

F:\Projects\CAD\404016\VEHICLE STORAGE BLDG\4040 VEH STORAGE CVR.dwg CVR 1/04/19 10:33am cps

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- BUILDING ELEVATION PLANS (BY OTHERS)

ABUTTERS

MAP/LOT #	NAME & ADDRESS	MAP/LOT #	NAME & ADDRESS
98/12502	DEMOULAS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876	116/11150	MAY DEPARTMENT STORES COMPANY PROPERTY TAX DEPARTMENT 7 WEST 7 TH STREET CINCINNATI, OH 45202
98/12543	TUSCAN VILLAGE RESIDENTIAL HOLDINGS, LLC 150 PRESIDENTIAL WAY, SUITE 200 WOBURN, MA 01801	117/7885	STATE OF NEW HAMPSHIRE P.O. BOX 483 CONCORD, NH 03301
98/11094 116/7884 116/11167 99/12572	ROCKSAL MALL LLC C/O SIMON PROPERTY GROUP P.O. BOX 6120 INDIANAPOLIS, IN 46207	117/7880	ROCKINGHAM 620, INC. C/O KIMCO REALTY CORPORATION 3333 NEW HYDE PARK ROAD #100 NEW HYDE PARK, NY 11042
107/11154 107/11153	SERTAGE SRC FINANCE LLC 3333 BEVERLY ROAD HOFFMAN ESTATES, IL 60179	99/12507	DIOLORENZO LFAYETTE LEDGEWOOD REAL ESTATE, LLC C/O ANTHONY DIOLORENZO, MANAGER 549 US HIGHWAY 1 BYPASS PORTSMOUTH, NH 03801
116/11152	JC PENNEY PROPERTIES INC. PROPERTY TAX OFFICE P.O. BOX 10001 DALLAS, TX 75301	151/12213	STATE OF NHDOT JOHN O'MORTON BUILDING ONE HAZEN DRIVE CONCORD, NH 03302

PERMITS & APPROVALS

TYPE	PERMIT NUMBER	APPROVED
NHDES SEWER EXTENSION	D2018-1104	11/30/2018
NHDES ALTERATION OF TERRAIN	AOT-1524	11/29/2018

SALEM PLANNING BOARD

1) ON SEPTEMBER 25, 2018 THE SALEM PLANNING BOARD GRANTED THE FOLLOWING CONDITIONAL USE PERMITS:
490-501C. BUILDING SETBACK
490-701E. NUMBER OF PARKING SPACES

2) ON DECEMBER 18, 2018 THE SALEM PLANNING BOARD VOTED TO APPROVE THIS SITE PLAN SUBJECT TO THE FOLLOWING CONDITIONS:

PRIOR TO BUILDING PERMIT:

1. PAY FOR OUTSIDE INSPECTIONS PER DIRECTION OF ENGINEERING DIVISION;

PRIOR TO OCCUPANCY:

2. PAY ROAD (\$8,398) AND PUBLIC SAFETY (\$7,314) IMPACT FEES;
3. CONSTRUCT ALL SITE IMPROVEMENTS (INCLUDING BUILDING LOCATION, DIMENSIONS AND SETBACKS, SITE GRADING, UTILITIES, DRAINAGE, LANDSCAPING, LIGHTING, PARKING SPACES) IN ACCORDANCE WITH APPROVED PLAN;
4. PROVIDE CERTIFIED AS-BUILT SITE PLAN;
5. PROVIDE DEVELOPMENT AGREEMENT;

OTHER:

6. NOTE CONDITIONAL USE PERMITS FOR REDUCED PARKING AND BUILDING SETBACKS ON PLAN;
7. ADD "NO PUBLIC ACCESS" AT PLEASANT STREET;
8. NOTE NO DEAD STORAGE BEHIND BUILDINGS;
9. ALL REPRESENTATIONS MADE BY APPLICANT OR AGENTS AND ALL NOTES ON PLANS ARE INCORPORATED AS PART OF APPROVAL

TUSCAN VILLAGE

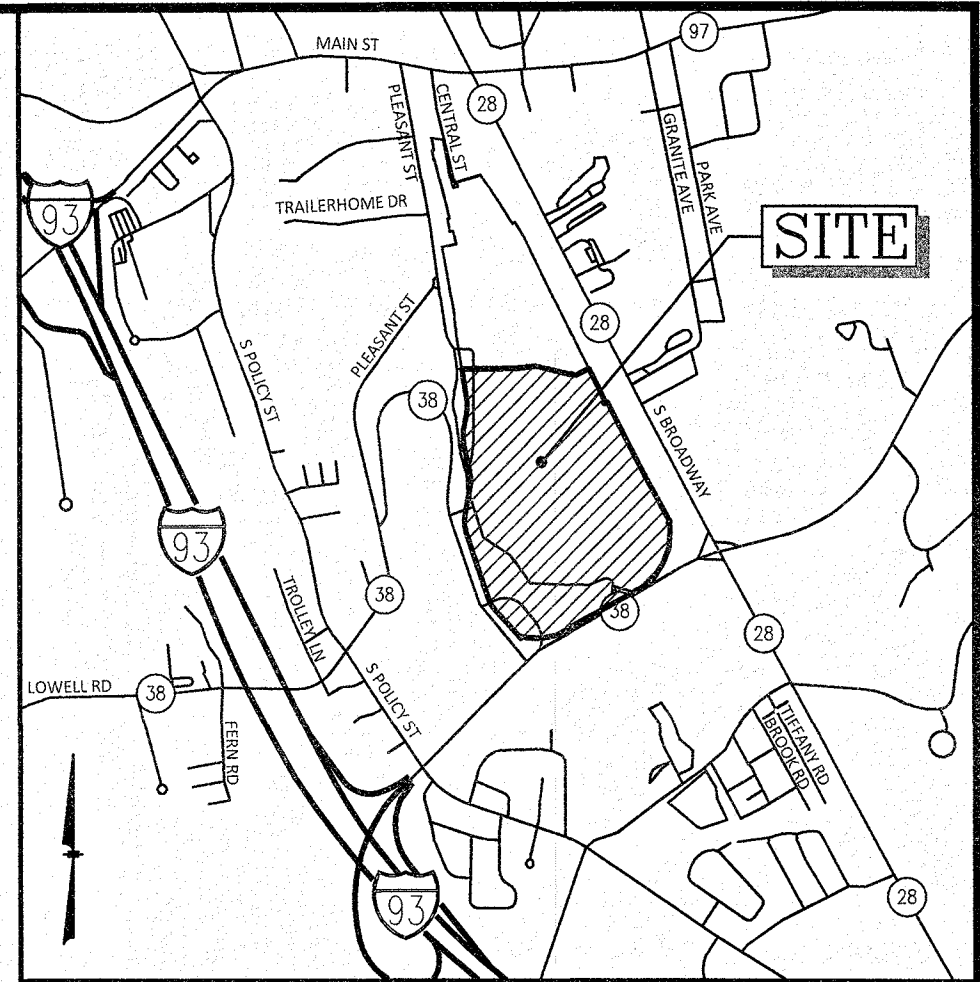
MAINTENANCE OPERATIONS CENTER

(# 8A & # 8B TUSCAN BOULEVARD)

SALEM PROPERTY MAP 98 LOT 7887

71 ROCKINGHAM PARK BOULEVARD

SALEM, NEW HAMPSHIRE



LOCATION MAP
(NOT TO SCALE)

Prepared for:

OMJ REALTY, LLC
63 MAIN STREET
SALEM, NEW HAMPSHIRE 03079

6	ADD PLANNING BOARD APPROVAL, REVISE SHEET 4	DRJ	1/4/19
5	ADD STATE PERMITS, REVISE SHEETS 4, 5, 6, 6A	DRJ	12/5/18
4	REVISE SHEETS 4, 5, 6A, 6B, 7, 8, 12	DRJ	11/28/18
3	ADD SHEETS 6A & 6B	DRJ	11/19/18
2	REVISE SHEETS 3-12	DRJ	11/6/18
1	UPDATE STREET ADDRESS, REVISE SHEETS 4-9 & 11-12	GMP	9/12/18
NO.	DESCRIPTION	BY	DATE

TITLE SHEET

TUSCAN VILLAGE MAINTENANCE OPERATIONS CENTER
SALEM PROPERTY MAP 98 - LOT 7887
PROPERTY ADDRESS - 71 ROCKINGHAM PARK BOULEVARD

PREPARED FOR:
OMJ REALTY, LLC
63 MAIN STREET
SALEM, NH 03079



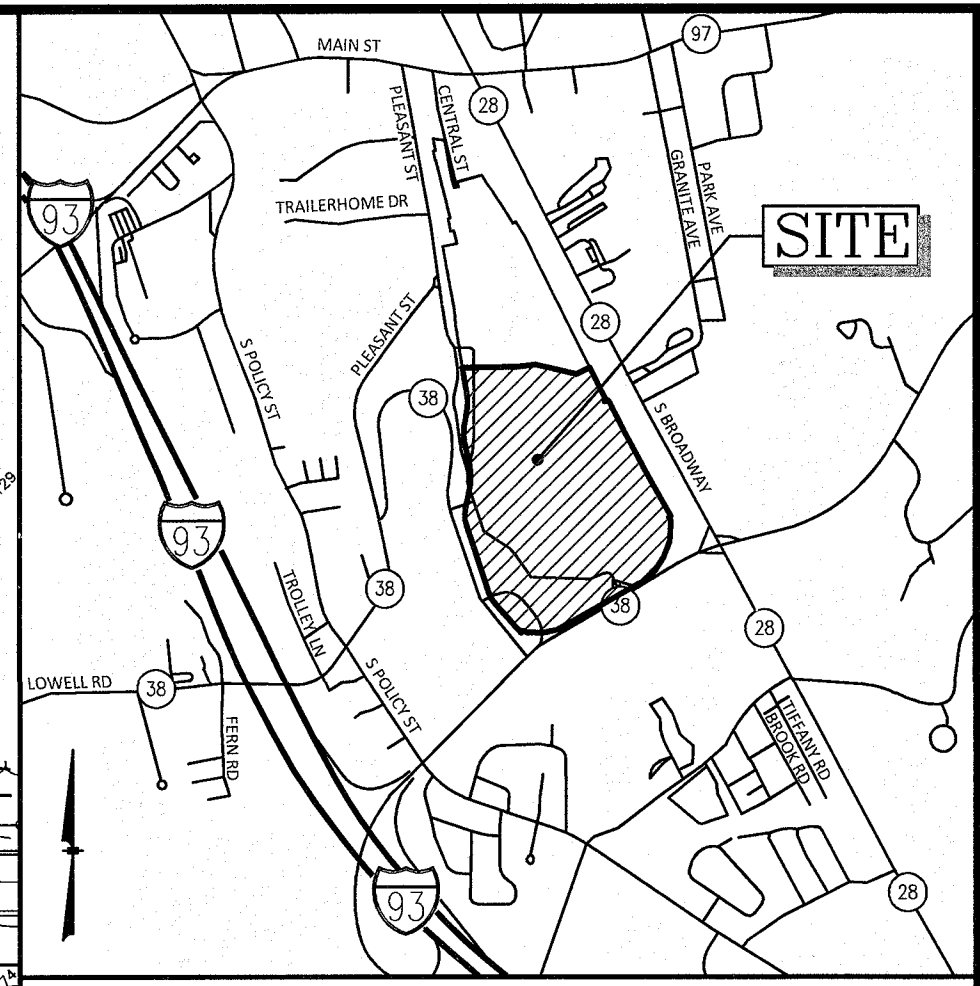
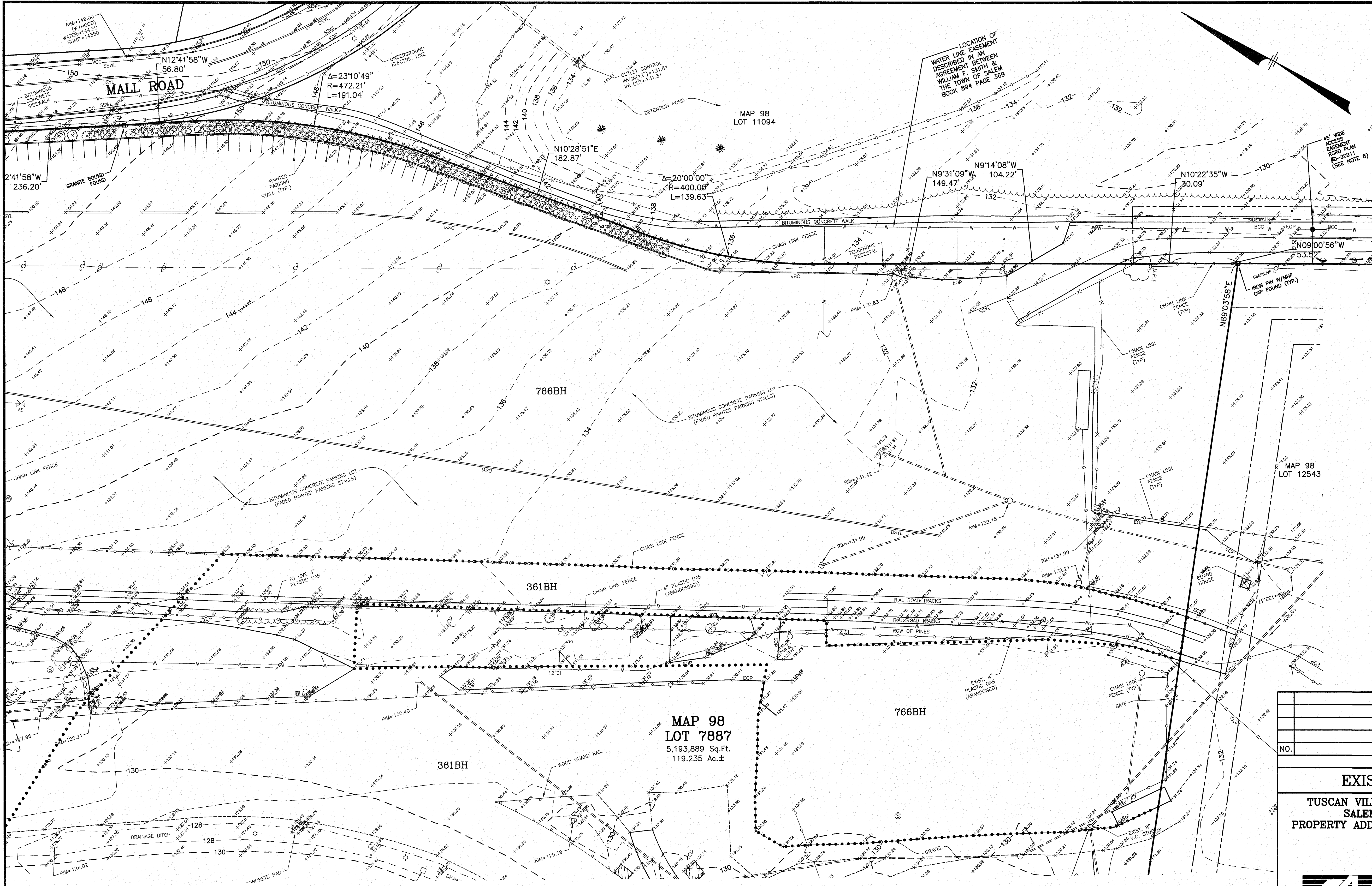
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(603) 893-0720
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SCALE: NONE

DATE: SEPTEMBER 4, 2018

 1019	<u>OWNER OF RECORD</u> ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079		<u>SALEM PLANNING BOARD</u> APPROVAL <i>Ross Q. Jordan</i> Approved 12/18/18 Signed 1/11/19	
	ZONE: COMMERCIAL – INDUSTRIAL 'C'			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
DRJ	SJB/DRJ	4040 V.S.CVR.DWG	404016	1 OF 12




NOTES:

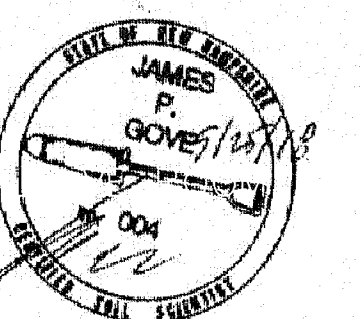
- 1) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF A PORTION OF MAP 98 LOT 7887 AS IT EXISTED IN JUNE 2015.
- 2) OWNER OF RECORD: ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079 DEED REFERENCE TO PARCEL IS BOOK 5763 PAGE 52 AREA OF PARCEL = 5,193,889 S.F.± OR 119,235 ACRES±
- 3) THE INFORMATION SHOWN ON THIS PLAN IS BASED IN PART ON SURVEY WORK PERFORMED BY MHF DESIGN CONSULTANTS, INC. ALONG WITH INFORMATION FROM RECORD PLANS AND AERIAL MAPPING.
- 4) EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 3301SC0563E, EFFECTIVE DATE: MAY 17, 2005, INDICATES THAT A PORTION OF MAP 98 LOT 7887 IS LOCATED WITHIN BOTH ZONES A ZONE & FLOOD AREAS. THE PROPOSED MAINTENANCE BUILDINGS ARE NOT LOCATED WITHIN A FLOOD ZONE.
- 5) BENCHMARK: RM 15 - DISK STAMPED "F-2" LOCATED IN THE WEST END OF THE NORTH ABUTMENT OF THE BOSTON & MAINE RAILROAD BRIDGE OVER POLICY BROOK NEAR ROCKINGHAM PARK. ELEVATION = 124.12 (NGVD29).
- 6) CURRENT ZONING IS COMMERCIAL INDUSTRIAL "C". BUILDING SETBACKS ARE AS FOLLOWS: 30' FRONT, 20' SIDE, 20' REAR.
- 7) EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH COMPLETED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, RESTRICTIONS AND EASEMENTS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PARCEL(S) WOULD DETERMINE.
- 8) SEE ACCESS EASEMENT RESERVED IN RCRD BOOK 2828 PAGE 1485 GRANTING "A PERPETUAL EASEMENT FOR THE PASSAGE AND REPASSAGE BY FOOT AND BY VEHICLE FOR ANY AND ALL OTHER USES FOR WHICH ROADS OR STREETS ARE COMMONLY USED, INCLUDING BUT NOT LIMITED TO UTILITIES AND DRAINAGE".

CERTIFICATION:

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND DURING OCTOBER/NOVEMBER 2014 AND JUNE 2015 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

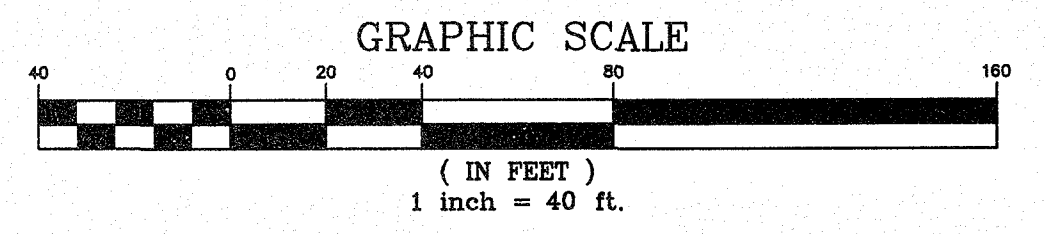

LICENSED LAND SURVEYOR
9/4/2018
DATE



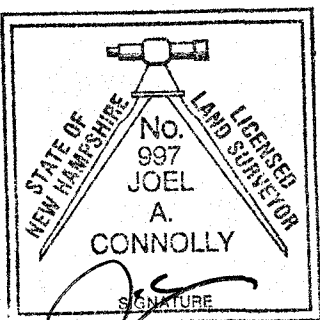
SOIL SURVEY PERFORMED

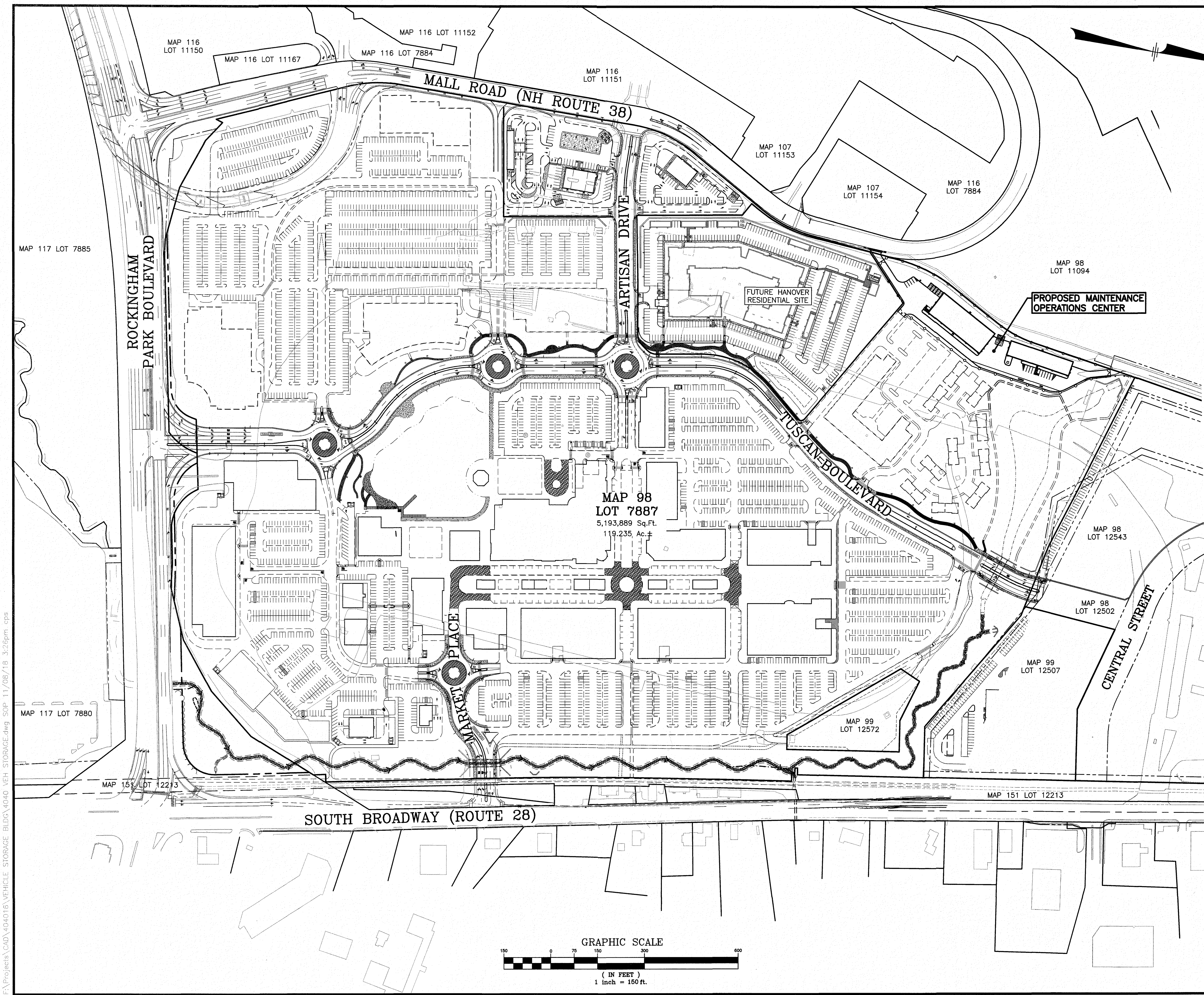

BY
GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DR., BLDG 2, UNIT H, EXETER, NH 03833-7507


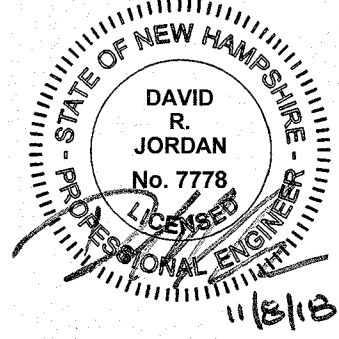
SOIL MAPPING NOTES

- 1) HIGH INTENSITY SOIL MAPPING WAS PERFORMED TO THE STANDARDS OF THE SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND SPECIAL PUBLICATION NUMBER 1, HIGH INTENSITY SOIL MAPS FOR NEW HAMPSHIRE, STANDARDS, APRIL 2008.
- 2) THE SOIL IN THE AREA AROUND THE PROPOSED MAINTENANCE BUILDING HAS BEEN DESIGNATED AS 766BH BY GOVE ENVIRONMENTAL SERVICES, INC. (SOMEWHAT POORLY DRAINED, EXCAVATED, REGRADED OR FILLED, WITH MINERAL RESTRICTIVE LAYER LESS THAN 40 INCHES).



NO.	DESCRIPTION			BY	DATE
REVISIONS					
EXISTING CONDITIONS PLAN					
TUSCAN VILLAGE MAINTENANCE OPERATIONS CENTER					
SALEM PROPERTY MAP 98 - LOT 7887					
PROPERTY ADDRESS - 71 ROCKINGHAM PARK BOULEVARD					
PREPARED FOR:					
OMJ REALTY, LLC					
63 MAIN STREET					
SALEM, NH 03079					
			44 Stiles Road, Suite One Salem, New Hampshire 03079 (603) 893-0720 ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com		
MHF Design Consultants, Inc.					
SCALE: 1"=40'			DATE: SEPTEMBER 4, 2018		
		OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079		SALEM PLANNING BOARD APPROVAL	
ZONE: COMMERCIAL - INDUSTRIAL 'C'					
DESIGNED BY:		DRAWN/CHECKED		DWG. NAME	
DRJ		CCC/DRJ		4040 V.S. ECP.DWG	
PROJECT No.		SHEET No.			
404016		2 OF 12			



2		REVISIONS PER REVIEW COMMENTS	DRJ	11/6/18
1		ADD STREET NAMES	DRJ	9/12/18
NO.	DESCRIPTION		BY	DATE
REVISIONS				
SITE OVERVIEW PLAN				
TUSCAN VILLAGE MAINTENANCE OPERATIONS CENTER SALEM PROPERTY MAP 98 - LOT 7887 PROPERTY ADDRESS - 71 ROCKINGHAM PARK BOULEVARD				
PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET SALEM, NH 03079				
		44 Stiles Road, Suite One Salem, New Hampshire 03079 (603) 893-0720 ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com		
SCALE: 1" = 150'		DATE: SEPTEMBER 4, 2018		
	OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079		SALEM PLANNING BOARD APPROVAL	
	ZONE: COMMERCIAL - INDUSTRIAL 'C'			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
DRJ	SJB/DRJ	4040 VEH. ST.DWG	404016	3 OF 12

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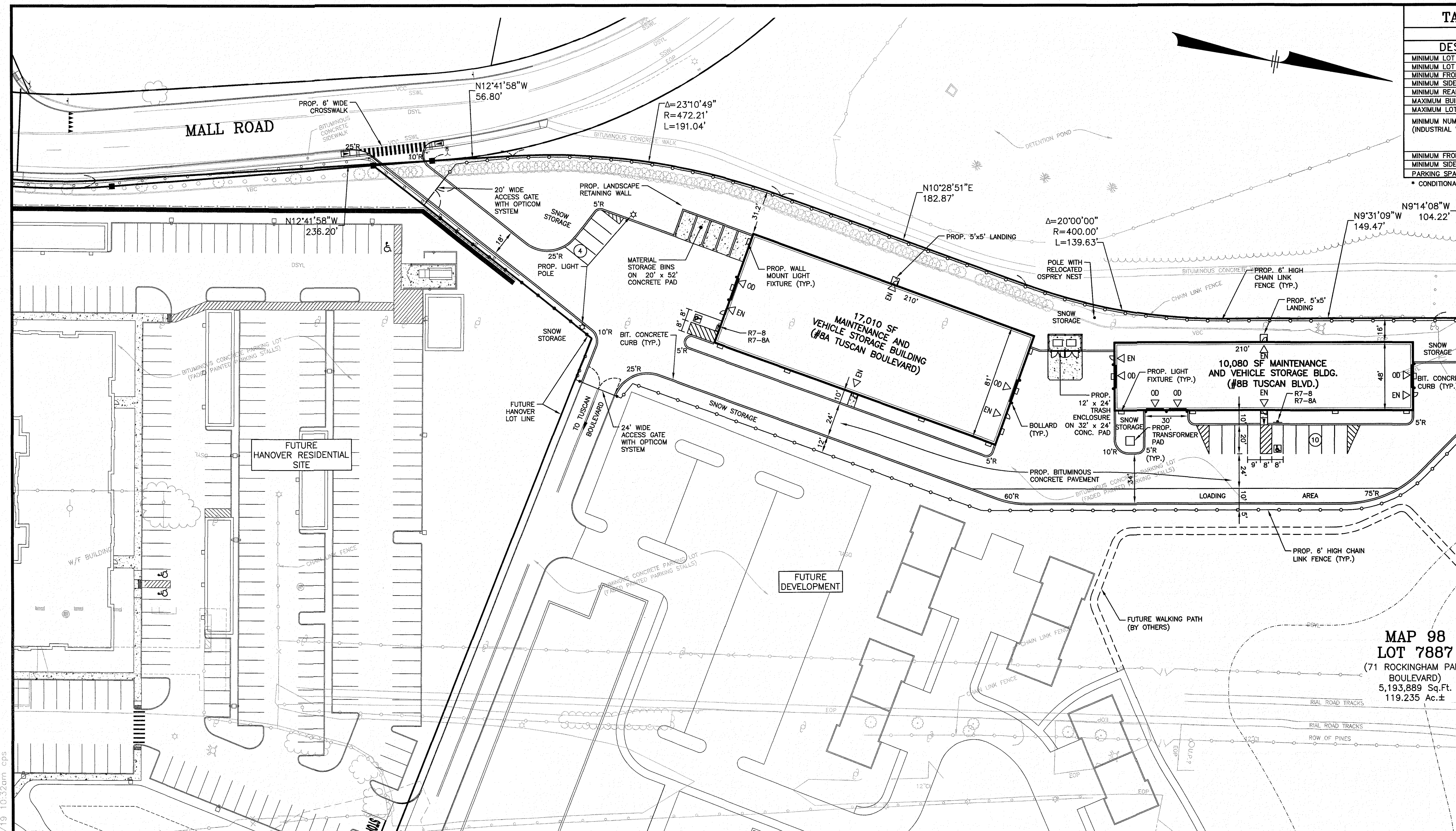
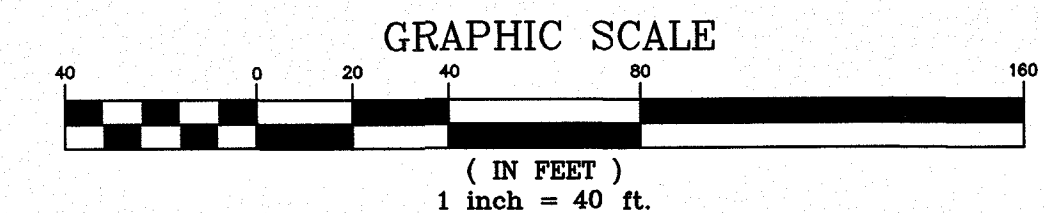
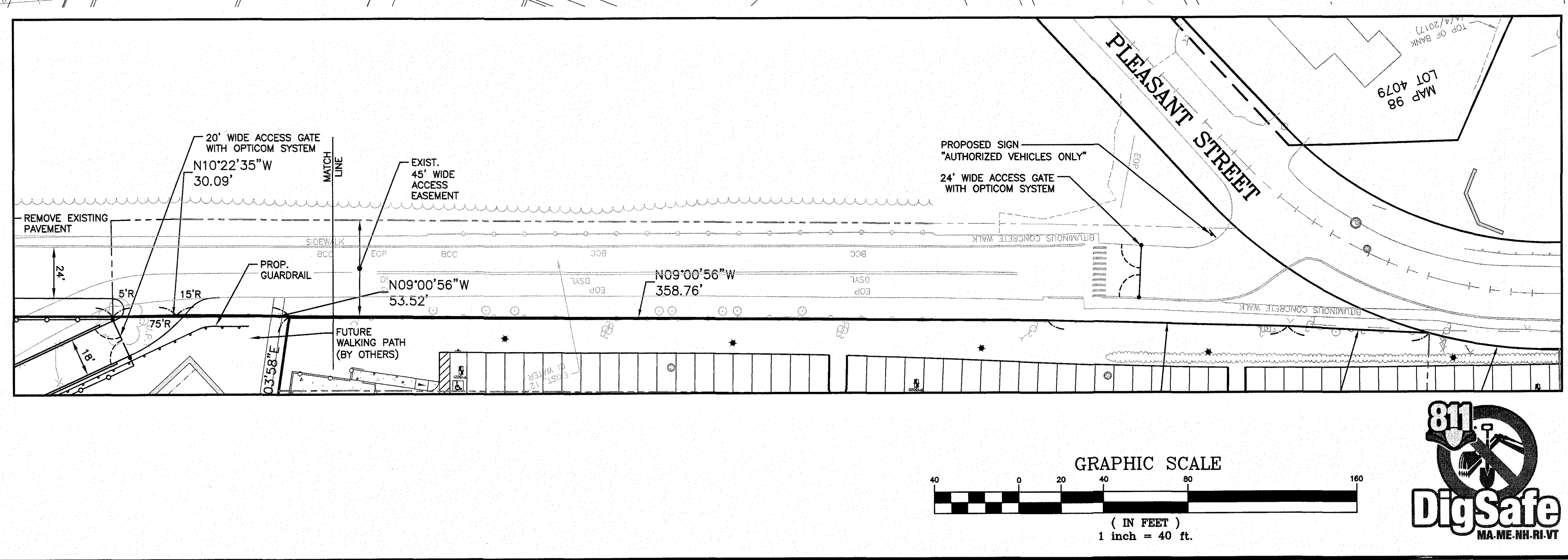


TABLE OF ZONING REGULATIONS - SALEM, NH		
ZONE: COMMERCIAL-INDUSTRIAL C		
DESCRIPTION	REQUIRED	PROVIDED
MINIMUM LOT AREA - Sq. Ft.	NONE	119,235 AC.
MINIMUM LOT FRONTAGE	NONE	> 1,000'
MINIMUM FRONT YARD BUILDING SETBACK	30'	N/A
MINIMUM SIDE YARD BUILDING SETBACK	20'	16'
MINIMUM REAR YARD BUILDING SETBACK	20'	N/A
MAXIMUM BUILDING HEIGHT	35', 3 STORIES	27'-8", 1 STORY
MAXIMUM LOT COVERAGE	70%	< 70%
MINIMUM NUMBER PARKING SPACES (INDUSTRIAL WAREHOUSE & STORAGE)	1 SPACE/EMPLOYEE X 6 EMPLOYEES = 6 SPACES 1 SPACE/COMPANY VEHICLE = N/A 1 SPACE/1,000 SF (27,090 SF) = 27 TOTAL = 33 SPACES	15 SPACES* (INCL. 2 ACCESSIBLE)
MINIMUM FRONT YARD PARKING SETBACK	20'	N/A
MINIMUM SIDE & REAR PARKING SETBACK	10'	N/A
PARKING SPACE DIMENSIONS	9'x20'	9'x20'

* CONDITIONAL USE PERMIT REQUESTED

- NOTES:**
- 1) THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED LAYOUT FOR TWO MAINTENANCE AND VEHICLE STORAGE BUILDINGS ON A PORTION OF MAP 98 LOT 7887 UNDER THE PROVISIONS OF THE LARGE SCALE REDEVELOPMENT ORDINANCE, SECTION 490-710.
 - 2) THE INFORMATION SHOWN ON THIS PLAN IS BASED IN PART ON SURVEY WORK PERFORMED BY MHF DESIGN CONSULTANTS, INC. ALONG WITH INFORMATION FROM RECORD PLANS AND AERIAL MAPPING.
 - 3) ALL WALKS, STAIRS AND LANDINGS TO BE CEMENT OR BITUMINOUS CONCRETE. CONTRACTOR SHALL ENSURE ADA COMPLIANCE AS APPROPRIATE.
 - 4) ALL WORK SHALL CONFORM TO APPLICABLE TOWN OF SALEM, NHDES AND NHDOT STANDARDS.
 - 5) WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
 - 6) PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONFIRM WITH THE ENGINEER THAT HE HAS THE MOST RECENT SET OF PLANS. SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLARIFICATIONS.
 - 7) CONTRACTOR RESPONSIBLE FOR COORDINATION WITH ARCHITECTURAL PLANS FOR HIS WORK. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS.
 - 8) CONTRACTOR TO CONFIRM BENCHMARKS PRIOR TO COMMENCEMENT OF WORK.
 - 9) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" (888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY DIGGING.
 - 10) ALL PAVEMENT MARKINGS SHALL CONFORM TO THE MUTCD, LATEST EDITION.
 - 11) PROPOSED ON-SITE SNOW STORAGE AREAS ARE AS SHOWN. ANY EXCESS SNOW SHALL BE TRUCKED OFF-SITE AND DISPOSED OF IN ACCORDANCE WITH THE TOWN OF SALEM AND NHDES REQUIREMENTS.
 - 12) ANY ROOFTOP OR GROUND LEVEL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW.
 - 13) ALL SALT STORAGE SHALL BE LOCATED INSIDE A BUILDING OR IN A COVERED ENCLOSURE PER NHDES AND US EPA REQUIREMENTS.
 - 14) THERE SHALL BE NO OUTSIDE STORAGE OF EQUIPMENT OR MATERIALS BEHIND THE BUILDINGS.



5	ADD SIGN AT PLEASANT STREET, NOTE 14	DRJ	1/4/19
4	MISC. REVISIONS	DRJ	12/5/18
3	REMOVE LABEL FOR EXIST. TREES TO REMAIN	DRJ	11/28/18
2	REVISIONS PER REVIEW COMMENTS	DRJ	11/6/18
1	MISC. REVISIONS	GMP	9/12/18
NO.	DESCRIPTION	BY	DATE
REVISIONS			

SITE PLAN

TUSCAN VILLAGE MAINTENANCE OPERATIONS CENTER
SALEM PROPERTY MAP 98 - LOT 7887
PROPERTY ADDRESS - 71 ROCKINGHAM PARK BOULEVARD

PREPARED FOR:
OMJ REALTY, LLC
63 MAIN STREET
SALEM, NH 03079

MHF Design Consultants, Inc.
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SCALE: 1" = 40'

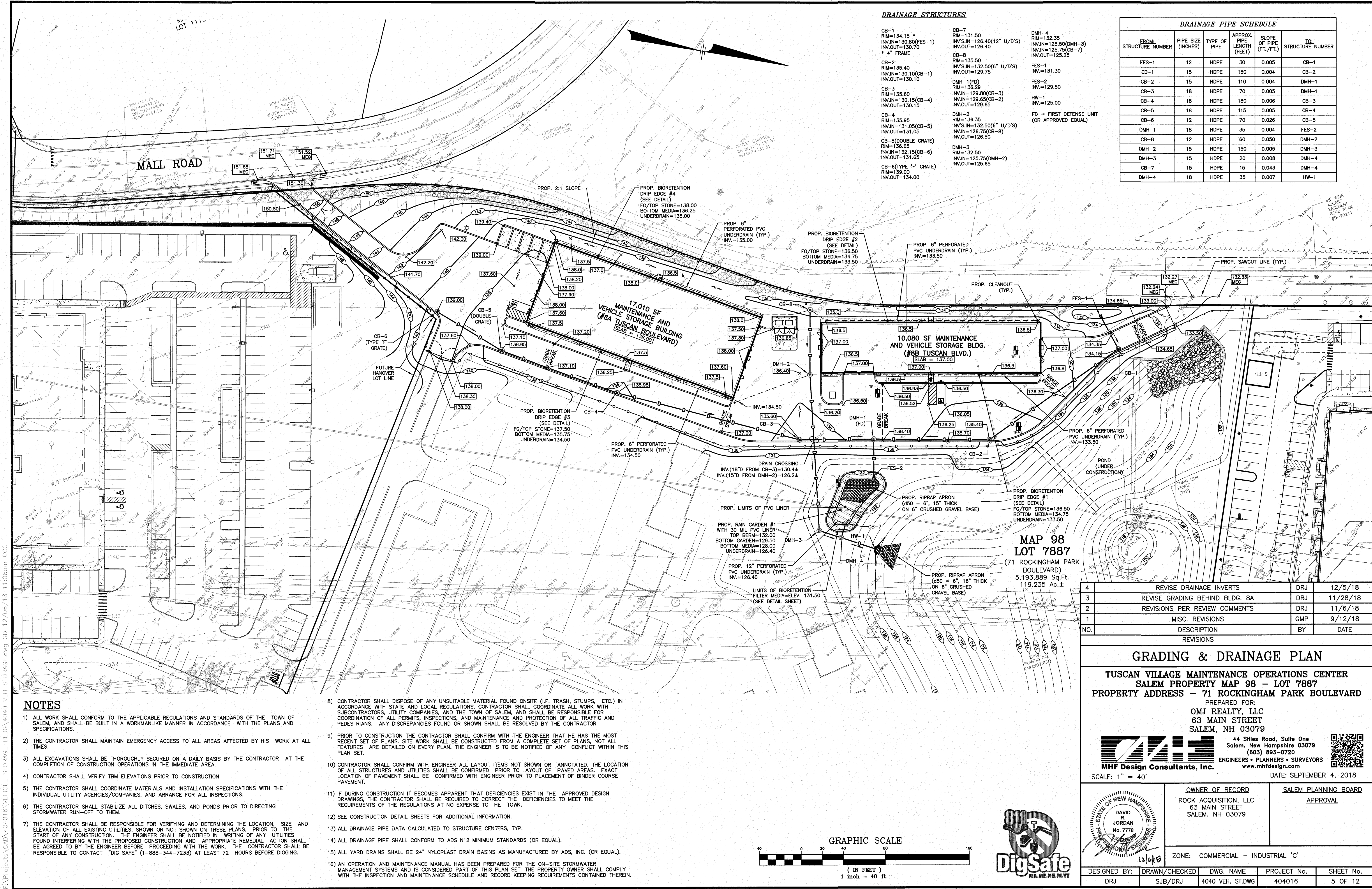
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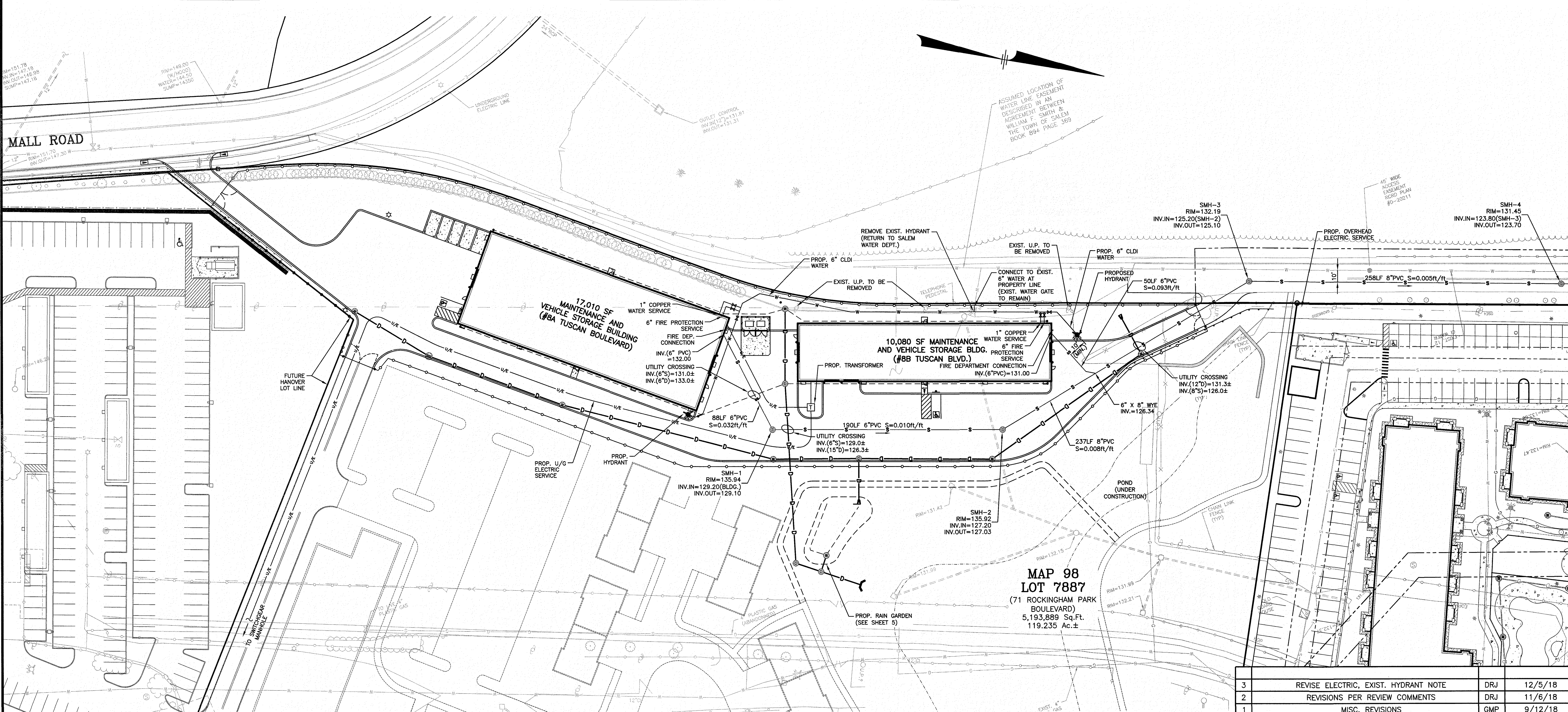
OWNER OF RECORD
ROCK ACQUISITION, LLC
63 MAIN STREET
SALEM, NH 03079

SALEM PLANNING BOARD
APPROVAL

ZONE: COMMERCIAL - INDUSTRIAL 'C'

DESIGNED BY: DRJ
DRAWN/CHECKED: SJB/DRJ
DWG. NAME: 4040 VEH. ST.DWG
PROJECT No.: 404016
SHEET No.: 4 OF 12





NOTES:

- ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN.
- ALL ROOF DRAIN PIPE (RD) SHALL BE 12" HDPE. INFORMATION SHOWN IS SCHEMATIC ONLY. SEE ARCHITECTURAL PLANS FOR ROOF DRAIN LOCATIONS.
- ALL WATER PIPE SHALL BE CEMENT LINED DUCTILE IRON, UNLESS OTHERWISE NOTED.
- ELEVATIONS ARE BASED ON NGVD 1929 DATUM.
- ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE TOWN, STATE AND FEDERAL STANDARDS.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
- ALL WATER CONSTRUCTION SHALL CONFORM TO APPLICABLE MUNICIPAL SERVICES DEPARTMENT AND NHDES SPECIFICATIONS.
- ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS.
- ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL MSD.
- THE LOCATION AND ELEVATION OF ALL PROPOSED BUILDING UTILITY CONNECTIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS.
- ALL EXISTING ON-SITE UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE REMOVED.

SALEM MUNICIPAL SERVICES DEPARTMENT NOTES:

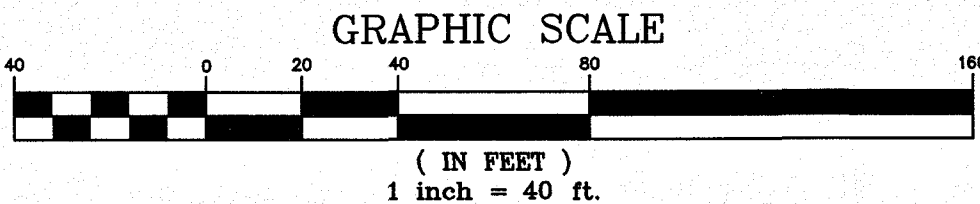
- REQUIRED METERING AND BACKFLOW PREVENTION DEVICES WILL BE INSTALLED ON WATER SERVICES. THESE DEVICES WILL BE LOCATED AT THE POINT SERVICE LINES ENTER THE BUILDING. SERVICE LINES ARE NOT ALLOWED TO RUN THROUGH THE BUILDING, UNDER FLOORS, OVERHEAD OR OTHERWISE.
- ALL EXISTING WATER AND SEWER SERVICES FOR BUILDINGS TO BE RAZED MUST BE CUT AND CAPPED PRIOR TO A RAZE PERMIT BEING ISSUED.
- DOMESTIC WATER SERVICES MAY BE TAPPED OFF FIRE SPRINKLER SERVICES, PROVIDED THE DOMESTIC SERVICE IS TAPPED A MINIMUM OF TEN FEET OUTSIDE THE BUILDING. VALVES ARE REQUIRED ON BOTH SERVICE LINES, WITH A VALVE IN THE FIRE SERVICE DOWNSTREAM OF THE DOMESTIC SERVICE TAP. THESE VALVES SHOULD BE LOCATED A MINIMUM FIVE FEET FROM THE BUILDING.

SALEM FIRE DEPARTMENT NOTES:

- EACH BUILDING SHALL BE PROVIDED THROUGHOUT WITH AN AUTOMATIC FIRE ALARM SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH SALEM FIRE DEPARTMENT REGULATIONS.
- EACH BUILDING SHALL BE PROVIDED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH SALEM FIRE DEPARTMENT RULES AND REGULATIONS.
- ALL SITE AND CONSTRUCTION PLANS MAY BE REVIEWED BY A THIRD PARTY CONSULTANT OF THE TOWNS CHOOSING. ALL COST ASSOCIATED WITH THIRD PARTY REVIEWS AND INSPECTION SHALL BE PAID BY THE DEVELOPER.
- FIRE HYDRANT AND REQUIRED FLOW REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE 2015 EDITION AND SALEM WATER DEPARTMENT REGULATIONS. FLOW CALCULATIONS AND BUILDING CONSTRUCTION CLASSIFICATION SHALL BE INCLUDED WITH THE SITE PLAN.
- PLANS FOR CONSTRUCTION OF BUILDINGS AND FIRE PROTECTION SYSTEMS SHALL BE SUBMITTED TO THE SALEM FIRE DEPARTMENT AND RELEASED FOR CONSTRUCTION PRIOR TO STARTING WORK. ALL CONTRACTORS INSTALLING FIRE PROTECTION SYSTEMS SHALL HOLD A CERTIFICATE OF FITNESS FROM THE SALEM FIRE DEPARTMENT.
- ALL UNDERGROUND WATER MAINS SERVING SPRINKLER OR STANDPIPE SYSTEM SHALL BE FLUSHED IN ACCORDANCE WITH NFPA 24 AND SHALL BE WITNESSED BY SALEM FIRE DEPARTMENT PERSONNEL.

SEWAGE FLOW ESTIMATE:

(PER ENV-WQ 1008.03)
WAREHOUSE: 10 GPD/PERSON (6 EMPLOYEES) = 60 GPD



3	REVISE ELECTRIC, EXIST. HYDRANT NOTE	DRJ	12/5/18
2	REVISIONS PER REVIEW COMMENTS	DRJ	11/6/18
1	MISC. REVISIONS	GMP	9/12/18
NO.	DESCRIPTION	BY	DATE
	REVISIONS		

UTILITIES PLAN

TUSCAN VILLAGE MAINTENANCE OPERATIONS CENTER
SALEM PROPERTY MAP 98 - LOT 7887
PROPERTY ADDRESS - 71 ROCKINGHAM PARK BOULEVARD

PREPARED FOR:
OMJ REALTY, LLC
63 MAIN STREET
SALEM, NH 03079

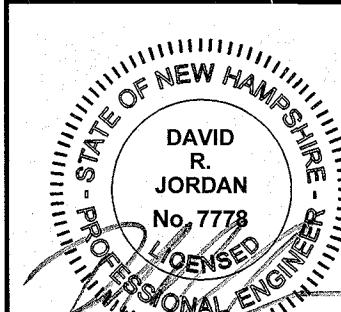


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SCALE: 1" = 40'

DATE: SEPTEMBER 4, 2018



OWNER OF RECORD
ROCK ACQUISITION, LLC
63 MAIN STREET
SALEM, NH 03079

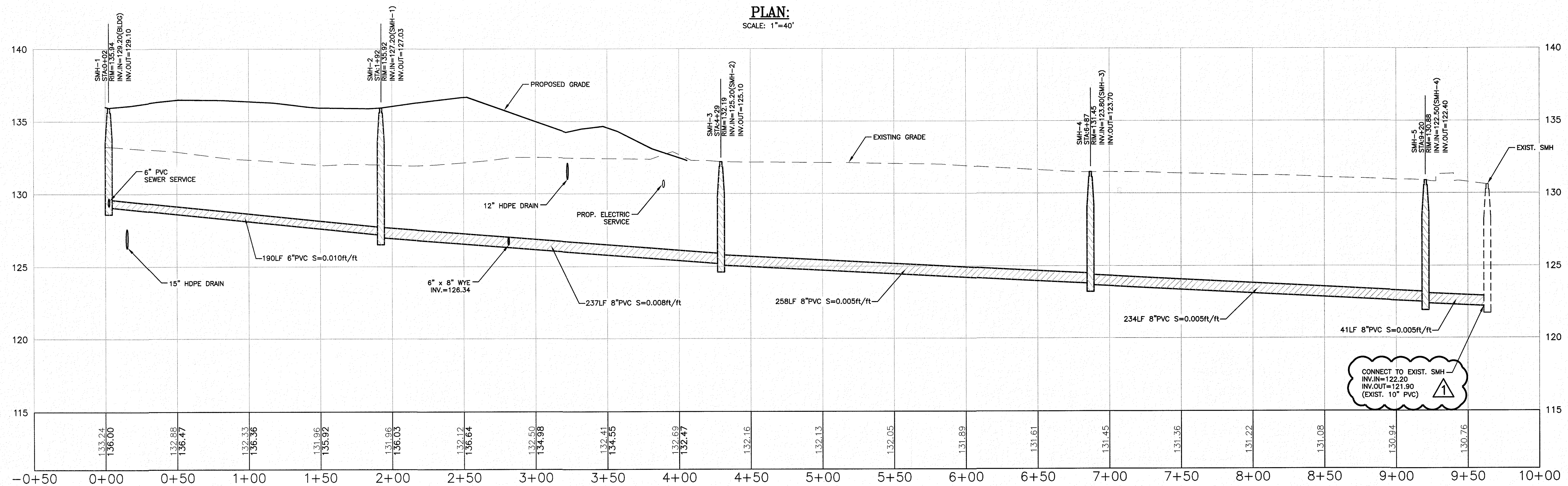
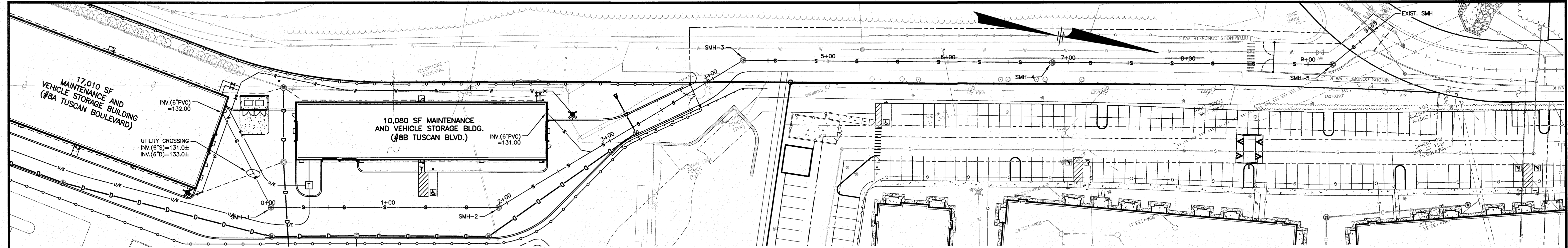
SALEM PLANNING BOARD
APPROVAL

ZONE: COMMERCIAL - INDUSTRIAL 'C'

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
DRJ	SUB/DRJ	4040 VEH. ST.DWG	404016	6 OF 12



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NOTES:

- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIG SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE DIGGING.
- 2) CONTRACTOR SHALL COORDINATE ALL WORK WITH SUBCONTRACTORS, UTILITY COMPANIES, AND THE TOWN OF SALEM, AND SHALL BE RESPONSIBLE FOR COORDINATION OF ALL PERMITS, INSPECTIONS, AND MAINTENANCE AND PROTECTION OF ALL TRAFFIC AND PEDESTRIANS. ANY DISCREPANCIES FOUND OR SHOWN SHALL BE RESOLVED BY THE CONTRACTOR
- 3) ALL WORK SHALL CONFORM TO THE TOWN OF SALEM AND NHDOT STANDARDS.
- 4) WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
- 5) CONTRACTOR SHALL CONFIRM WITH ENGINEER ALL LAYOUT ITEMS NOT SHOWN OR ANNOTATED. THE LOCATION OF ALL STRUCTURES AND UTILITIES SHALL BE CONFIRMED PRIOR TO LAYOUT OF PAVED AREAS. EXACT LOCATION OF PAVEMENT SHALL BE CONFIRMED WITH ENGINEER PRIOR TO PLACEMENT OF BINDER COURSE PAVEMENT.
- 6) PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONFIRM WITH THE ENGINEER THAT HE HAS THE MOST RECENT SET OF PLANS. SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
- 7) THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND SHALL ARRANGE FOR ALL INSPECTIONS.
- 8) IF DURING CONSTRUCTION IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE CONTRACTOR SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
- 9) ALL SEWER PIPE DATA CALCULATED TO STRUCTURE CENTERS, TYP.
- 10) SEE SHEET 6B FOR SEWER DETAILS.
- 11) ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED.
- 12) ELEVATIONS SHOWN ARE NGVD29 DATUM. CONTRACTOR TO CONFIRM BENCHMARKS PRIOR TO COMMENCEMENT OF WORK.

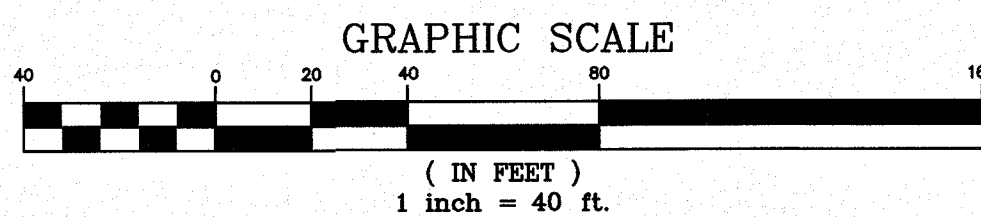
13) ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO MUNICIPAL SERVICES DEPARTMENT SPECIFICATIONS.

14) ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND SALEM MUNICIPAL SERVICES DEPARTMENT.

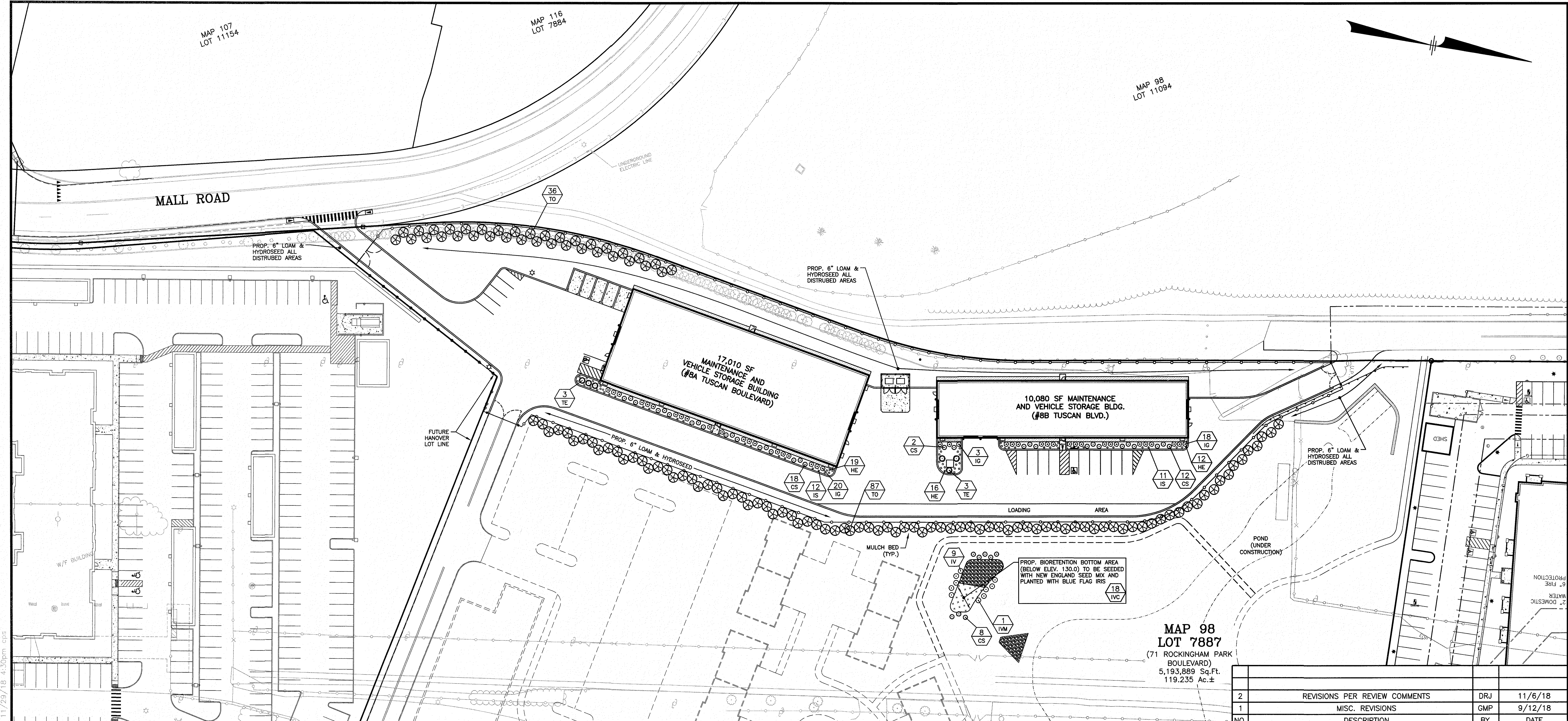
15) WHERE SEWER SERVICE/MAIN CROSSES WATER MAIN/SERVICE, 18" VERTICAL CLEARANCE BETWEEN THE UTILITIES SHALL BE PROVIDED WITH WATER OVER THE SEWER.

SEWAGE FLOW ESTIMATE:

(PER ENV-WQ 1008.03)
WAREHOUSE: 10 GPD/PERSON (6 EMPLOYEES) = 60 GPD



2		REVISE ELECTRIC	DRJ	12/5/18
15		ADD EXIST. SEWER INVERT, ADD NOTE 15	DRJ	11/28/18
NO.	DESCRIPTION		BY	DATE
REVISIONS				
SEWER PLAN & PROFILE				
TUSCAN VILLAGE MAINTENANCE OPERATIONS CENTER SALEM PROPERTY MAP 98 - LOT 7887 PROPERTY ADDRESS - 71 ROCKINGHAM PARK BOULEVARD				
PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET SALEM, NH 03079				
		44 Stiles Road, Suite One Salem, New Hampshire 03079 (603) 893-0720 ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com		
SCALE: 1" = 40'		DATE: NOVEMBER 19, 2018		
		OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079		
		SALEM PLANNING BOARD APPROVAL		
ZONE: COMMERCIAL - INDUSTRIAL 'C'				
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
DRJ	SUB/DRJ	4040 VEH. ST.DWG	404016	6A OF 12



NOTES:

- 1) ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 – NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSEYMEN, INC.).

2) 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUNDCOVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.

3) PLANT PIT BACKFILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PART OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACKFILL WHEN AVAILABLE.

4) ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH SEED OR SOD AS INDICATED ON PLANS.

5) ALL SOD, SEED, SHRUB AND TREE AREAS SHALL RECEIVE 4" PH CORRECTED TOPSOIL. AFTER TOPSOIL IS SPREAD EVENLY OVER ENTIRE AREA, ALL CLODS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED.

6) APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:

LIMESTONE: 100 LBS./1,000 SQUARE FEET.
FERTILIZER: 500 LBS/ACRE OF 10-20-20 OR 1000 LBS/ACRE OF 5-10-10.
MULCH: HAY MULCH APPROXIMATELY 3 TONS/ACRE

SEED MIX (SLOPES LESS THAN 4:1)
CREEPING RED FESCUE 20
TALL FESCUE 15
PERENNIAL RYEGRASS 5
REDTOP 2
42

SLOPE MIX (SLOPES GREATER THAN 4:1)
CREEPING RED FESCUE 20
TALL FESCUE 20
BIRDSFOOT TREEFOIL 48

7) FOR TEMPORARY EROSION CONTROL NOTES, SEE STORMWATER MANAGEMENT PLAN.

8) NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE STRAW MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 3 TONS PER ACRE.

9) ANY CHANGES IN PLANT LOCATIONS OR TYPES SHALL BE APPROVED BY THE DEVELOPER, LANDOWNER AND TOWN PRIOR TO INSTALLATION.

10) CLEAR AND GRUB (TO LIMITS REQUIRED ON GRADING PLAN) TO REMOVE VEGETATION, TREES, ROCKS, DEBRIS, ROOTS, ETC. STUMPS SHALL BE REMOVED AND DISPOSED OF OFF SITE IN ACCORDANCE WITH STATE REGULATIONS. AFTER CLEARING, ROTOTILL, STRIP AND STOCKPILE ALL ON-SITE TOPSOIL FOR REUSE TO THE MAXIMUM EXTENT POSSIBLE.

11) FOR SEED (& SOD) AREAS USE EXISTING TOPSOIL, IF AVAILABLE, FOR A 4" DEPTH AND TOP DRESS WITH 2" OF SCREENED TOPSOIL UNLESS OTHERWISE NOTED ON PLAN. ALL LOAM OR TOPSOIL IMPORTED OR RE-UTILIZED FROM ON SITE SHALL BE TESTED AND AMENDED AS DIRECTED BY DEVELOPER TO MEET MINIMUM REQUIREMENTS.

12) PLANTINGS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER WRITTEN ACCEPTANCE OF THE DEVELOPER.

13) SLOPES GREATER THAN 3:1 SHALL RECEIVE JUTE MESH OR WOOD EXCELSIOR MATTING NO MORE THAN 24 HOURS AFTER SEEDING. MATTING SHALL BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.

14) THE CONTRACTOR SHALL DIG ROOT BALLS FOR TRANSPLANTED ITEMS TO THE DIMENSIONS OUTLINED IN THE NURSERY STOCK SPECIFICATIONS MANUAL (SEE NOTE #1).

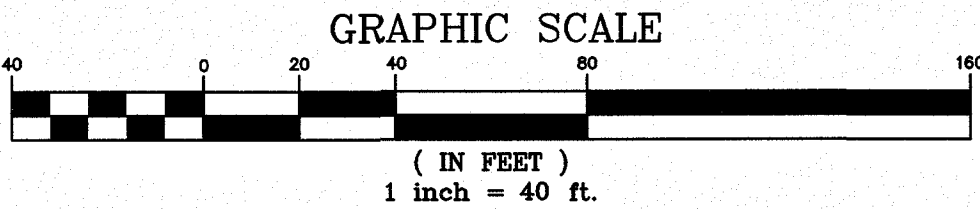
15) THE CONTRACTOR SHALL TAKE EXTREME CAUTION TO MINIMIZE DAMAGE TO ROOT SYSTEMS DURING DIGGING AND TRANSPLANTING. ROOT BALLS OF TRANSPLANTS SHALL BE WRAPPED IN BURLAP (WHICH SHALL BE REMOVED UPON RE-PLANTING) AND KEPT MOIST.

16) EXPOSED SOILS SHALL BE SEEDDED OR HAY MULCHED WITHIN 72 HOURS OF FINAL GRADING.

17) WATER FOR IRRIGATION SHALL BE FROM ON-SITE WELL.

PLANTING SCHEDULE					
PLANT	QNTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALL SIZE	MATURE SIZE/REMARKS
SHRUBS					
TO	123	THUJA OCCIDENTALIS 'NIGRA'	DARK AMERICAN ARBORVITAE	5'-6" HT.	30' HT. MAX./LARGE UPRIGHT/SCREEN/HEDGE
TE	6	TAXUS MEDIA 'EVER-LOW'	EVER-LOW YEW	18-24" SPREAD	18-24' HT. MAX./SPREADING EVERGREEN
IVM	1	ILEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERBERRY	2'-3' HT.	4-5' HT. MAX./MALE
IV	9	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	2'-3' HT.	3-4' HT. MAX./DECIDUOUS SHRUB
IG	41	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	2'-3' HT.	4-5' HT. MAX./EVERGREEN/SCREEN/HEDGE
CS	40	CORNUS SERICEA 'ALLENMAN'S COMPACTA'	ALLENMAN'S COMPACT DOGWOOD	2'-3' HT.	4-5' HT. MAX./DECIDUOUS/HEDGE
PERENNIALS					
HE	47	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 GAL.	18-24" YELLOW FLOWER
IS	23	IRIS SIBERICA 'CAESAR'S BROTHER'	CAESAR'S BROTHER SIBERIAN IRIS	1 GAL.	2-3' DARK PURPLE FLOWER
IVC	18	IRIS VERSICOLOR	BLUE FLAG IRIS	1 GAL.	24-30" VIOLET BLUE FLOWER

1 PLANT QUANTITY
XXX PLANT DESIGNATION



2 REVISIONS PER REVIEW COMMENTS DRJ 11/6/18

1 MISC. REVISIONS GMP 9/12/18

NO.	DESCRIPTION	BY	DATE
REVISIONS			

LANDSCAPE PLAN

TUSCAN VILLAGE MAINTENANCE OPERATIONS CENTER
SALEM PROPERTY MAP 98 – LOT 7887
PROPERTY ADDRESS – 71 ROCKINGHAM PARK BOULEVARD
PREPARED FOR:
OMJ REALTY, LLC
63 MAIN STREET
SALEM, NH 03079
44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

SCALE: 1" = 40'
DATE: SEPTEMBER 4, 2018

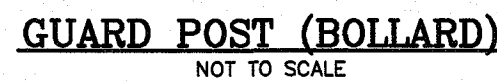
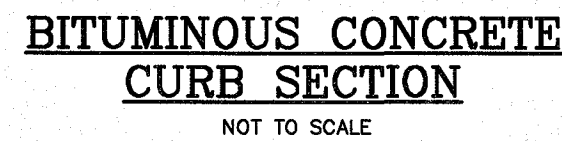
OWNER OF RECORD
ROCK ACQUISITION, LLC
63 MAIN STREET
SALEM, NH 03079

SALEM PLANNING BOARD
APPROVAL

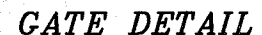
ZONE: COMMERCIAL – INDUSTRIAL 'C'

DESIGNED BY: DRJ	DRAWN/CHECKED SJB/DRJ	DWG. NAME 4040 VEH. ST.DWG	PROJECT No. 404016	SHEET No. 8 OF 12
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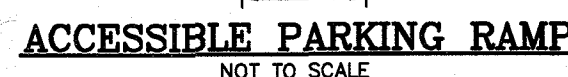
FIXTURE:
 AAL # PROV-T5-32LED-3K-700-BL-PT4-PCA/T
 POLE: HADCO # P4420-12.5-A-T-G
 LAMP: 3000K LED (INCLUDED)



NOTE:
1) NOMINAL OUTSIDE DIAMETER (N.O.D.) OF GATE FRAME AND BRACE TUBE TO BE 1.66" UP TO 6" IN WIDTH, AND 1.90" IF OVER 6' IN WIDTH.

CHAINLINK TRASH ENCLOSURE

NOT TO SCALE



CHAIN LINK FENCE DETAIL

NOT TO SCALE

LISTING - ETL listed to ANSI/UL1598. UL8750 and other U.S. and international safety standards. Suitable for wet locations in downlight position. For a list of the specific products in this series that are DLC listed, please consult the LED Lighting section of our website or the Design Lights website at www.designlights.org.

LED Chips are frequently updated therefore values may increase

Also available in traditional light sources

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.



Project Name _____ Fixture Type _____ 10/21/15
 Catalog # _____ © 2015
 LSI INDUSTRIES INC.

WALL MOUNT LIGHT

NOT TO SCALE

2	UPDATE TITLE BLOCK	DRJ	11/6/18
1	MISC. REVISIONS	GMP	9/12/18
NO.	DESCRIPTION	BY	DATE
	REVISIONS		

CONSTRUCTION DETAILS

DATE: SEPTEMBER 4, 2018



DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
DRJ	SJB/DRJ	4040 V.S.-DET.DWG	404016	9 OF 12

TEST PIT LOG
LOCATION: TUSCAN VILLAGE- SALEM, NH
DATE: 12/4/17
BY: JAMES GOVE & SHELBY HALL

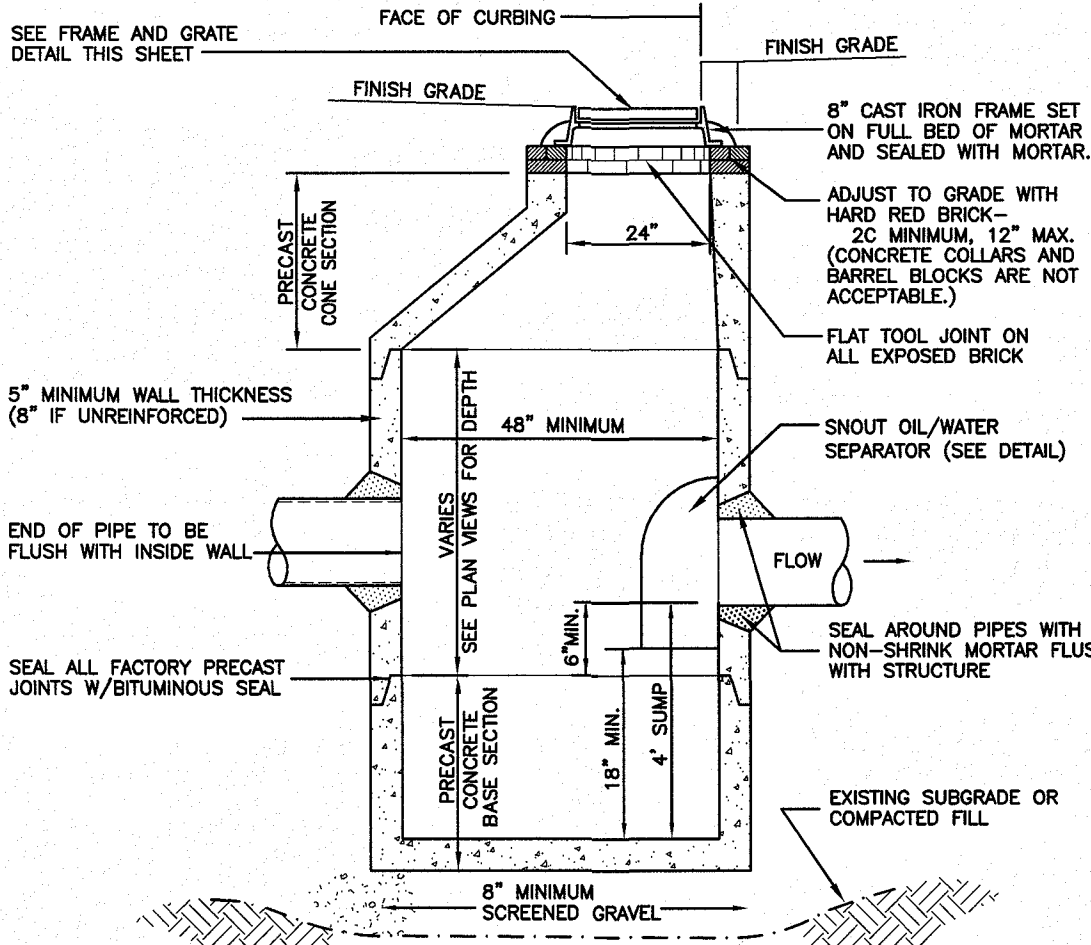
TEST PIT #1
0-16 INCHES, 10YR 4/3, LOAMY SAND, MASSIVE, FRIABLE
16-26 INCHES, 10YR 2/1, MUCKY SAND, GRANULAR, FRIABLE
26-37 INCHES, 10YR 5/2, LOAMY SAND, MASSIVE, FRIABLE, WITH 20% DEPLETIONS
37-77 INCHES, 2.5Y 5/1, SILT LOAM, BLOCKY, FIRM, WITH 20% CONCENTRATIONS
ESHW: 16 INCHES OBSERVED WATER: N/A REFUSAL: NONE
NOTE: 2 INCHES OF PAVEMENT ABOVE SOIL SURFACE

TEST PIT #2
0-13 INCHES, 10YR 4/6, LOAMY SAND, MASSIVE, FRIABLE
13-19 INCHES, 10YR 3/1, MUCKY SAND, MASSIVE, FRIABLE
19-28 INCHES, 10YR 4/6, FINE SANDY LOAM, MASSIVE, FRIABLE, WITH 20% DEPLETIONS
28-73 INCHES, 2.5Y 5/2, SILT LOAM, MASSIVE, FIRM, WITH 30% CONCENTRATIONS
ESHW: 13 INCHES OBSERVED WATER: 73 INCHES REFUSAL: NONE
NOTE: 2 INCHES OF PAVEMENT ABOVE SOIL SURFACE

TEST PIT #3
0-13 INCHES, 10YR 3/4, LOAMY SAND, MASSIVE, FRIABLE
13-25 INCHES, 10YR 2/1, MUCKY SAND, MASSIVE, FRIABLE
25-36 INCHES, 10YR 5/3, LOAMY SAND, MASSIVE, FRIABLE, WITH 5% DEPLETIONS
36-72 INCHES, 2.5Y 5/2, LOAMY SAND, MASSIVE, FRIABLE, WITH 20% CONCENTRATIONS
ESHW: 13 INCHES OBSERVED WATER: N/A REFUSAL: NONE
NOTE: 2 INCHES OF PAVEMENT ABOVE SOIL SURFACE

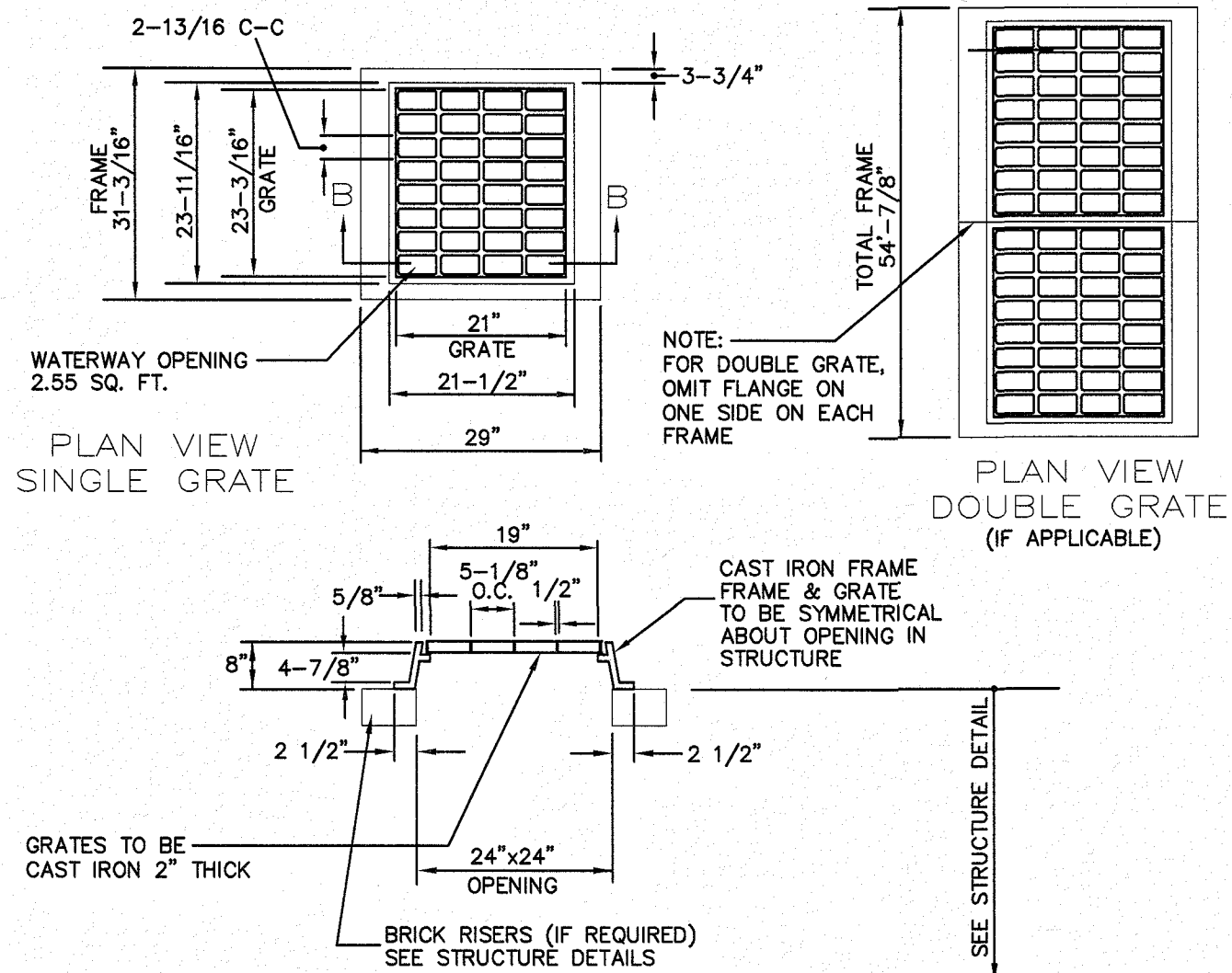
TEST PIT #4
0-13 INCHES, 10YR 4/3, LOAMY SAND, MASSIVE, FRIABLE
13-15 INCHES, 10YR 2/1, MUCKY LOAMY SAND, MASSIVE, FRIABLE
15-23 INCHES, 10YR 4/6, FINE SANDY LOAM, MASSIVE, FRIABLE, WITH 5% DEPLETIONS
23-70 INCHES, 2.5Y 5/2, FINE SANDY LOAM, MASSIVE, FRIABLE, WITH 10% CONCENTRATIONS
ESHW: 13 INCHES OBSERVED WATER: N/A REFUSAL: NONE
NOTE: 2 INCHES OF PAVEMENT ABOVE SOIL SURFACE

TEST PIT LOGS

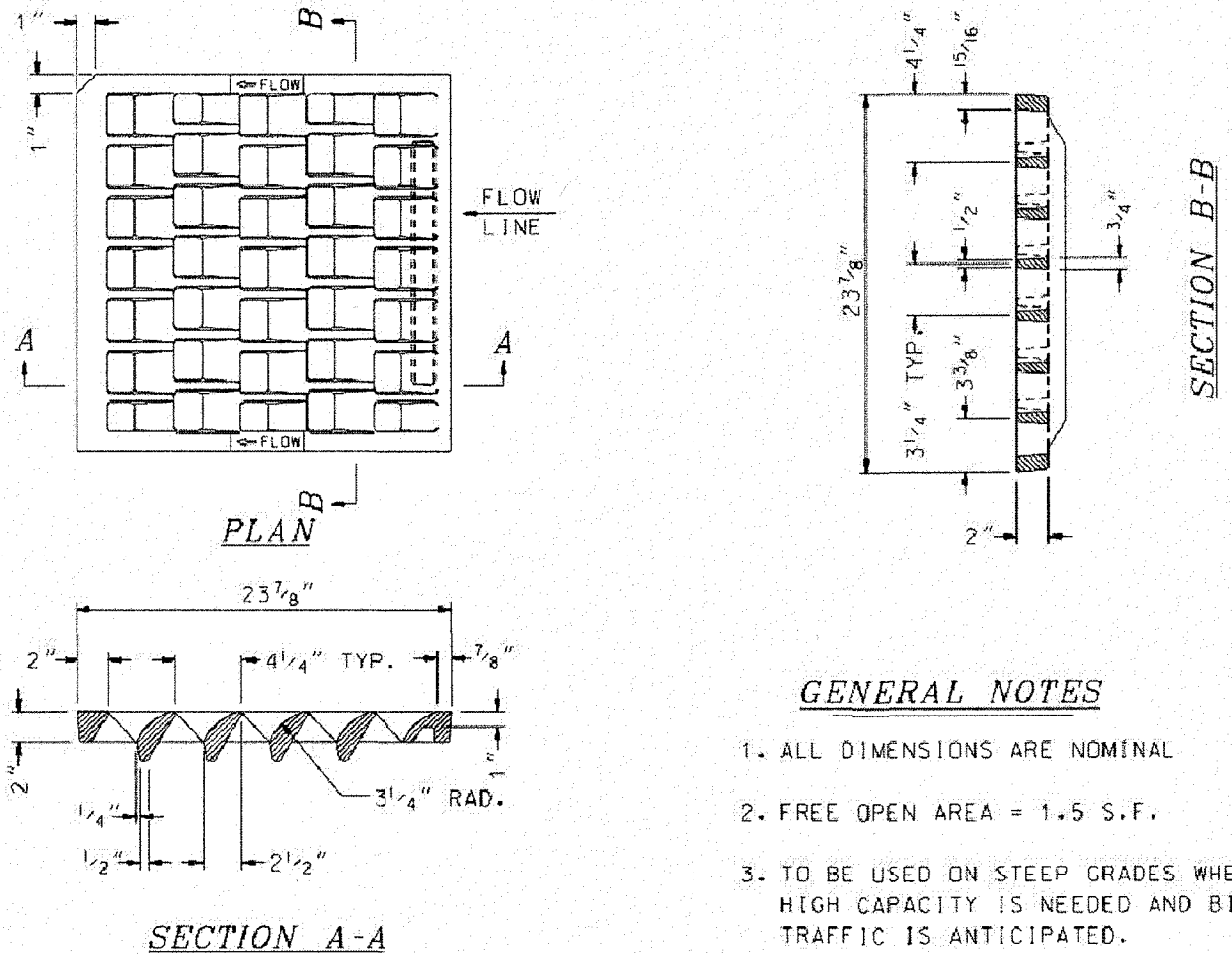


NOTE: ALL PRECAST SECTIONS SHALL CONFORM TO ASTM C-478

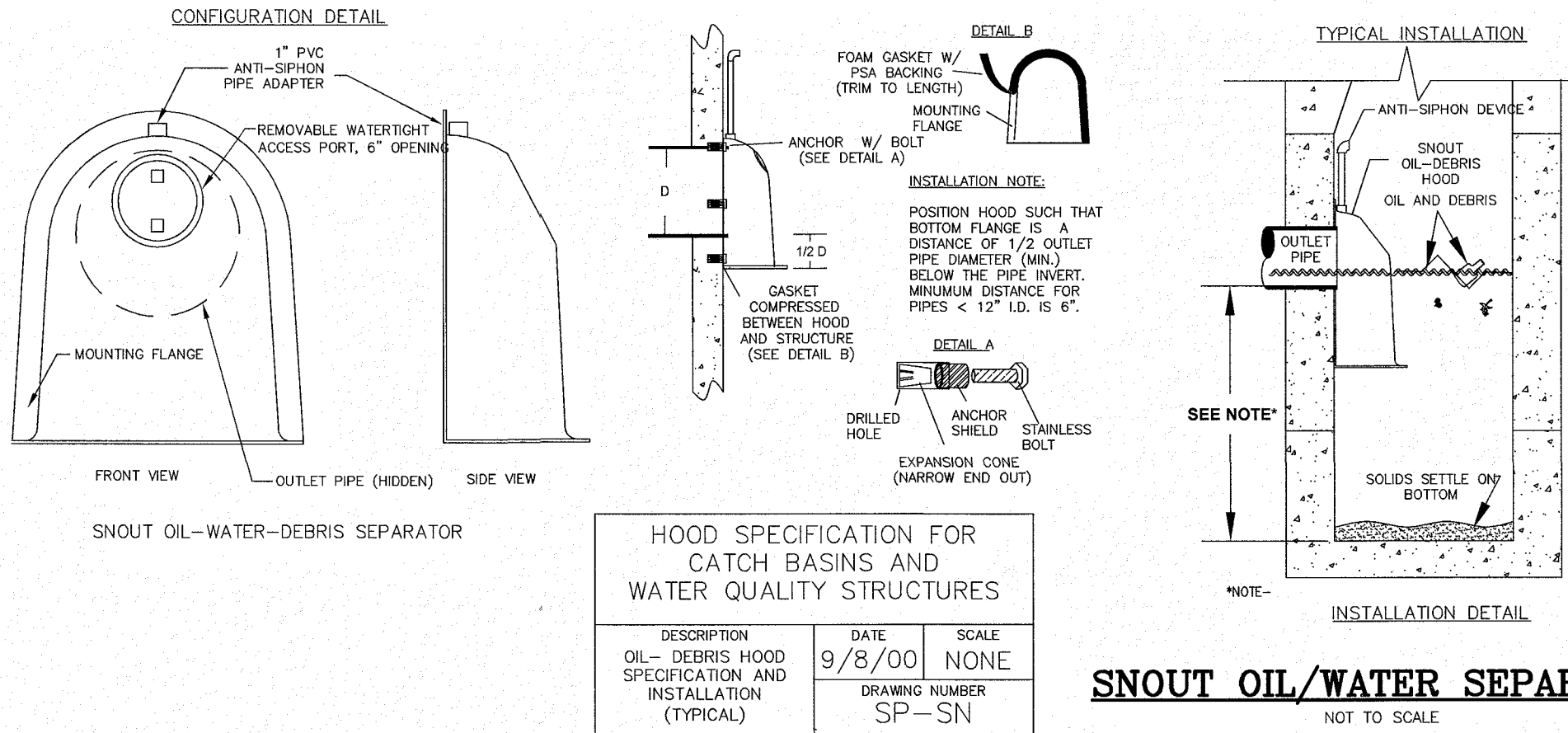
DEEP SUMP CATCH BASIN ECCENTRIC CONE (FOR USE IN CURBED AREAS) N.T.S.



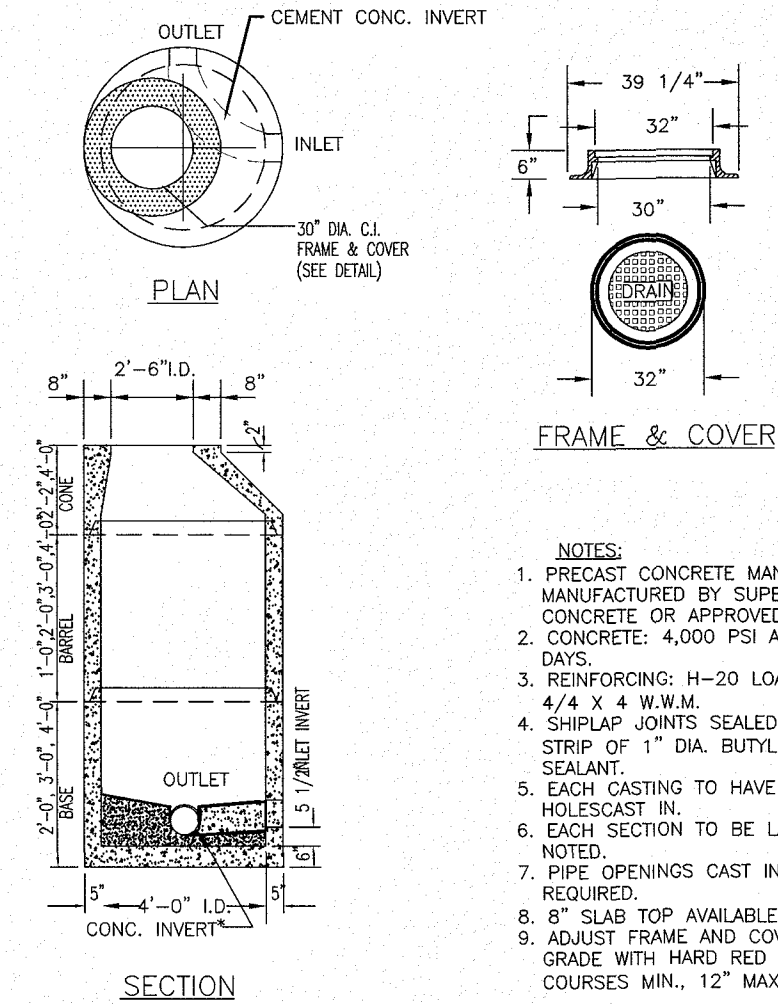
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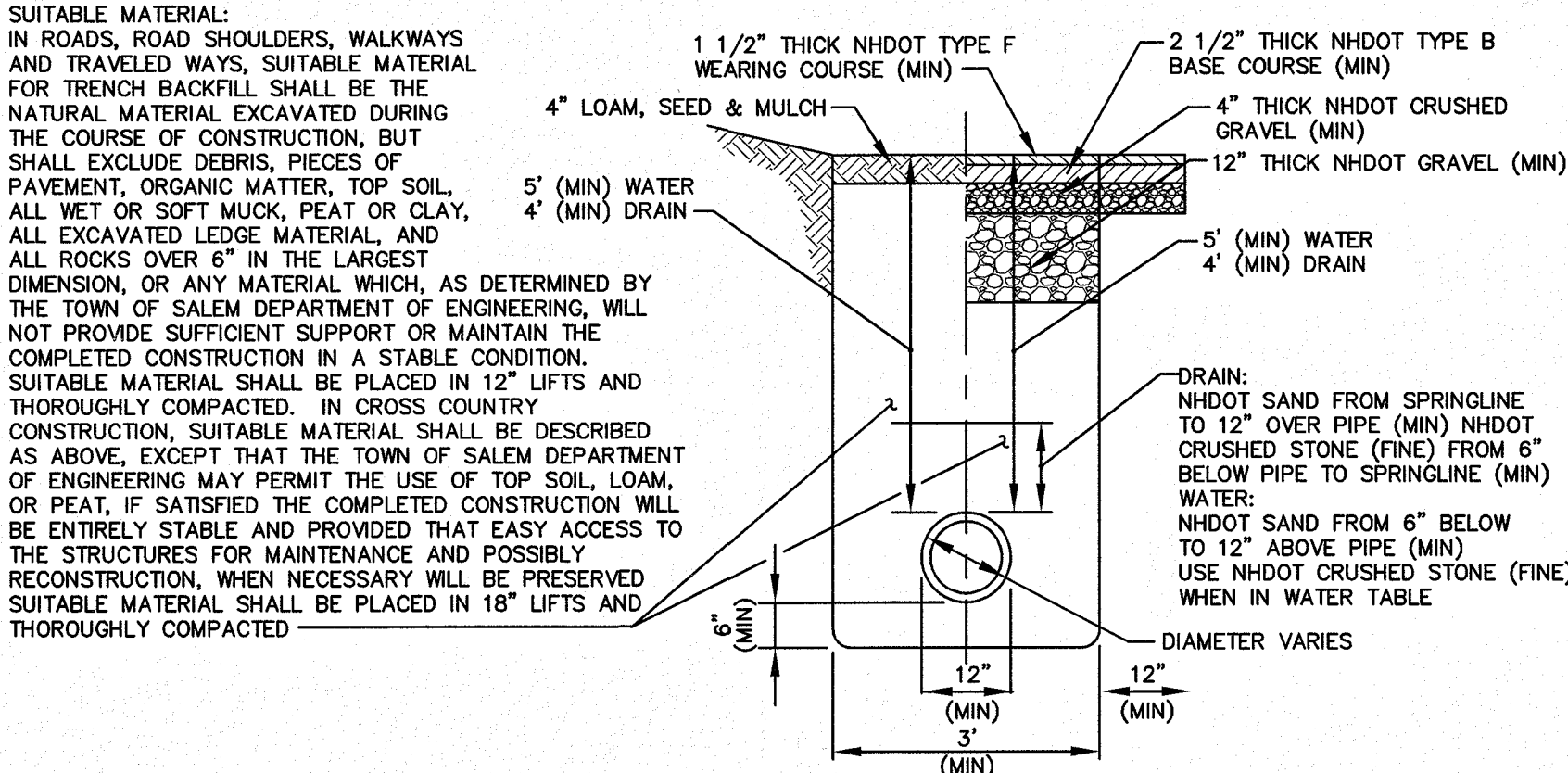
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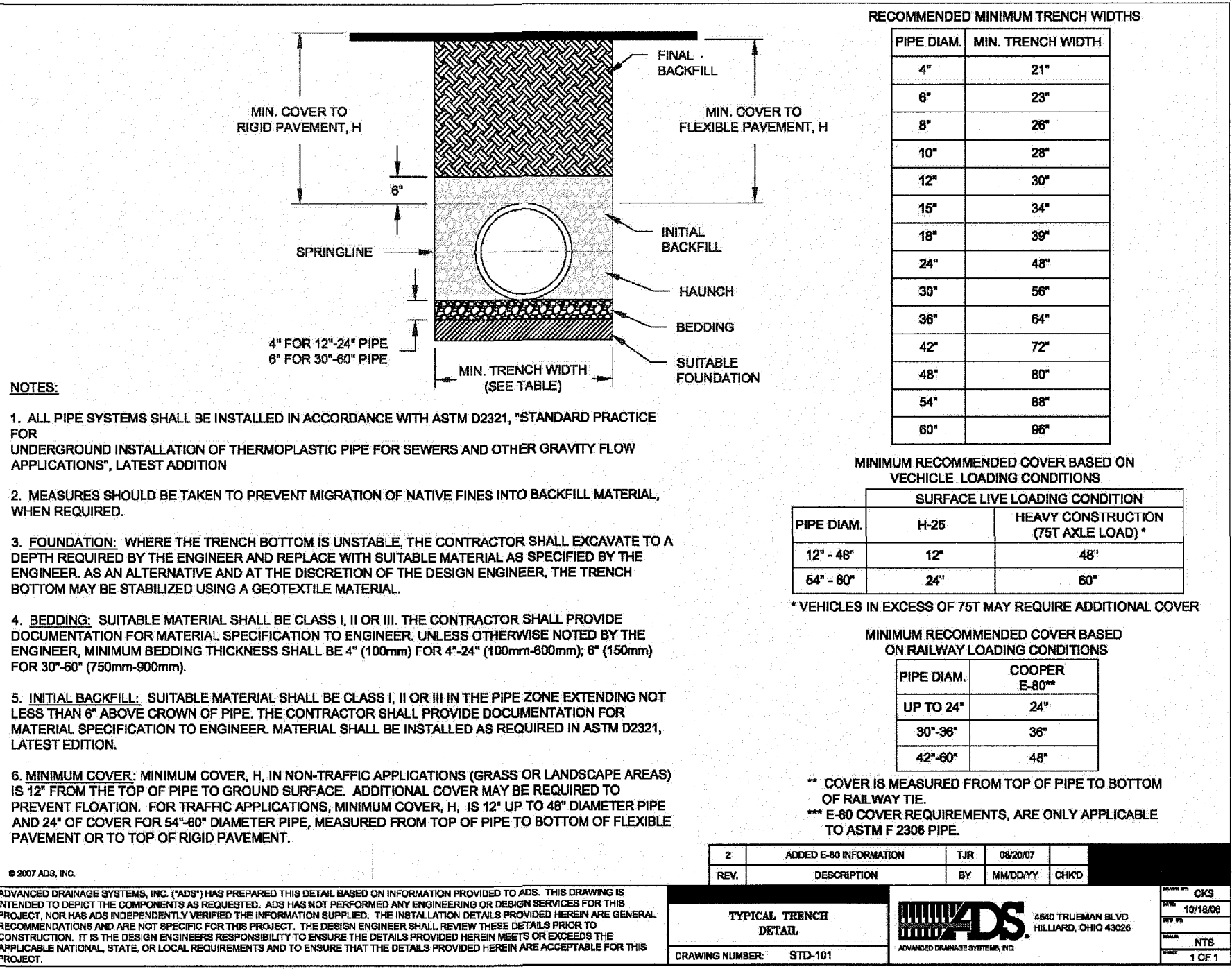
SNOUT OIL/WATER SEPARATOR NOT TO SCALE




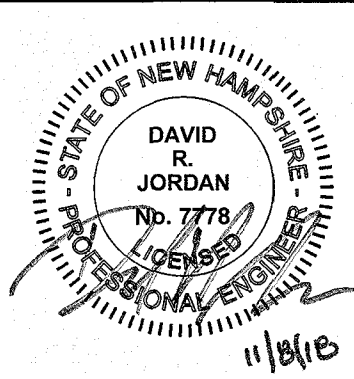
PRECAST CONCRETE DRAIN MANHOLE NOT TO SCALE



TYPICAL WATER AND DRAIN TRENCH NOT TO SCALE

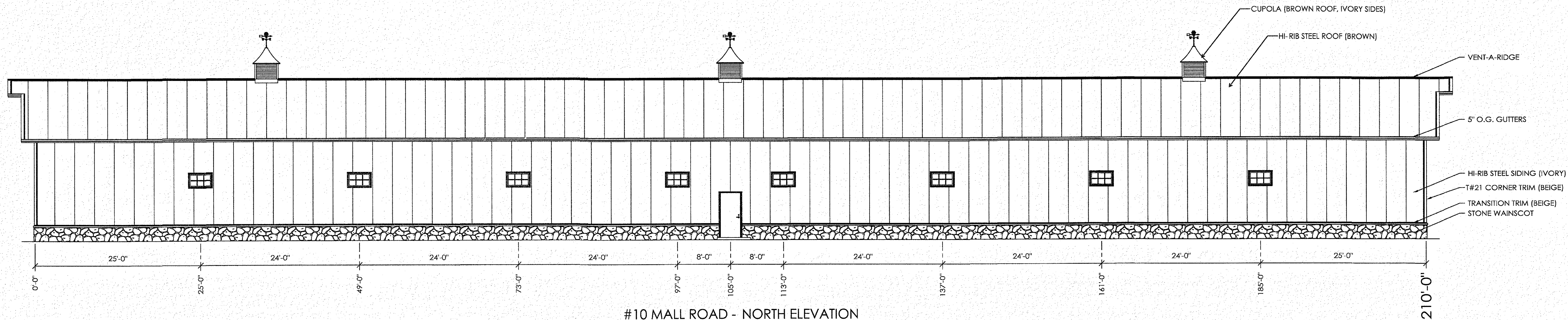


HDPE PIPE TRENCH NOT TO SCALE

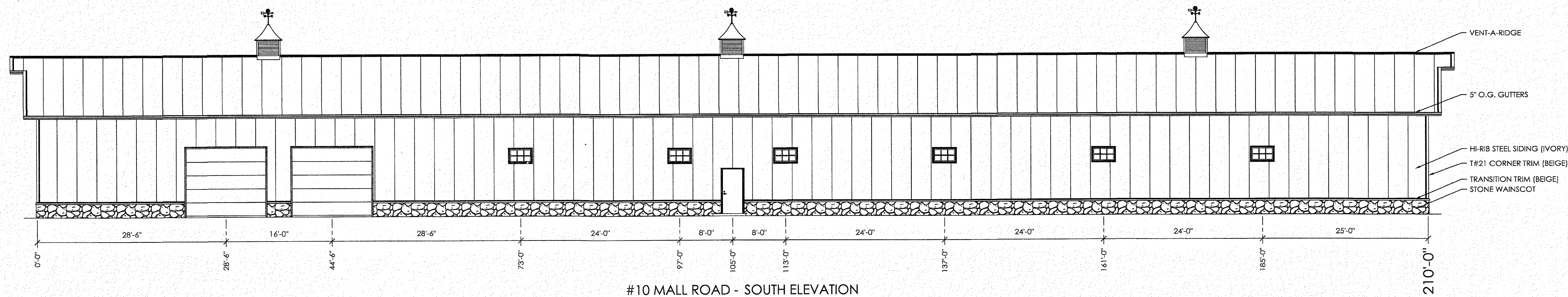
2	UPDATE TITLE BLOCK	DRJ	11/6/18
1	MISC. REVISIONS	GMP	9/12/18
NO.	DESCRIPTION	BY	DATE
REVISIONS			
CONSTRUCTION DETAILS			
TUSCAN VILLAGE MAINTENANCE OPERATIONS CENTER SALEM PROPERTY MAP 98 - LOT 7887 PROPERTY ADDRESS - 71 ROCKINGHAM PARK BOULEVARD			
PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET SALEM, NH 03079			
 MHF Design Consultants, Inc.		44 Stiles Road, Suite One Salem, New Hampshire 03079 (603) 893-0720 ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com	
SCALE: N.T.S.		DATE: SEPTEMBER 4, 2018	
 11/8/18	OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079		SALEM PLANNING BOARD APPROVAL
	ZONE: COMMERCIAL - INDUSTRIAL 'C'		
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
DRJ	SJB/DRJ	4040 V.S.-DET.DWG	404016
			SHEET No.
			11 OF 12



DRAWN BY:	J. HASSE
DATE:	10/16/2017
CHECKED BY:	---
DATE:	---
REVISED DATE:	10/17/2017
REVISED DATE:	10/19/2017
REVISED DATE:	02/09/2018
REVISED DATE:	---



#10 MALL ROAD - NORTH ELEVATION
#8 MALL ROAD - NORTH AND SOUTH ELEVATION



#10 MALL ROAD - SOUTH ELEVATION

SCALE: 1" = 4'

PRELIMINARY DRAWING
FOR OWNER'S APPROVAL

- ☐ - DRAWING APPROVED AS SUBMITTED
☐ - DRAWING APPROVED PENDING CHANGES NOTED
☐ - REVISE DRAWING WITH NOTED CHANGES AND RESUBMIT

OWNERS SIGNATURE

DATE

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MORTON BUILDINGS, INC.



ARCHTCTURAL BUILDERS OF HEMPSTEAD, INC - PROPOSED CUSTOM WAREHOUSE

SALEM, NH

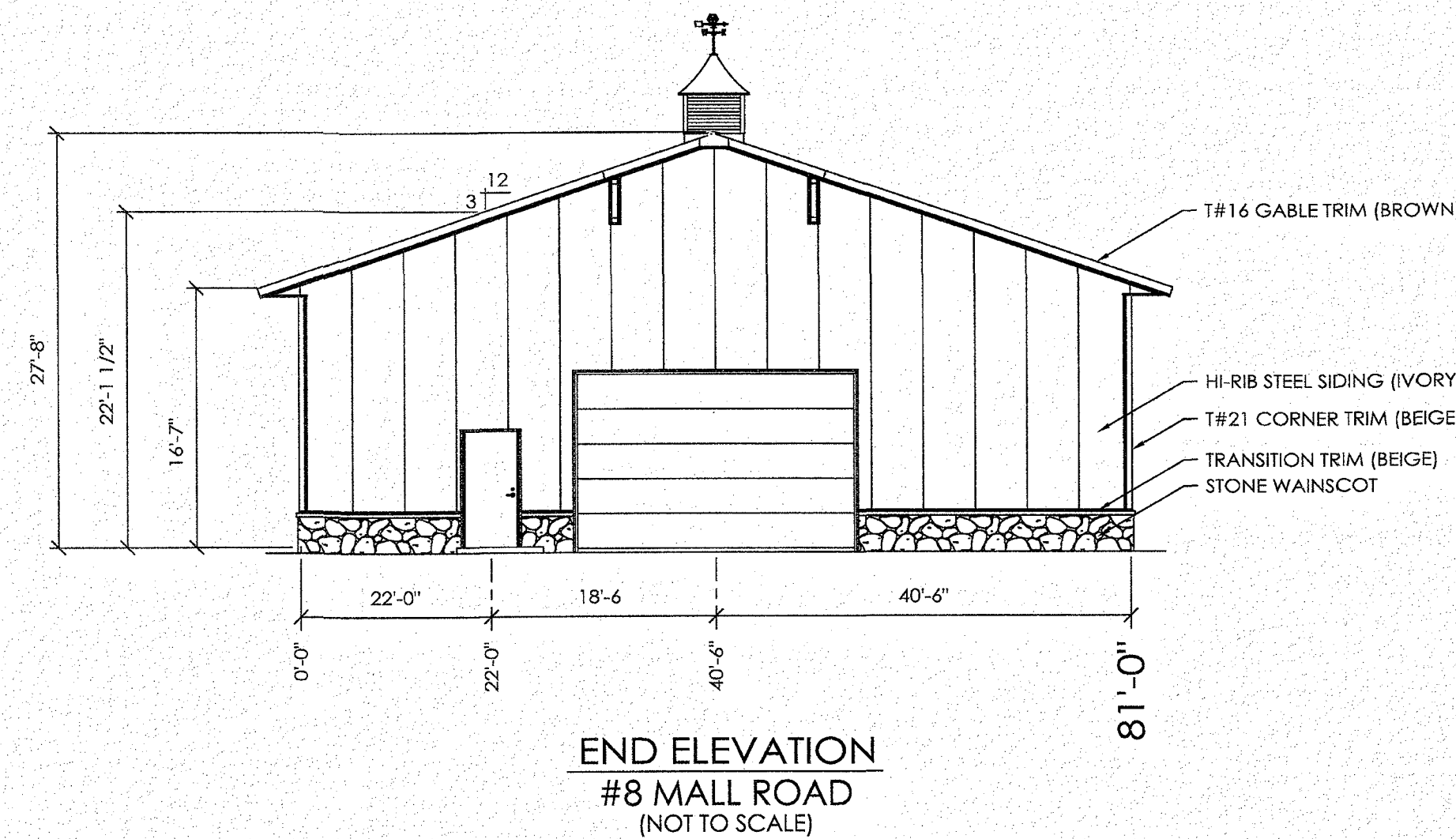
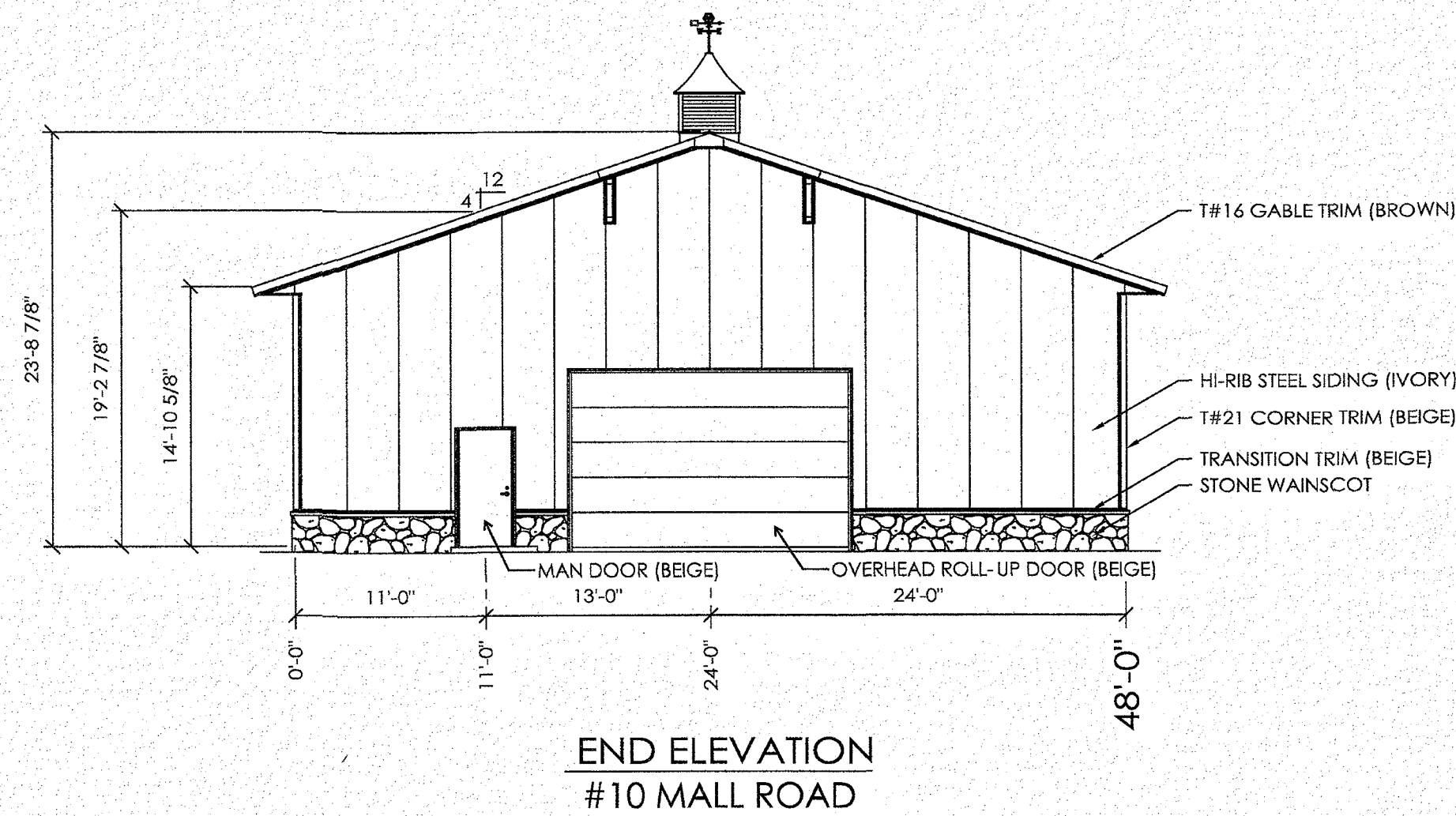


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DATE:	10/16/2017
CHECKED BY:	----
DATE:	----
REVISED DATE:	10/17/2017
REVISED DATE:	10/19/2017
REVISED DATE:	02/09/2018
REVISED DATE:	----



SCALE: 1' 4' 8' 16'

PRELIMINARY DRAWING
FOR OWNER'S APPROVAL

- ☐ - DRAWING APPROVED AS SUBMITTED
☐ - DRAWING APPROVED PENDING CHANGES NOTED
☐ - REVISE DRAWING WITH NOTED CHANGES AND RESUBMIT

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