'C' & RESIDENTIAL	
DESIGNED BY: DRJ	DRAWN/CHECKED CCC/DRJ
DWG. NAME: 4214SP.dwg	PROJECT No. 421417
SHEET No. 13 OF 18	









GOVE ENVIRONMENTAL SERVICES, INC.

## TEST PIT DATA

Project: Tuscan Village  
Client: OMJ Realty  
GES Project No.: 2016157  
MM/DD/YR Staff: 01/05/2017

JP Gove

Test Pit No.	15028				
ESHW: 0-10'	34"				
Termination @	73"				
Refusal:	N				
Obs. Water:	N				
Depth	Color	Texture	Structure	Consistency	Mottles: Quantity/Contrast
0-10'	10YR 4/4	LS	OM	FR	NONE
10-34'	10YR 7/3	LS	OM	FR	NONE
34-58'	10YR 7/3	LS	OM	FI	7.5YR 4/6 C/D
58-73'	10YR 3/2	FSL	OM	FR	7.5YR 4/6 C/D

Test Pit No.	15029				
ESHW: 0-10'	41"				
Termination @	80"				
Refusal:	N				
Obs. Water:	N				
Depth	Color	Texture	Structure	Consistency	Mottles: Quantity/Contrast
0-24'	10YR 7/3	LS	OM	FR	NONE
24-57'	10YR 3/2	FSL	GR	FR	NONE
58-73'	10YR 4/6	FSL	OM	FI	NONE
73-80'	10YR 4/3	GRS	OM	FR	7.5YR 4/6 C/D

Test Pit No.	15030				
ESHW: 0-10'	52"				
Termination @	88"				
Refusal:	N				
Obs. Water:	N				
Depth	Color	Texture	Structure	Consistency	Mottles: Quantity/Contrast
0-34'	10YR 7/3	S	OM	FR	NONE
34-45'	10YR 4/3	FSL	GR	FR	NONE
45-52'	10YR 4/6	LS	OM	FI	NONE
52-88'	2.5Y/5/3	LS	OM	FR	7.5YR 4/6 C/D

NOTE: ABOVE MEASUREMENT BEGAN BELOW 3 INCHES OF CONCRETE PAD.

8 Continental Dr Bldg 2 Unit H, Exeter, NH 03833-2526  
Ph (603) 778 0644 / Fax (603) 778 0654  
info@gesci.biz  
www.gesci.biz

## GRAVEL CONSTRUCTION EXIT

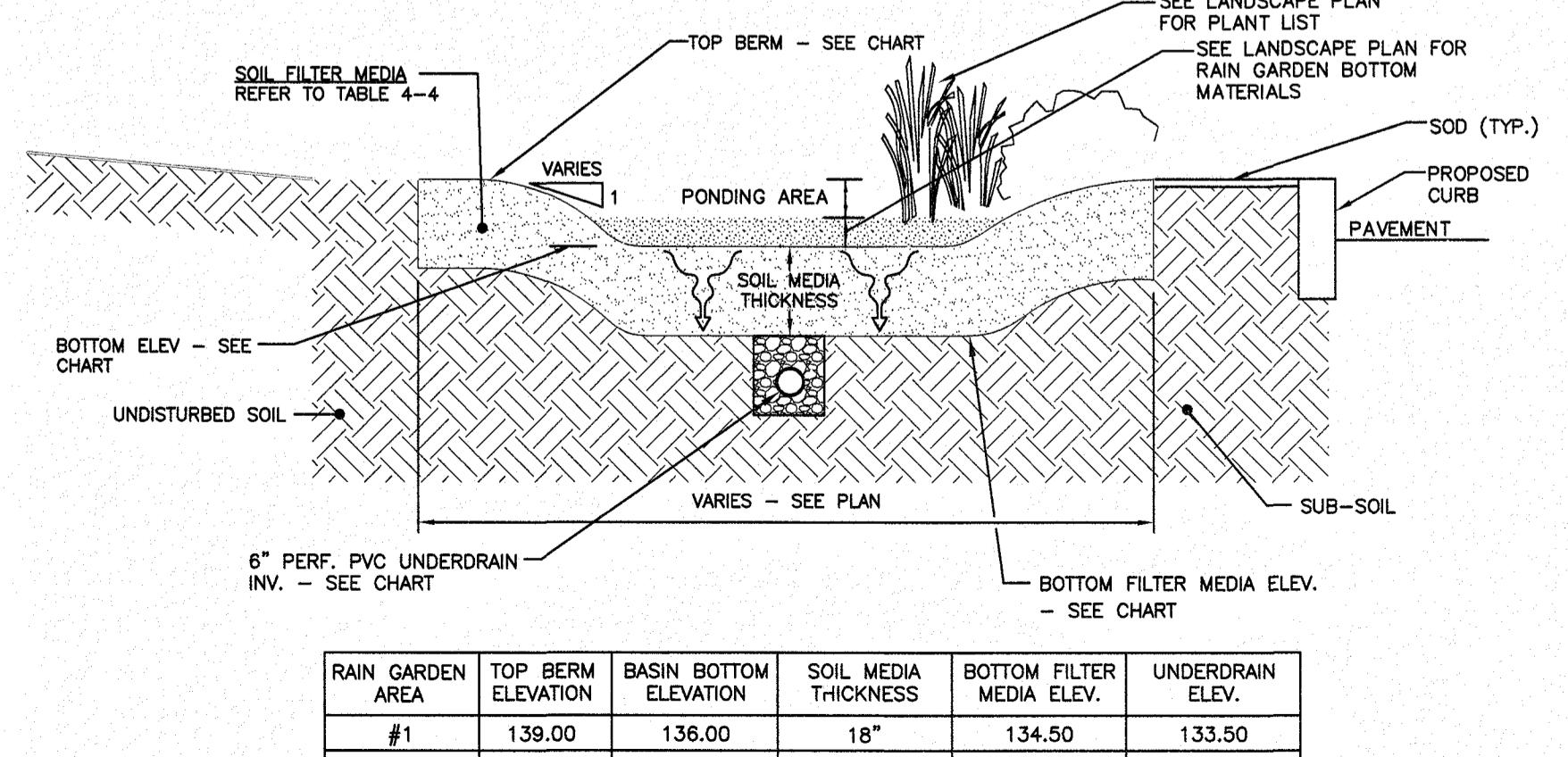
NOT TO SCALE

NOT TO SCALE

## TEST PIT LOGS FOR TUSCAN VILLAGE, SALEM, NH, RECORDED BY JAMES GOVE, CSS#004

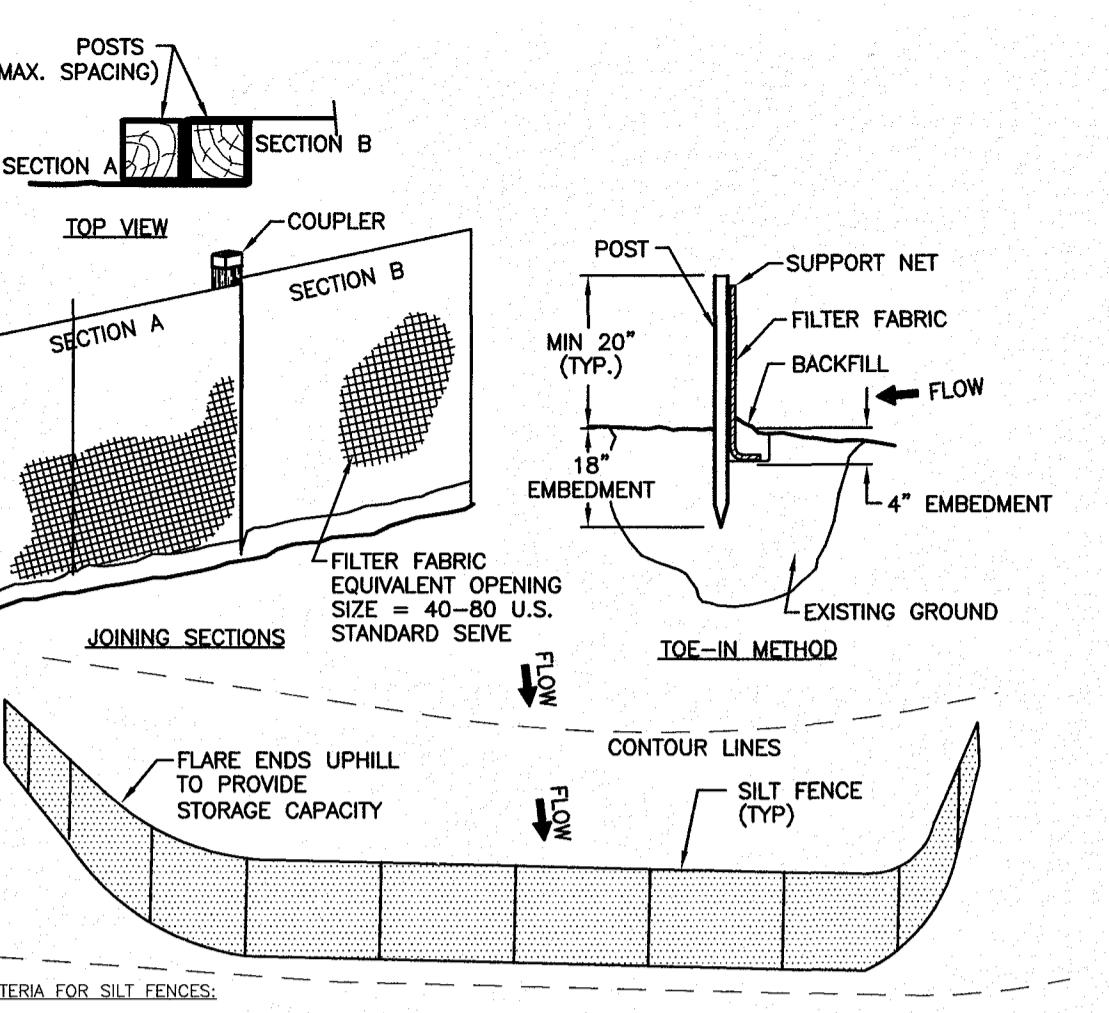
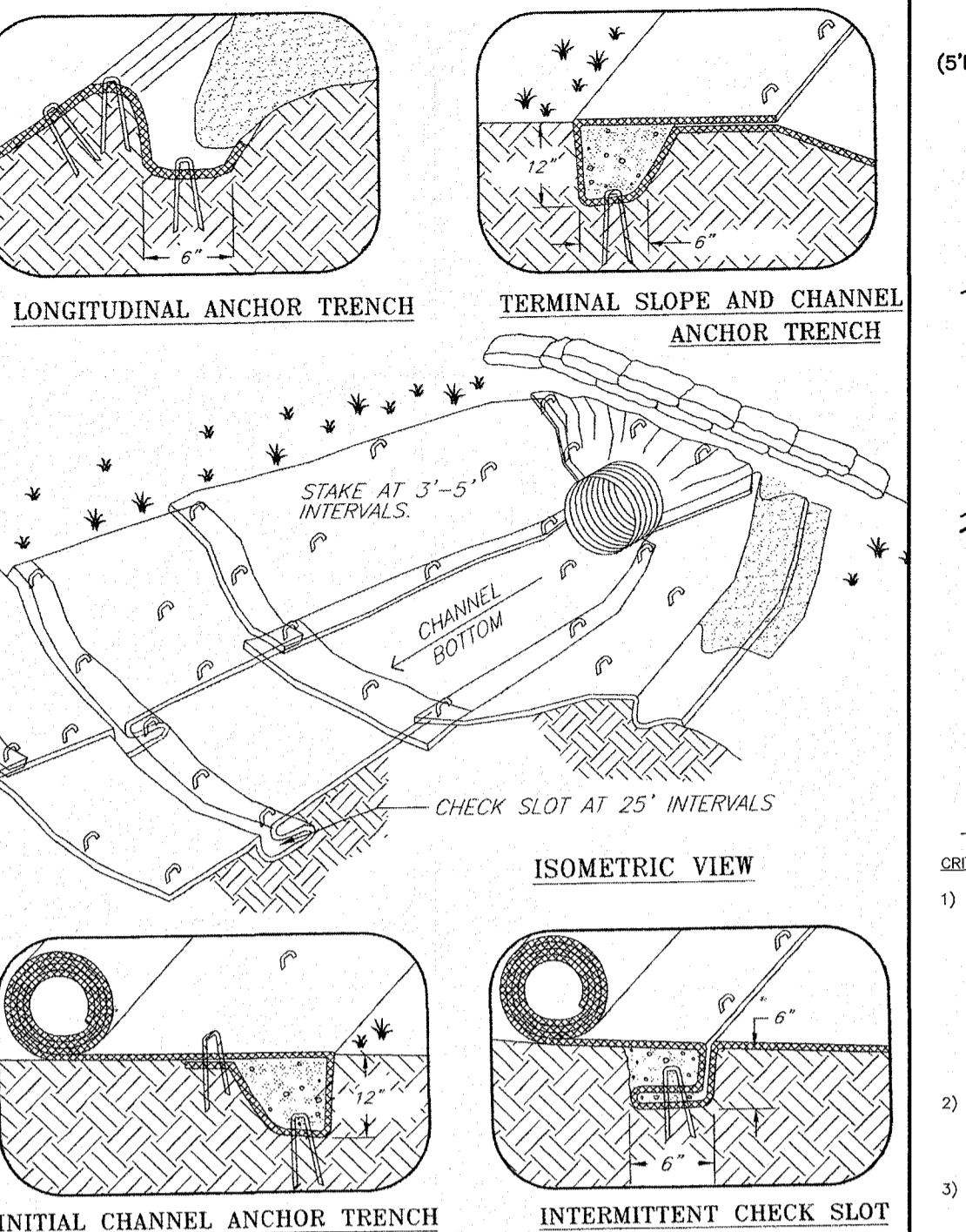
6-14-2016  
#504  
0-26 INCHES, FILL, 10YR 3/2, FINE SANDY LOAM, MASSIVE, FRIABLE, WITH RED REDOX (5YR 5/6) 5%  
26-36 INCHES, FILL, 10YR 6/3, SAND, MASSIVE, FRIABLE, WITH RED REDOX (5YR 5/6) 5%  
36-42 INCHES, Ab, 10YR 3/2, SAND, GRANULAR, FRIABLE, WITH RED REDOX (5YR 5/6) 5%  
42-68 INCHES, 2.5Y 5/2, SAND, MASSIVE, FRIABLE, WITH RED REDOX (5YR 5/6) 5%  
ESHW: 36 INCHES NO REFUSAL OBSERVED WATER=42 INCHES

#505  
0-39 INCHES, FILL, 10YR 3/2 mixed with 2.5Y/5/2, FINE SANDY LOAM, massive, friable  
39-61 INCHES, FILL, 10YR 3/2, SAND, MASSIVE, FRIABLE, WITH RED REDOX (5YR 5/6) 5%, WITH GREY REDOX (2.5Y 5/1) 10%  
61-67 INCHES, Ab, 10YR 3/2, LOAMY SAND, GRANULAR, FRIABLE, WITH RED REDOX (5YR 5/6) 5%  
67-75 INCHES, Bwd, 10YR 4/3, LOAMY SAND, MASSIVE, FRIABLE, WITH RED REDOX (5YR 5/6) 5%  
ESHW: 39 INCHES NO REFUSAL OBSERVED WATER= 68 INCHES

#506  
0-23 INCHES, FILL, 10YR 3/3, SAND, MASSIVE, FRIABLE  
23-28 INCHES, FILL, 10YR 6/3, SAND, MASSIVE, FRIABLE, WITH RED REDOX (5YR 5/6) 5%  
28-44 INCHES, FILL, 10YR 3/2, FINE SANDY LOAM, MASSIVE, FRIABLE, WITH RED REDOX (5YR 5/6) 5%  
44-62 INCHES, Ab, 10YR 3/2, LOAMY SAND, GRANULAR, FRIABLE, WITH RED REDOX (5YR 5/6) 5%  
62-67 INCHES, Bwd, 10YR 4/6, LOAMY SAND, GRANULAR, FRIABLE, WITH RED REDOX (5YR 5/6) 5%  
67-78 INCHES, 2.5Y 5/3, FINE SAND, MASSIVE, FRIABLE, WITH RED REDOX (5YR 5/6) 5%  
ESHW: 23 INCHES NO REFUSAL OBSERVED WATER= N/O
#507  
0-40 INCHES, FILL, 10YR 3/2, SAND, MASSIVE, FRIABLE  
40-43 INCHES, Ab, 10YR 3/2, SAND, GRANULAR, FRIABLE  
43-65 INCHES, Bwd, 10YR 4/6, LOAMY SAND, GRANULAR, FRIABLE  
65-88 INCHES, C, 10YR 4/3, SAND, MASSIVE, FRIABLE, WITH RED REDOX (5YR 5/6) 20%  
ESHW: 65 INCHES NO REFUSAL OBSERVED WATER= N/O


## SCHEMATIC RAIN GARDEN DETAIL

NOT TO SCALE



## TEMPORARY EROSION CONTROL MEASURES:

1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
2. HAY BARRIERS AND SEDIMENT TRAPS SHALL BE INSTALLED AS REQUIRED. BARRIERS AND TRAPS ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
3. BALED HAY AND MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOxious WEEDS OR WOOD STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
4. FILTER MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
5. STOCKPILED MATERIALS SHALL BE PLACED ONLY IN AREAS SHOWN ON THE PLAN. STOCKPILES SHALL BE PROTECTED BY SILTATION FENCE AND SHIELDED FROM RAINFALL. STOCKPILES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
6. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED AND SEEDING AS SPECIFIED.
7. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED.
8. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
9. ALL CATCH BASIN INLETS WILL BE PROTECTED WITH LOW POINT SEDIMENTATION BARRIER.
10. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AND CLEANED AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
11. ALL Dewatering OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.
12. JUTE MATTING OR APPROVED EQUIVALENT SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.

## CONSTRUCTION SEQUENCE NOTES:

1. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY ON-SITE CONSTRUCTION AS SHOWN. ADDITIONAL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICABLE.
2. CONSTRUCT TEMPORARY STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THIS SHEET.
3. CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
4. REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEDED TO PREVENT EROSION.

5. CONSTRUCT RAIN GARDENS. THE BASES OF THE RAIN GARDENS SHALL BE DEEPLY TILLED TO RESTORE INfiltrATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG. STORMWATER FLOWS ARE NOT TO BE DIRECTED TO THE RAIN GARDENS UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
6. CONSTRUCT ROADWAYS AND PERMIT SITE GRADING, PLACING HAY BALES AND SITELINE FENCES AS REQUIRED TO CONTROL SOIL EROSION, STABILIZE ROADS, PAVING LOTS AND CUT/FILL SLOPES WITHIN 72-HOURS OF ACHIEVING FINISH GRADES.
7. INSTALL UNDERGROUND UTILITIES AND DRAINAGE SYSTEM.
8. BEGIN TEMPORARY AND PERMANENT PLANTING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEDED OR MULCHED WITHIN 72-HOURS OF ACHIEVING FINISH GRADES.

9. DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND, IF NECESSARY, REPAIR EROSION CONTROL MEASURES. PERIODICLY, CHECK SEDIMENT AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING. AT A MINIMUM, INSPECT EROSION CONTROLS WEEKLY AND AFTER EVERY 1/2" OF RAINFALL.
10. BEGIN EXCAVATION FOR CONSTRUCTION OF BUILDINGS.
11. FINISH PAVING ALL ROADWAYS AND DRIVEWAYS.
12. COMPLETE PERMANENT SEEDING AND LANDSCAPING.

13. AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEADED AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.
14. APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY Broadcast SEEDING OR HYDROSEEDING AT THE RATE OUTLINED BELOW.

15. Limestone: 138 lbs./1,000 square feet.
16. Mulch: hay mulch approximately 3 tons/acre unless erosion control mix (see description of erosion control mix for material specification).

17. PERMANENT SEED MIX: Winter Rye (Aug. 15-Sept. 15) 112 LBS./ACRE
18. Oats (No later than May 15) 80 LBS./ACRE

19. NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE HY MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 2 TONS PER ACRE.

20. THE CONTRACTOR AND DEVELOPER MUST MANAGE THE PROJECT TO MEET THE REQUIREMENTS AND INTENT OF RSA 43:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.

21. FUGITIVE DUST MUST BE CONTROLLED IN ACCORDANCE WITH ENV-A-1000.

22. ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAIN STORM AND REPAIRS MADE AS NECESSARY.

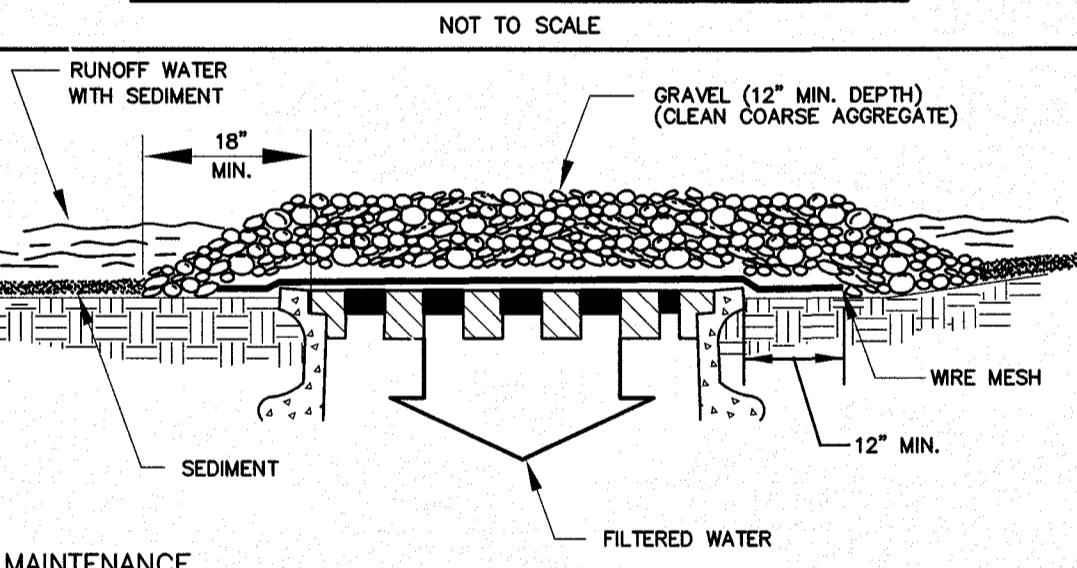
23. SEDIMENT SHOULD BE REMOVED FROM THE TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF OF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED OF IN A SITESPECIFIED AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURAL OR VEGETATIVE MEANS.

24. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAVED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

25. ALL STRUCTURES WITH INLET PROTECTION MUST BE CLEANED AT THE END OF CONSTRUCTION AND WHEN THE SITE IS FULLY STABILIZED.

## SEDIMENT CONTROL FENCE

NOT TO SCALE



## MAINTENANCE

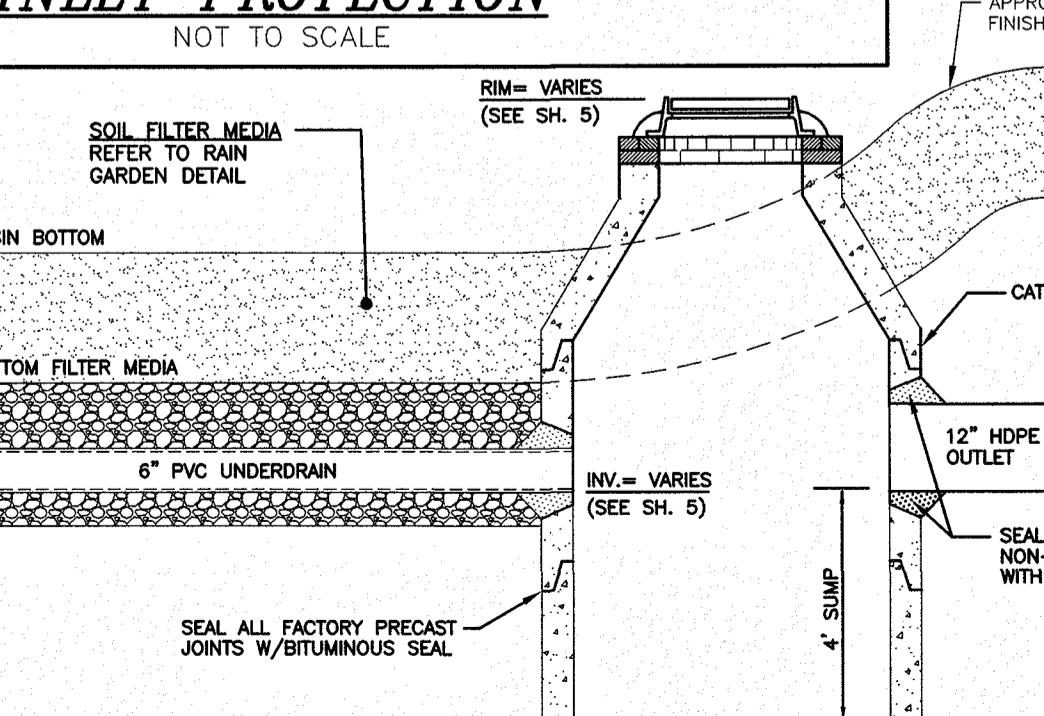
1. ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAIN STORM AND REPAIRS MADE AS NECESSARY.
2. SEDIMENT SHOULD BE REMOVED FROM THE TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF OF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED OF IN A SITESPECIFIED AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURAL OR VEGETATIVE MEANS.

3. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAVED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

4. ALL STRUCTURES WITH INLET PROTECTION MUST BE CLEANED AT THE END OF CONSTRUCTION AND WHEN THE SITE IS FULLY STABILIZED.

## INLET PROTECTION

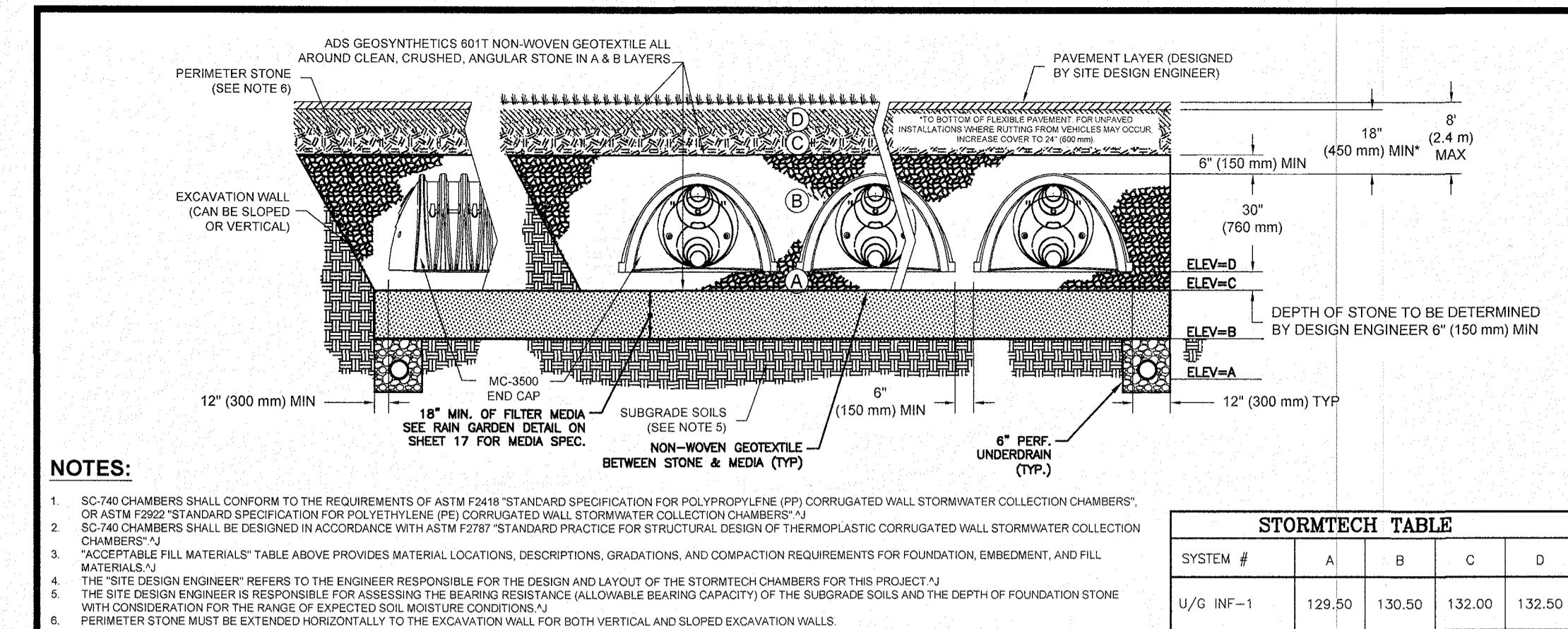
NOT TO SCALE



## RAIN GARDEN #1 OUTLET STRUCTURE DETAIL (CB-2)

NOT TO SCALE

5. THE EROSION CONTROL PROCEDURES SHALL CONFORM TO THE NH STORMWATER MANUAL, VOLUME 3, EROSION & SEDIMENT CONTROLS DURING CONSTRUCTION, DECEMBER 2008.
6. DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED: THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
7. THE EXPOSED AREA THAT WAS BEING ACTIVELY WORKED DURING WINTER IS TO BE LESS THAN 3 ACRES.
8. ALL PERMANENT STORM WATER STRUCTURES SHALL BE STABILIZED PRIOR TO DIRECTING FLOW INTO THEM. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - A) BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
  - B) A


**NOTES:**

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEMLD, AND FILL.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED ANY MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBGRADE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

### SUBSURFACE "STORMTECH" FILTER SYSTEM TYPICAL CROSS SECTION DETAIL

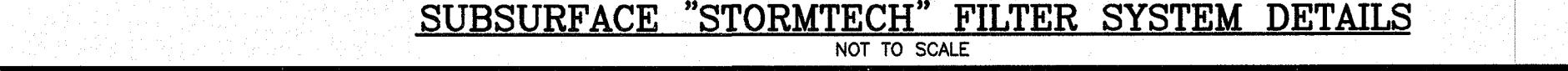
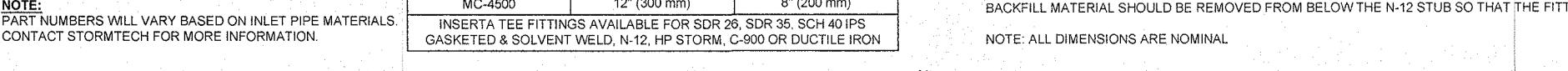
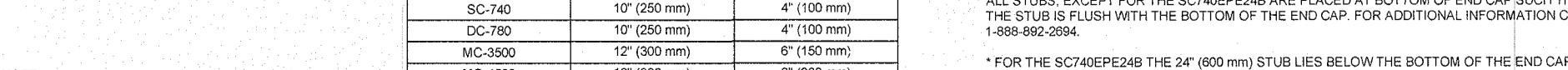
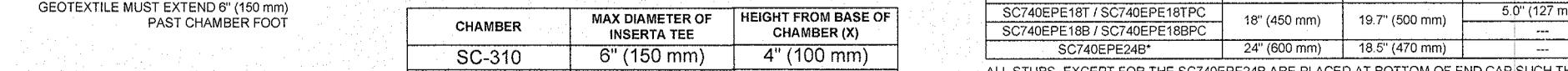
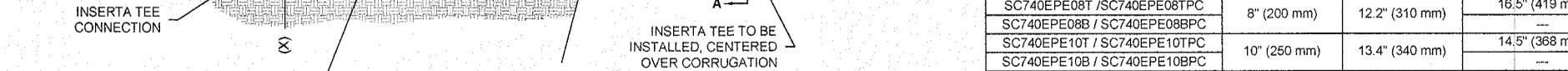
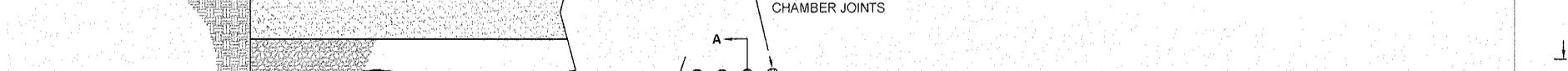
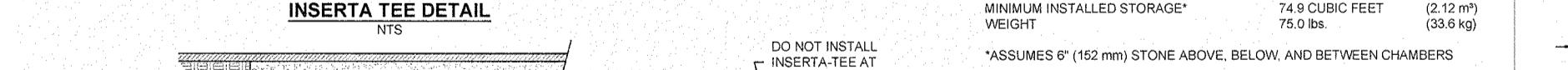
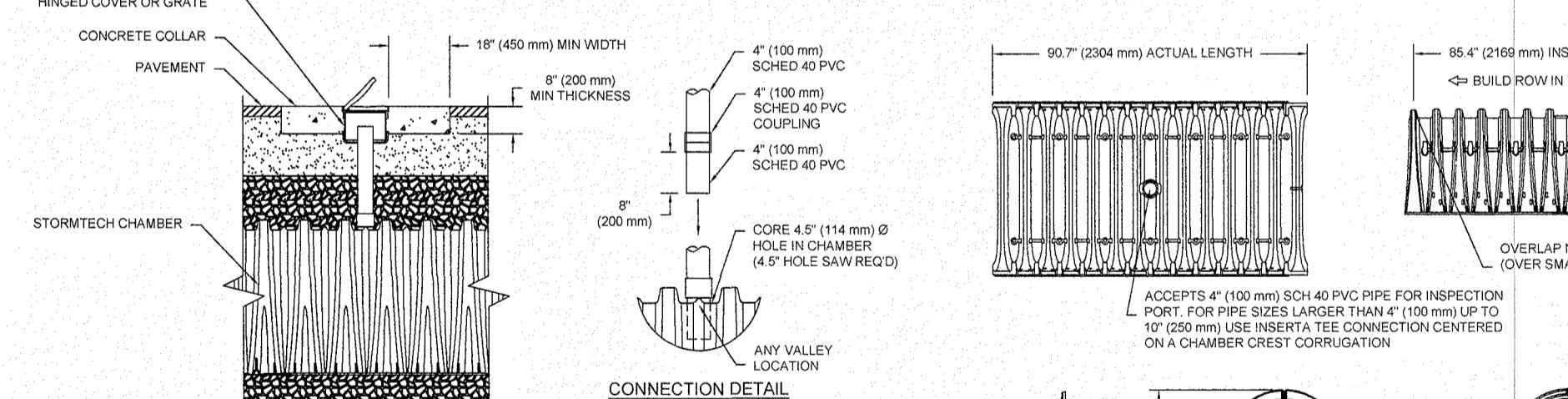
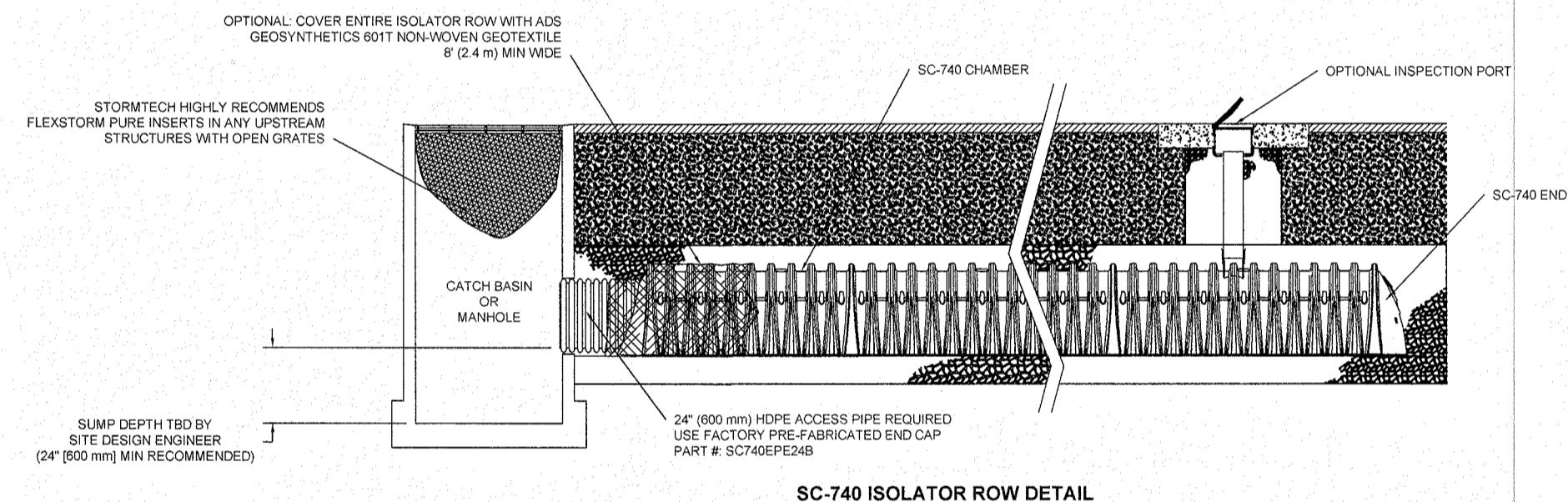
NOT TO SCALE

**INSPECTION & MAINTENANCE**

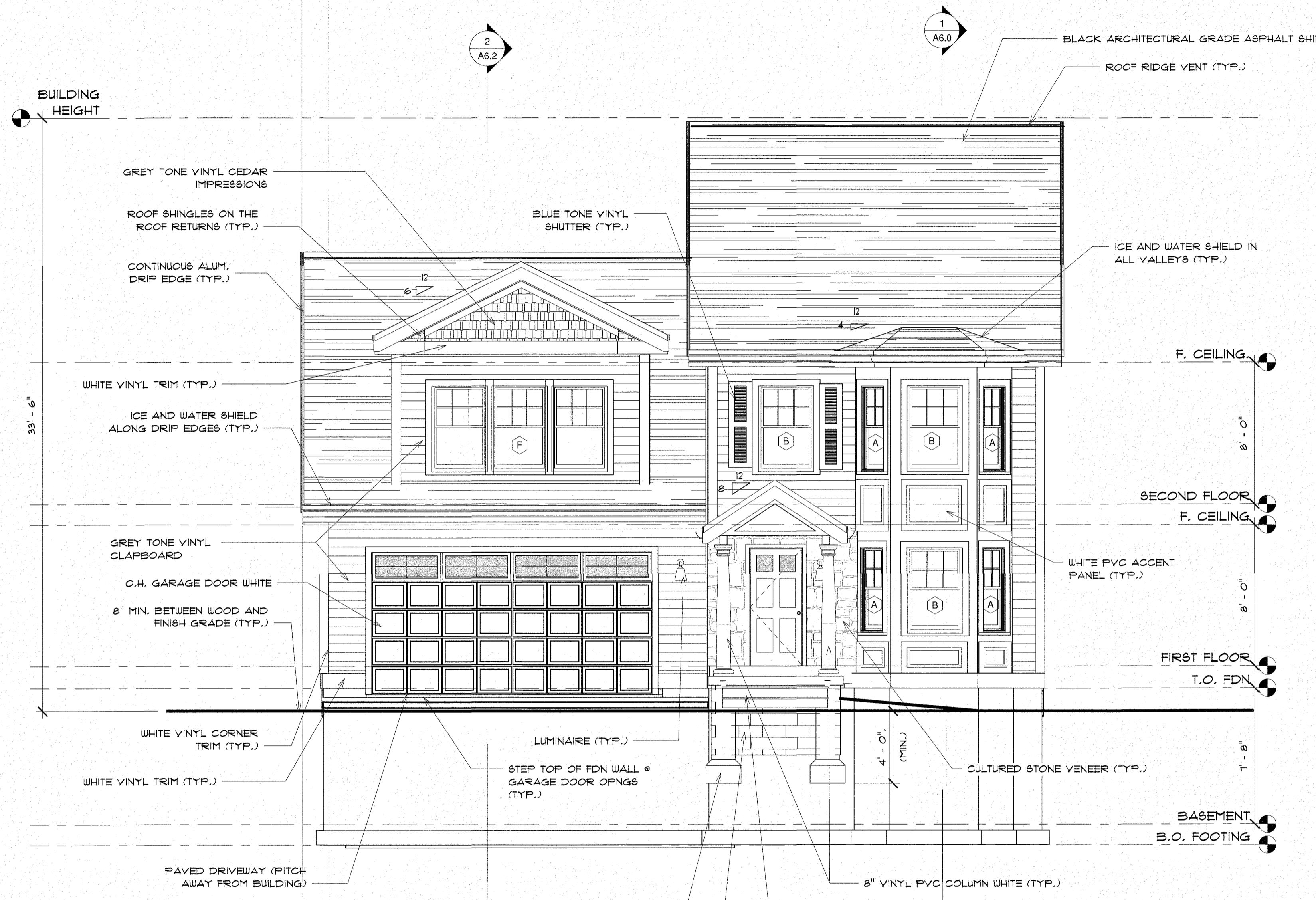
- INSPECT ISOLATOR ROW FOR SEDIMENT
  - INSPECTION PORTS (IF PRESENT)
  - REMOVE OPERATOR PLATE/PLASTIC DRAIN
  - REMOVE CLEAR FLEXSTORM FILTER IF INSTALLED
  - USING A FLASHLIGHT AND STADA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
  - LOCATE AND RECORD DEPTH OF SEDIMENT (IF SEDIMENT LEVELS OPTIONAL)
  - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- ALL ISOLATOR ROWS
  - INSPECT FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
  - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE(A). MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY.(U) FOLLOW OSHA REGULATIONS FOR CONFINED SPACES
  - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
  - A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
  - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
  - VACUUM STRUCTURE DUMP AS REQUIRED
- REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS
- INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

**NOTES**

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.(J)
- CONDUCT JETTING AND VACUUMING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.







1 FRONT ELEVATION

1/4" = 1'-0"

CONTRACTOR TO VERIFY WITH CIVIL  
ENGINEER FINAL BASEMENT / GARAGE  
SLAB ELEVATIONS. ADJUST ELEVATIONS  
AS REQUIRED.

**PROG SET - SINGLE**

BUILDING ENVELOPE ASPECTS TO COMPLY WITH  
CURRENT ENERGY CODE

IT IS THE CONTRACTOR'S OR OWNER'S RESPONSIBILITY TO EMPLOY GAVIN AND SULLIVAN ARCHITECTS TO PERFORM ON SITE VERIFICATION IF REQUIRED OR DESIRED. IT IS THE OWNER'S OR CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT TIMELY NOTIFICATION OF THE PROJECT PROGRESS IS PROVIDED SO THAT ADEQUATE ON SITE ARCHITECTURAL PRESENCE IS OBTAINED. LIABILITY IS SEVERELY DIMINISHED IF ARCHITECT ON SITE VERIFICATION IS NOT PERFORMED.

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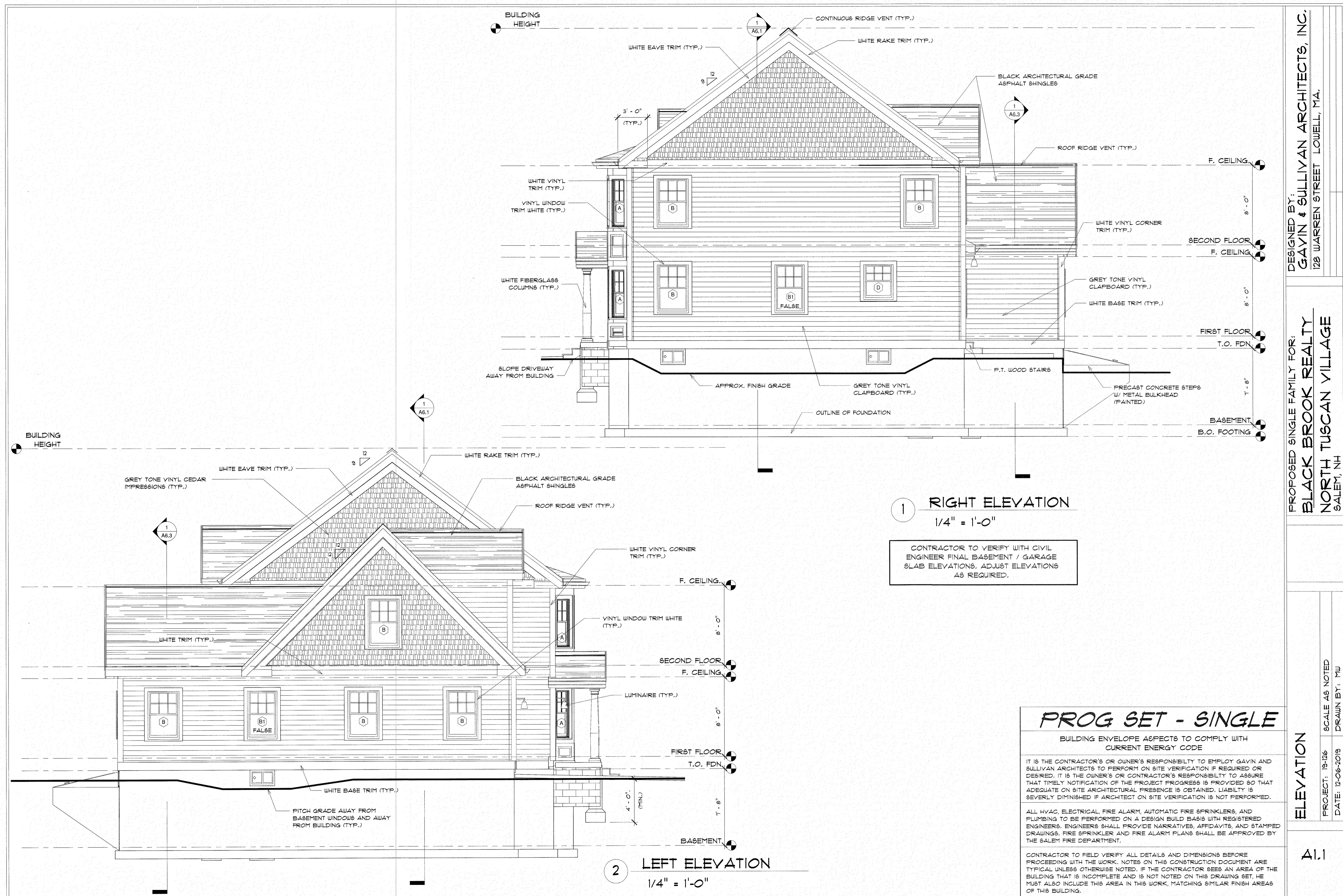
ELEVATIONS

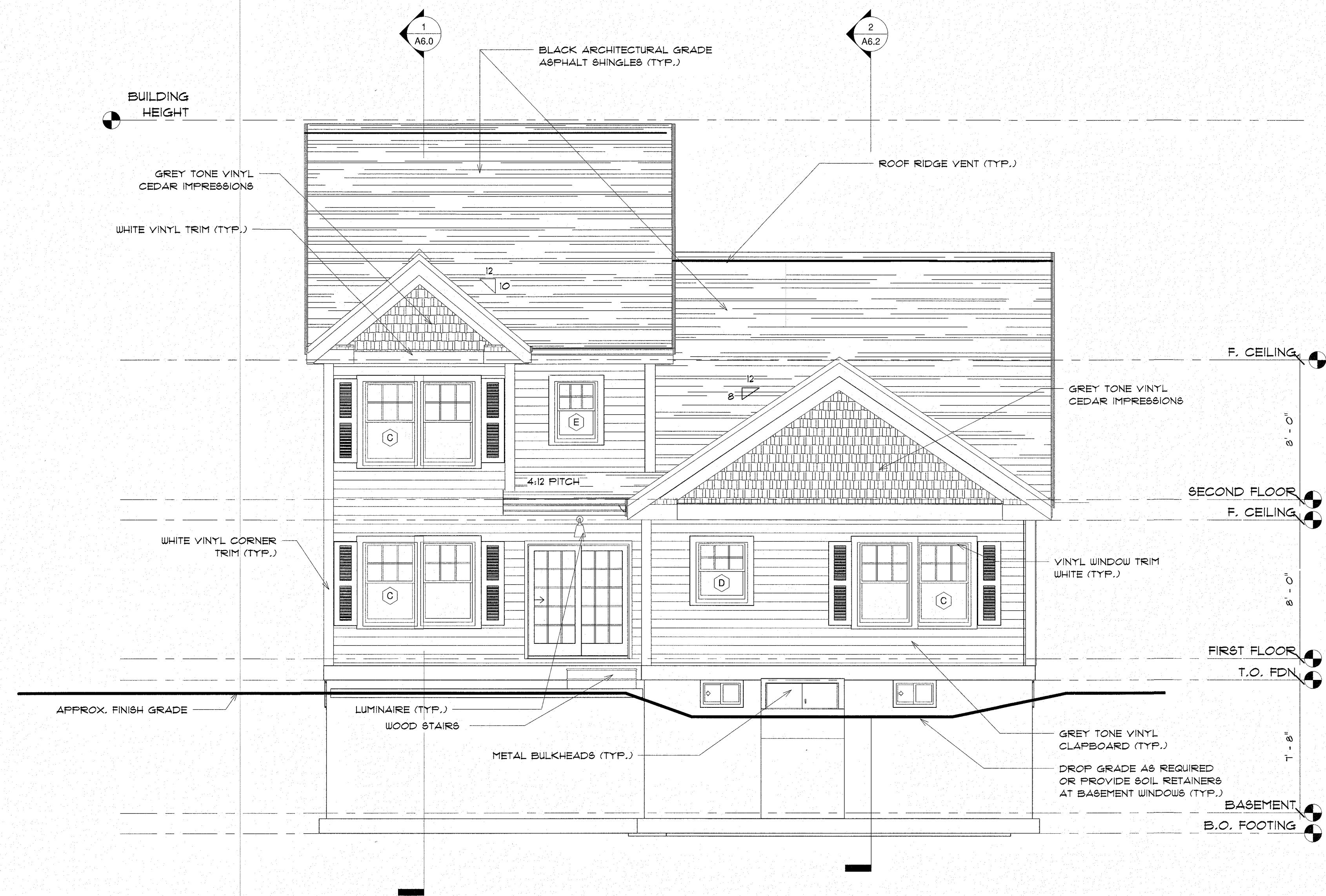
DESIGNED BY:  
GAVIN & SULLIVAN ARCHITECTS, INC.  
128 WARREN STREET, LOWELL, MA.

PROPOSED SINGLE FAMILY FOR:  
BLACK BROOK REALTY  
NORTH TUSCAN VILLAGE  
SALEM, NH

PROJECT: 19-126 SCALE AS NOTED  
DATE: 12-06-2019 DRAWN BY: MU

A1.0





### PROG SET - SINGLE

BUILDING ENVELOPE ASPECTS TO COMPLY WITH CURRENT ENERGY CODE

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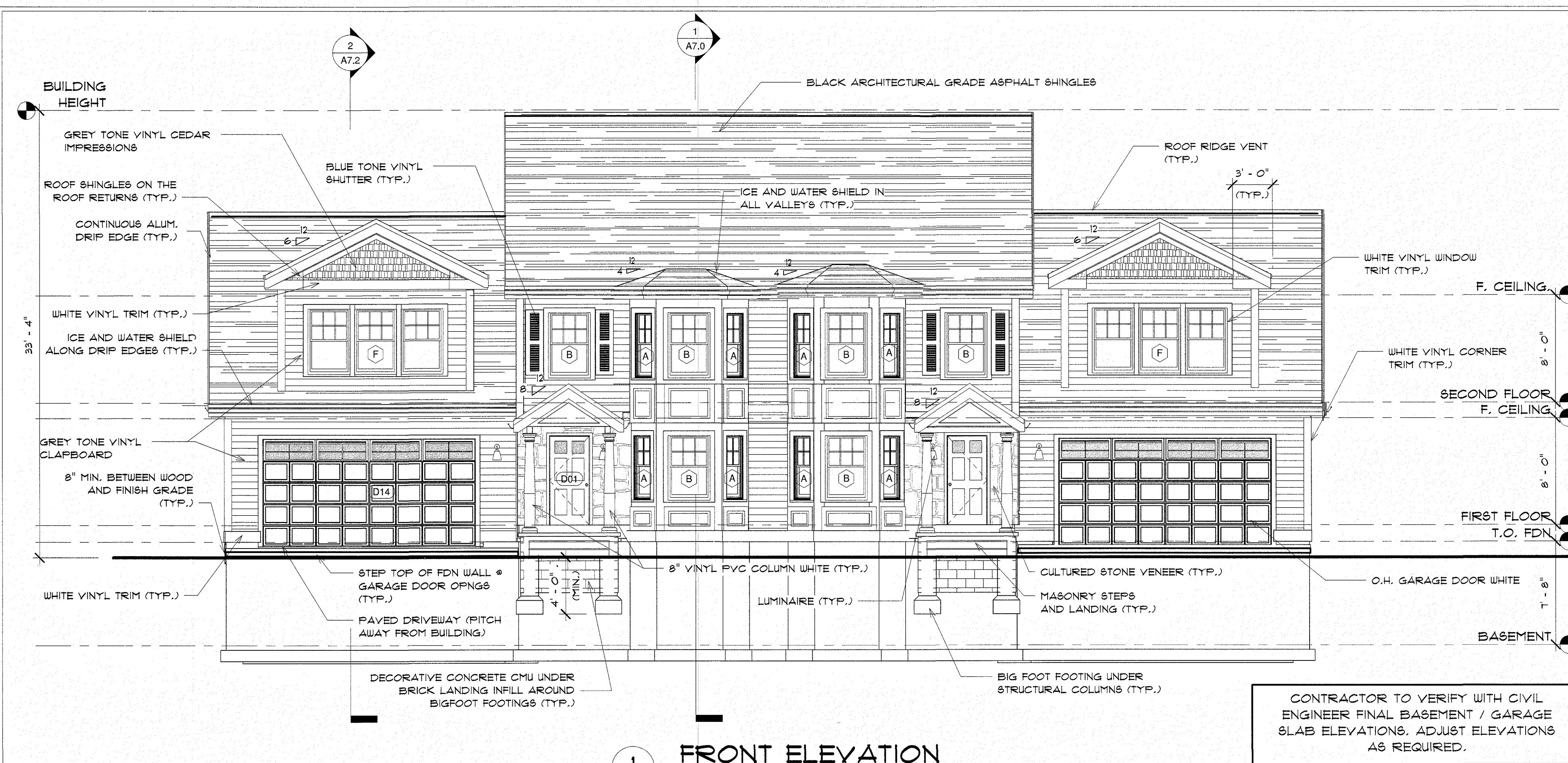
EL ELEVATION

DESIGNED BY:  
GAVIN & SULLIVAN ARCHITECTS, INC.  
128 WARREN STREET LOWELL, MA

PROPOSED SINGLE FAMILY FOR:  
BLACK BROOK REALTY  
NORTH TUSCAN VILLAGE  
SALEM, NH

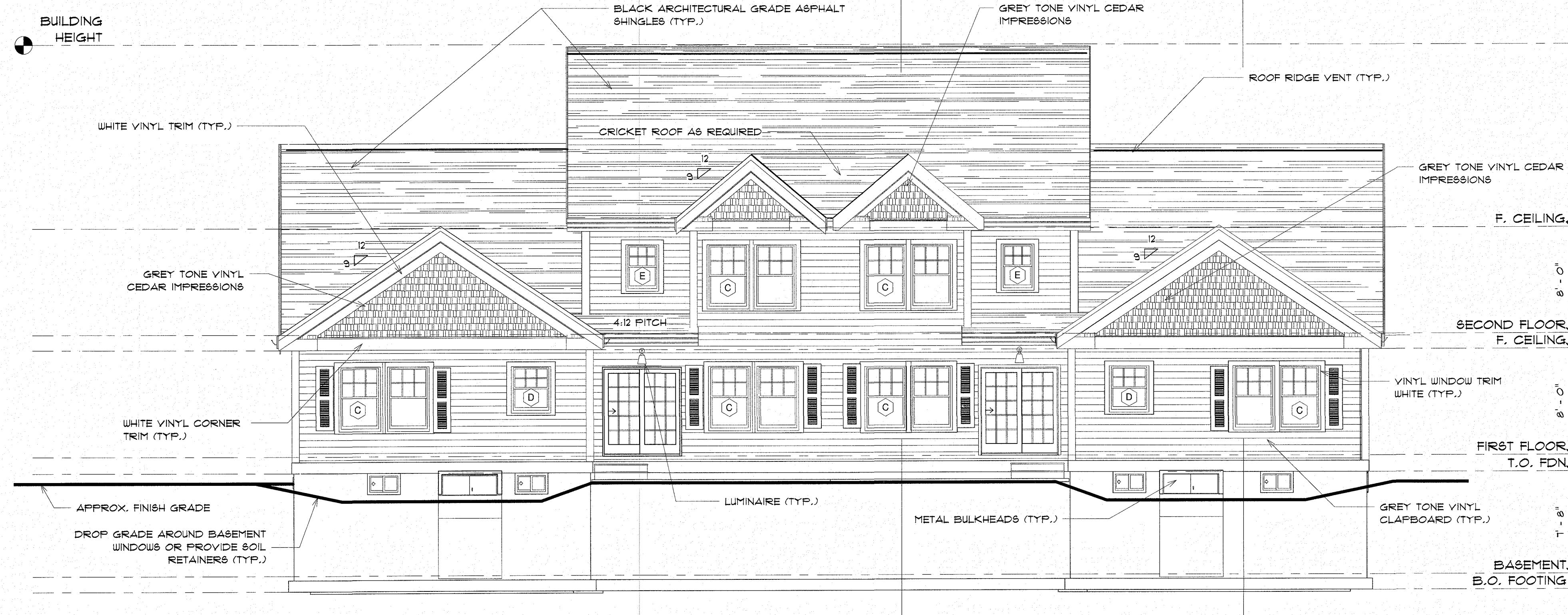
PROJECT: 19-126 SCALE AS NOTED  
DATE: 12-06-2019 DRAWN BY: MW

A1.2



1 FRONT ELEVATION

3/16" = 1'-0"



2 REAR ELEVATION

3/16" = 1'-0"

## DUPLEX A - PROGSET

BUILDING ENVELOPE ASPECTS TO COMPLY WITH CURRENT ENERGY CODE

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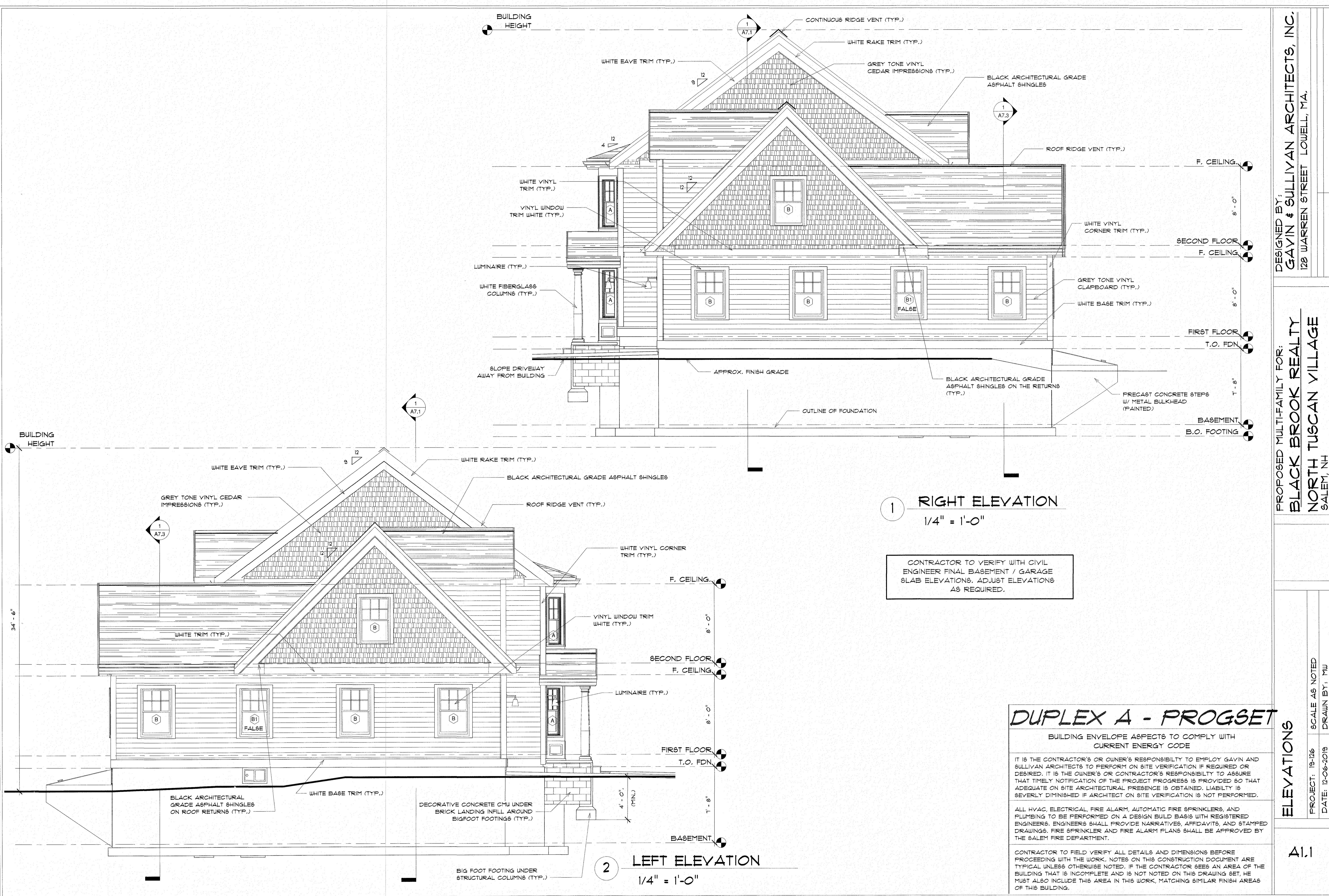
DESIGNED BY:  
GAVIN & SULLIVAN ARCHITECTS, INC.  
128 WARREN STREET LOWELL, MA.

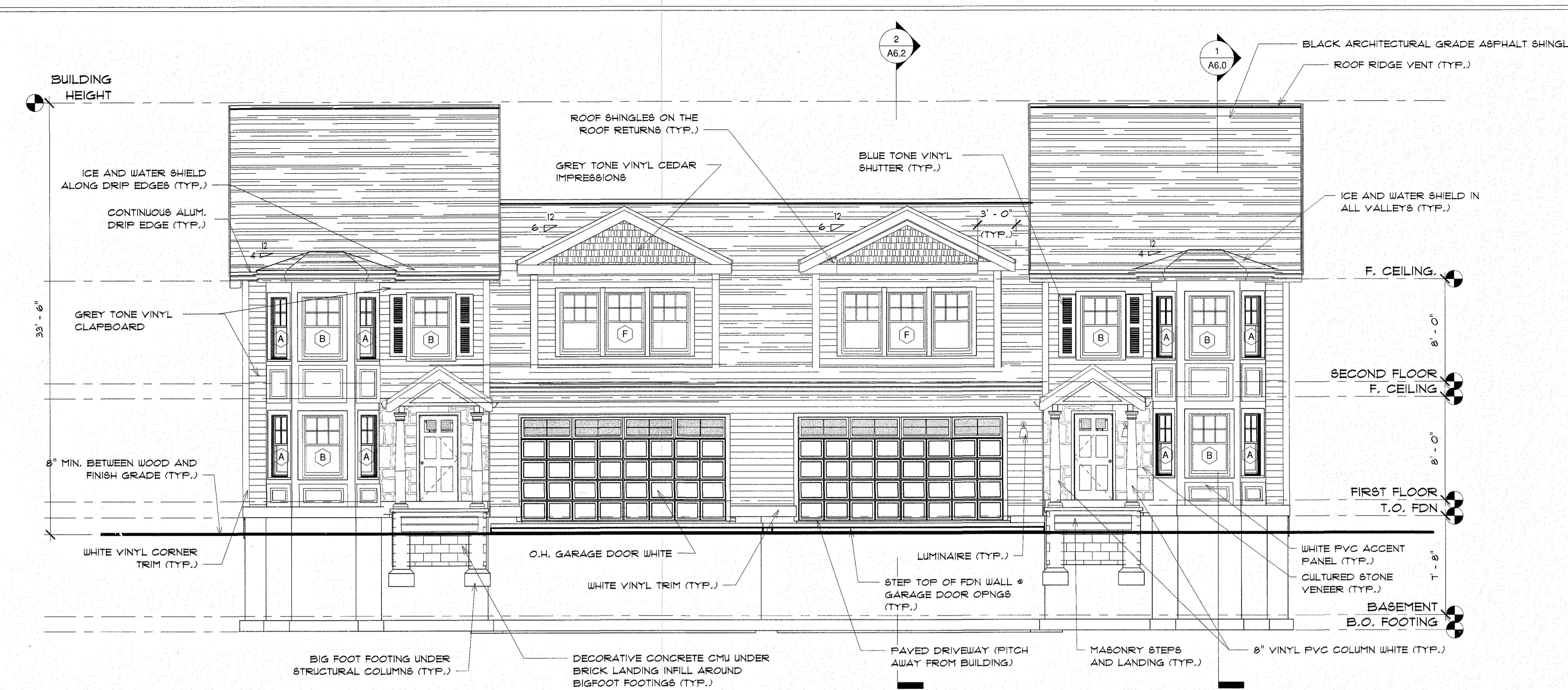
PROPOSED MULTI-FAMILY FOR:  
BLACK BROOK REALTY  
NORTH TUSCAN VILLAGE  
SALEM, NH

ELEVATIONS

PROJECT: 19-126 SCALE AS NOTED  
DATE: 12-06-2019 DRAWN BY: MU  
DATE: 12-06-2019

A1.0

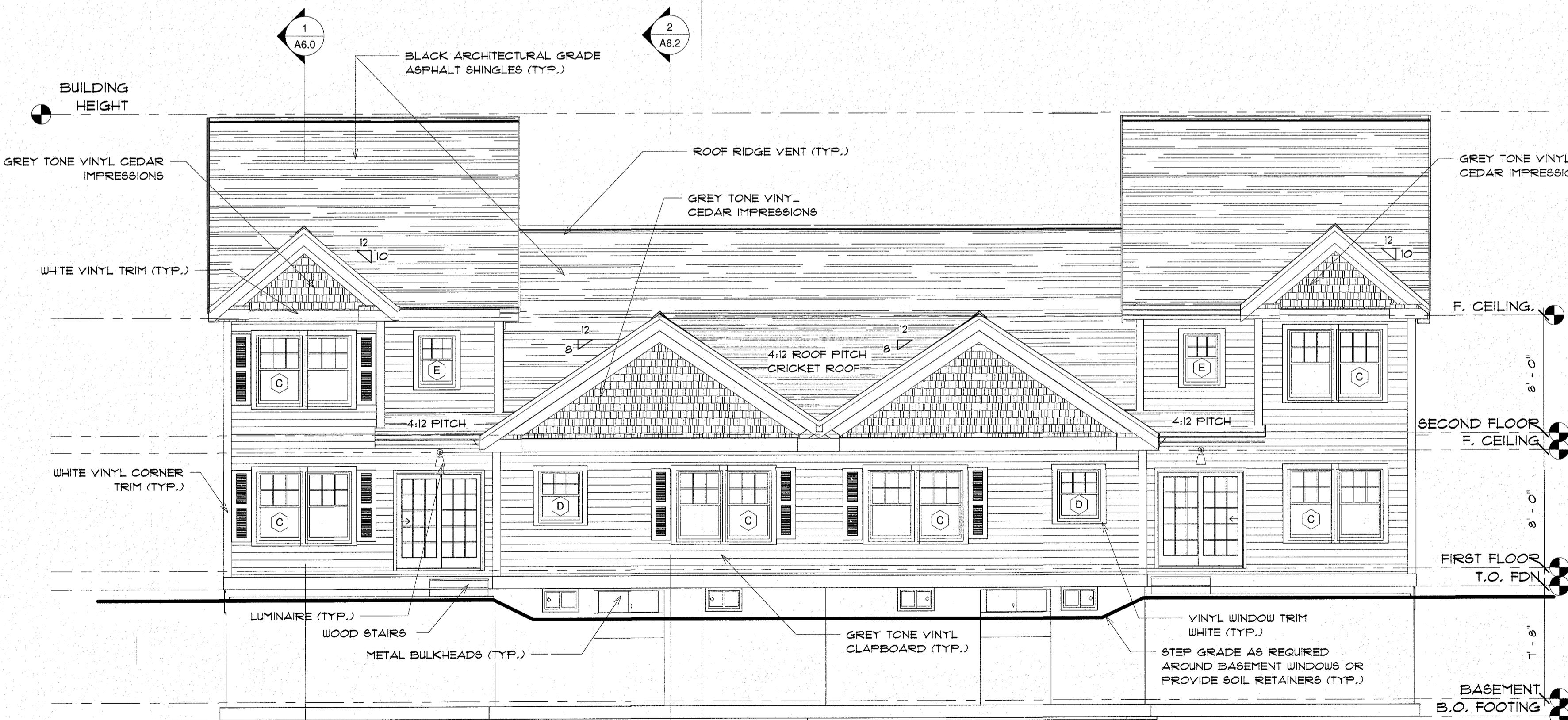




1 FRONT ELEVATION

3/16" = 1'-0"

CONTRACTOR TO VERIFY WITH CIVIL  
ENGINEER FINAL BASEMENT / GARAGE  
SLAB ELEVATIONS, ADJUST ELEVATIONS  
AS REQUIRED.



2 REAR ELEVATION

3/16" = 1'-0"

## PROGSET-DUPLEX B

BUILDING ENVELOPE ASPECTS TO COMPLY WITH  
CURRENT ENERGY CODE

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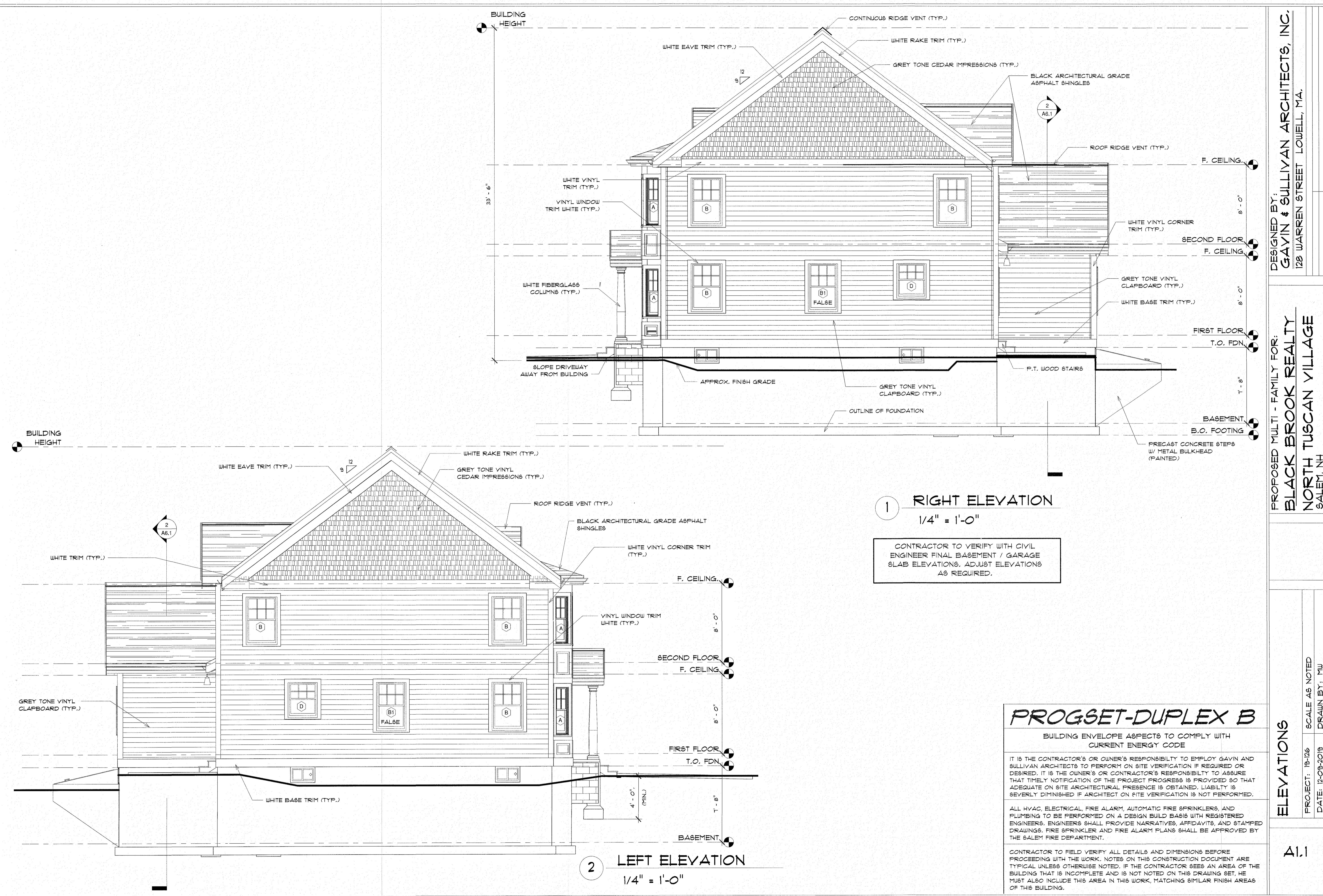
DESIGNED BY:  
GAVIN & SULLIVAN ARCHITECTS, INC.  
128 WARREN STREET LOWELL, MA.

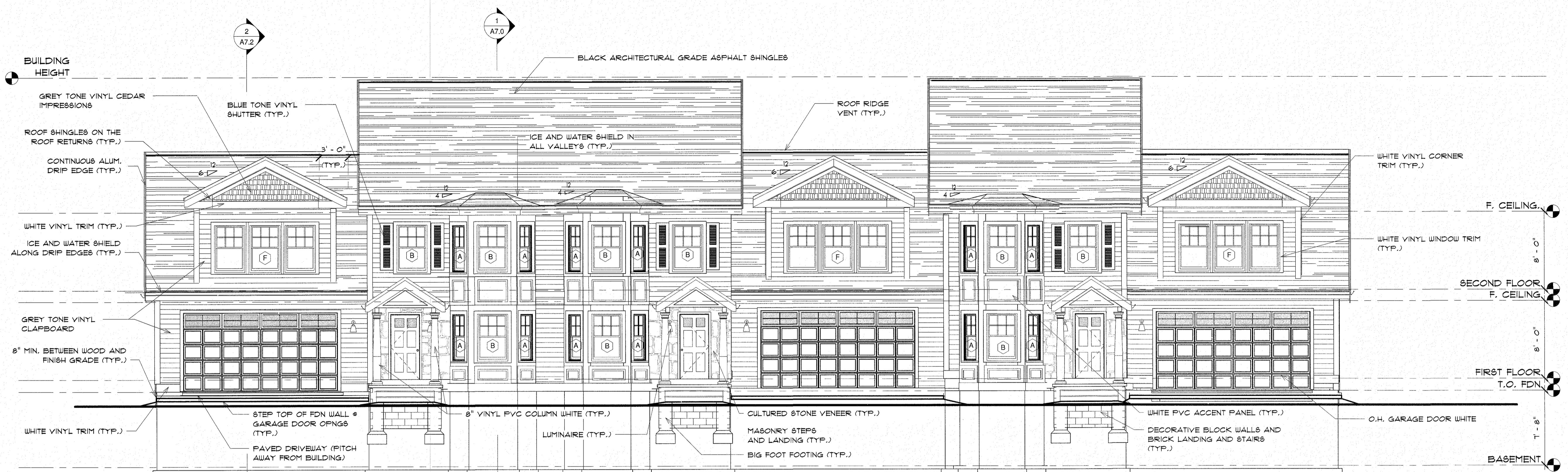
PROPOSED MULTI - FAMILY FOR:  
BLACK BROOK REALTY  
NORTH TUSCAN VILLAGE  
SALEM, NH

ELEVATIONS

PROJECT: 12-126  
DATE: 12-03-2019  
SCALE AS NOTED  
DRAWN BY: MU

A1.0





CONTRACTOR TO VERIFY WITH CIVIL  
ENGINEER FINAL BASEMENT / GARAGE  
SLAB ELEVATIONS. ADJUST ELEVATIONS  
AS REQUIRED.

1 FRONT ELEVATION

3/16" = 1'-0"

**TRIPLEX - PROGDWG**

BUILDING ENVELOPE ASPECTS TO COMPLY WITH  
CURRENT ENERGY CODE

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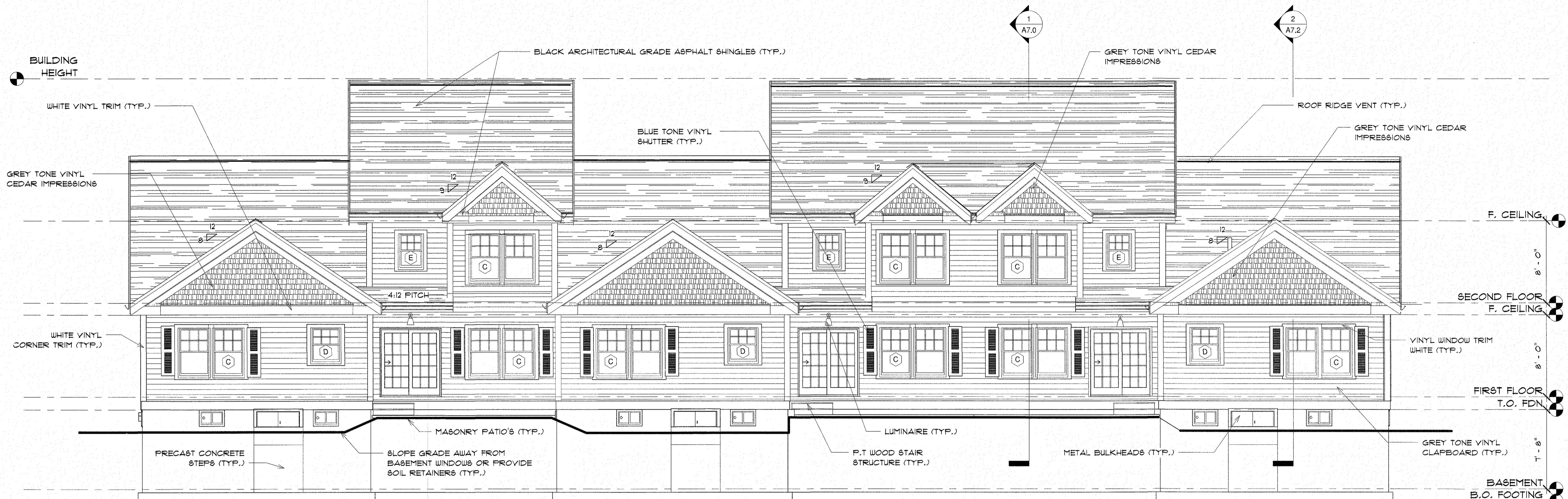
DESIGNED BY:  
GAVIN & SULLIVAN ARCHITECTS, INC.  
128 WARREN STREET, LOWELL, MA.

PROPOSED MULTI - FAMILY FOR:  
BLACK BROOK REALTY  
NORTH TUSCAN VILLAGE  
SALEM, NH

EL ELEVATION

A1.0

PROJECT: 12-126 DATE: 12-03-2019  
SCALE AS NOTED DRAWN BY: MW  
DRAWN BY: MW  
DATE: 12-03-2019



1 REAR ELEVATION

3/16" = 1'-0"

CONTRACTOR TO VERIFY WITH CIVIL  
ENGINEER FINAL BASEMENT / GARAGE  
SLAB ELEVATIONS. ADJUST ELEVATIONS  
AS REQUIRED.

TRIPLEX - PROGDWG

BUILDING ENVELOPE ASPECTS TO COMPLY WITH  
CURRENT ENERGY CODE

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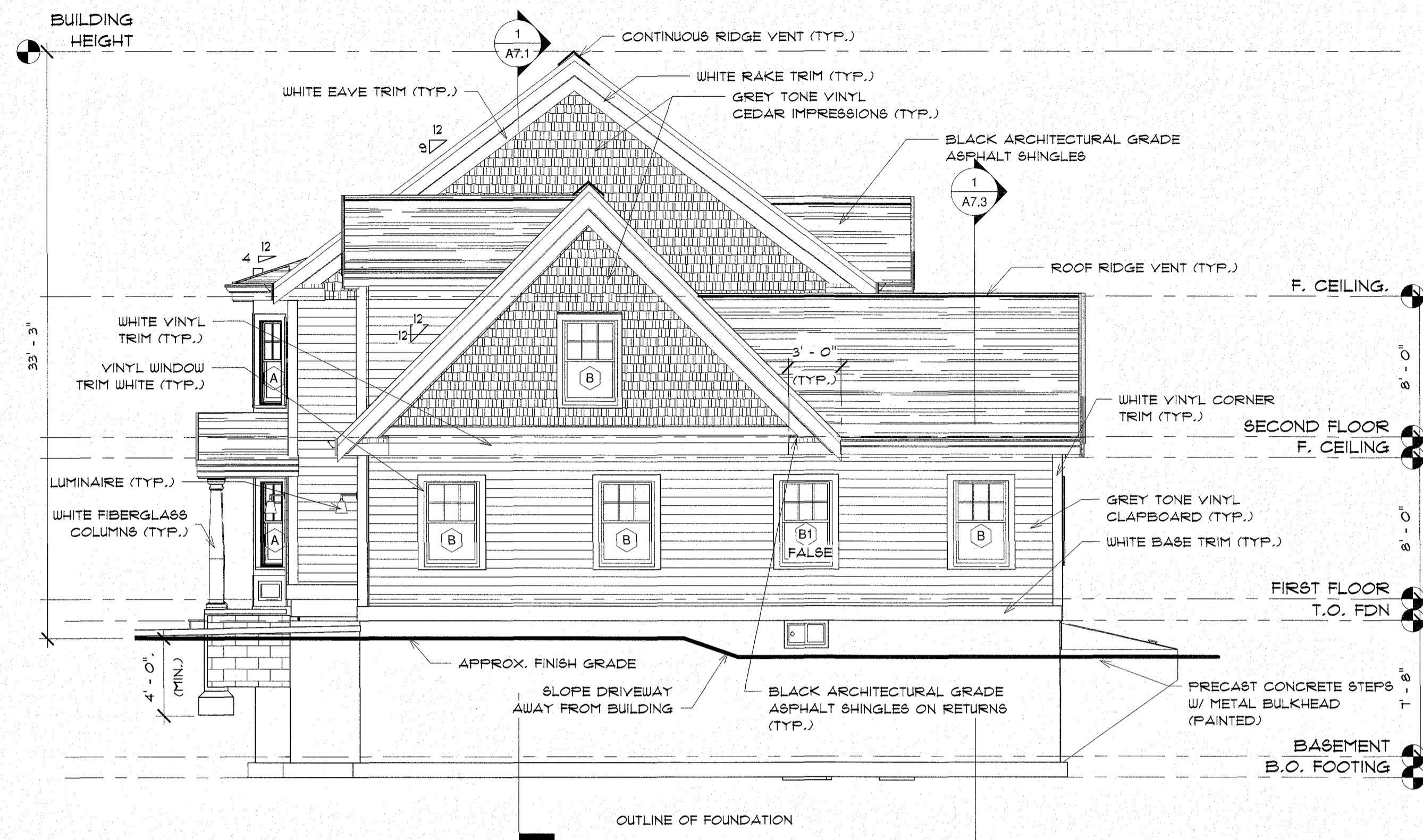
ELEVATION

A1.1

DESIGNED BY:  
GAVIN & SULLIVAN ARCHITECTS, INC.  
128 WARREN STREET LOWELL, MA.

PROPOSED MULTI - FAMILY FOR:  
BLACK BROOK REALTY  
NORTH TUSCAN VILLAGE  
SALEM, NH

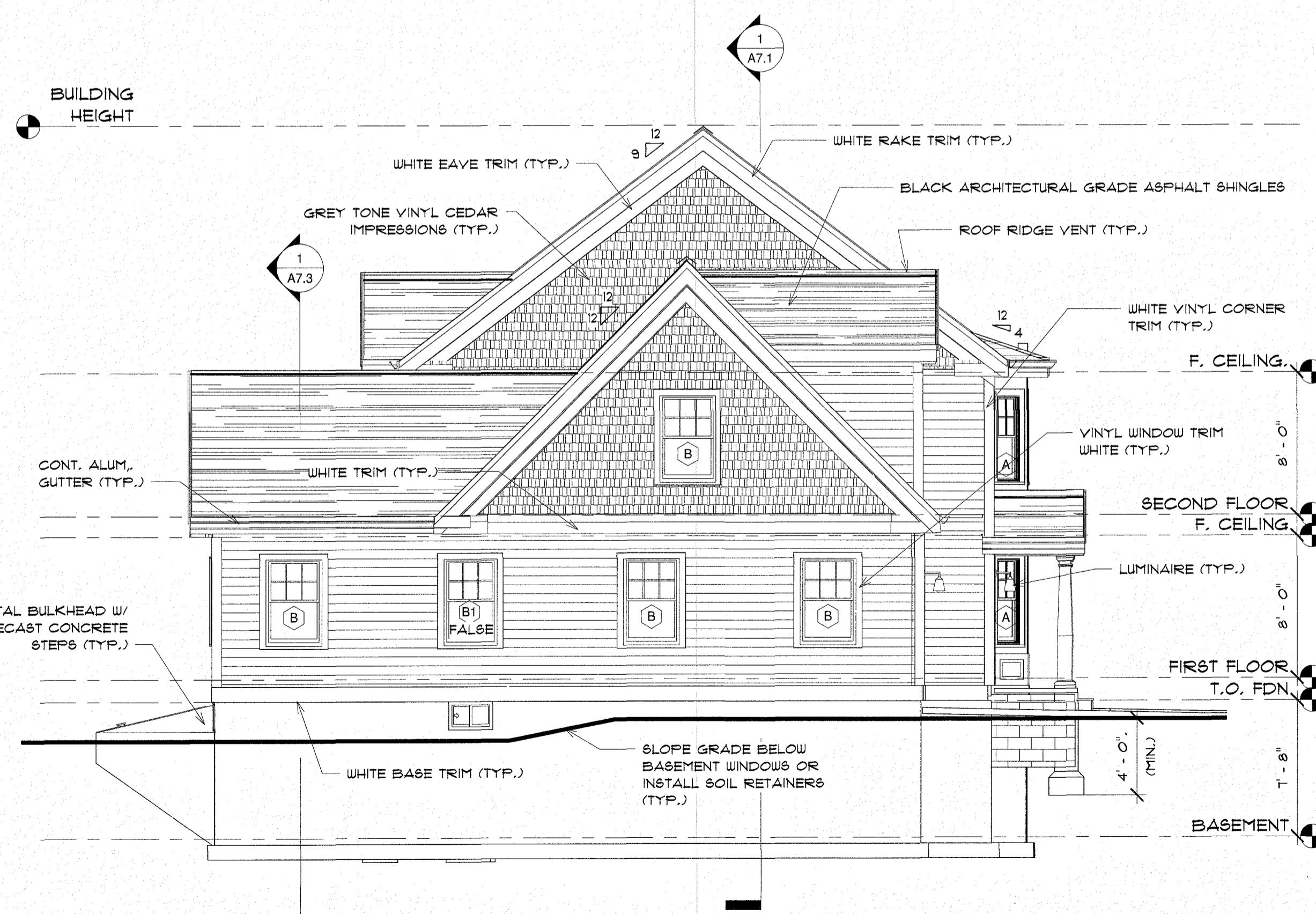
PROJECT: 19-126 SCALE AS NOTED  
DATE: 12-03-2019 DRAWN BY: MU



## RIGHT ELEVATION

$$3/16" = 1'-0"$$

CONTRACTOR TO VERIFY WITH CIVIL  
ENGINEER FINAL BASEMENT / GARAGE  
SLAB ELEVATIONS. ADJUST ELEVATIONS  
AS REQUIRED.



2 LEFT ELEVATION

$$3/16" = 1-8"$$

# TRIPLEX - PROGDWG

## BUILDING ENVELOPE ASPECTS TO COMPLY WITH CURRENT ENERGY CODE

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## ELEVATIONS

A1.2

DESIGNED BY:  
**GAYN & SULLIVAN ARCHITECTS, INC.**  
128 WARREN STREET LOWELL, MA.

**PROPOSED MULTI - FAMILY FOR:  
BLACK BROOK REALT  
NORTH TUSCAN VILLAGE  
SALEM, NH**

PROJECT: 19-126      SCALE AS NOTED  
DATE: 12-09-2019      DRAWN BY: MW