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12. CONSTRUCTION DETAILS
- BUILDING ELEVATION PLANS (BY OTHERS)

ABUTTERS

MAP/LOT #	NAME & ADDRESS	MAP/LOT #	NAME & ADDRESS
98/12502	DEMOULAS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876	116/1150	MAY DEPARTMENT STORES COMPANY PROPERTY TAX DEPARTMENT 7 WEST 7TH STREET CINCINNATI, OH 45202
98/12543	TUSCAN VILLAGE RESIDENTIAL HOLDINGS, LLC 150 PRESIDENTIAL WAY, SUITE 200 WOBBURN, MA 01801	117/7885	STATE OF NEW HAMPSHIRE P.O. BOX 483 CONCORD, NH 03301
98/11094 116/7884 116/1167 99/2572	ROCKSAL MALL LLC C/O SIMON PROPERTY GROUP P.O. BOX 6120 INDIANAPOLIS, IN 46207	117/7880	ROCKINGHAM 620, INC. C/O KIMCO REALTY CORPORATION 3333 NEW HYDE PARK ROAD #100 NEW HYDE PARK, NY 11042
107/11154 107/11153	SERITAGE SRC FINANCE LLC 3333 BEVERLY ROAD HOFFMAN ESTATES, IL 60179	99/12507	DILORENZO LAFAYETTE LEDGEWOOD REAL ESTATE, LLC C/O ANTHONY DILORENZO, MANAGER 549 US HIGHWAY 1 BYPASS PORTSMOUTH, NH 03801
116/11152	JC PENNEY PROPERTIES INC. PROPERTY TAX OFFICE P.O. BOX 10001 DALLAS, TX 75301	151/12213	STATE OF NH DOT JOHN OMORON BUILDING ONE HAZEN DRIVE CONCORD, NH 03302

PERMITS & APPROVALS

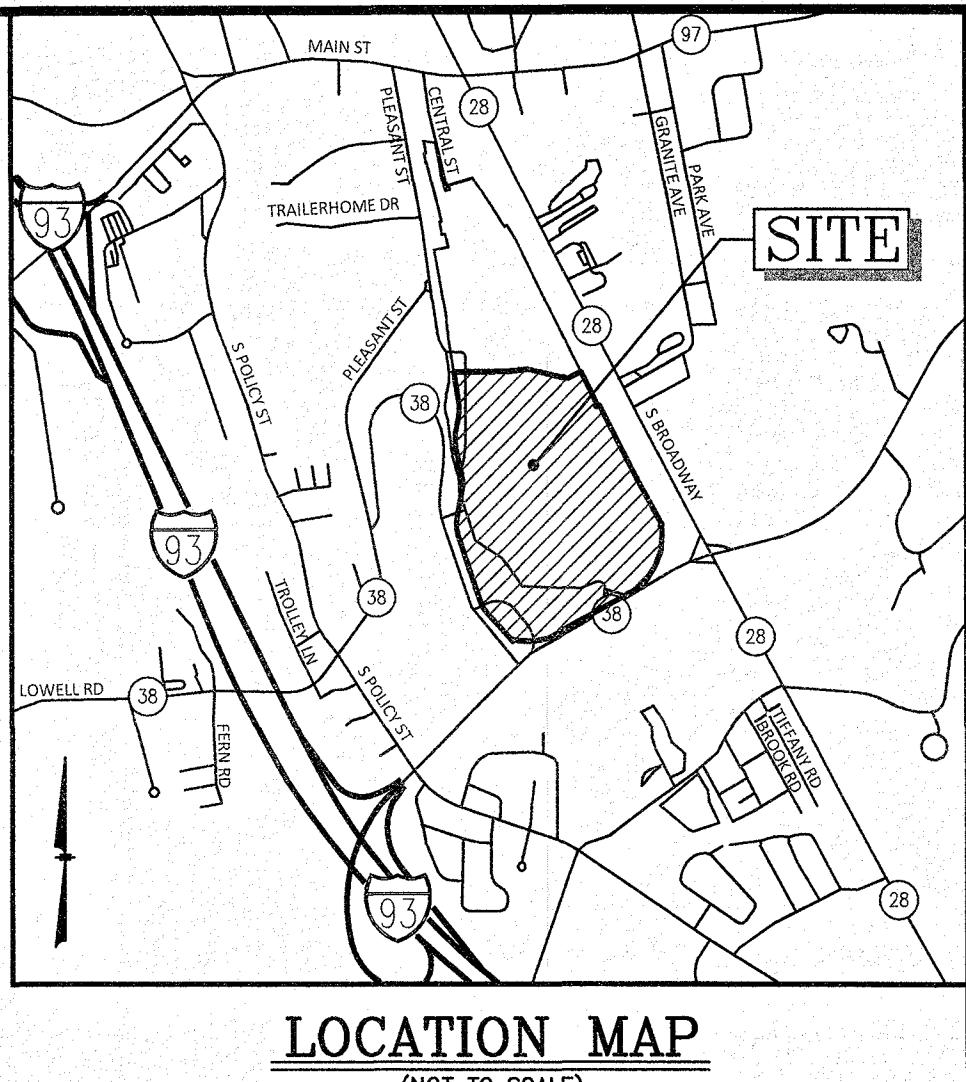
TYPE	PERMIT NUMBER	APPROVED
NHDES SEWER EXTENSION	D2018-1104	11/30/2018
NHDES ALTERATION OF TERRAIN	AOT-1524	11/29/2018

SALEM PLANNING BOARD

- 1) ON SEPTEMBER 25, 2018 THE SALEM PLANNING BOARD GRANTED THE FOLLOWING CONDITIONAL USE PERMITS:
 - 490-501C. BUILDING SETBACK
 - 490-701E. NUMBER OF PARKING SPACES
- 2) ON DECEMBER 18, 2018 THE SALEM PLANNING BOARD VOTED TO APPROVE THIS SITE PLAN SUBJECT TO THE FOLLOWING CONDITIONS:
 - PRIOR TO BUILDING PERMIT:
 1. PAY FOR OUTSIDE INSPECTIONS PER DIRECTION OF ENGINEERING DIVISION;
 - PRIOR TO OCCUPANCY:
 2. PAY ROAD (\$8,398) AND PUBLIC SAFETY (\$7,314) IMPACT FEES;
 3. CONSTRUCT ALL SITE IMPROVEMENTS (INCLUDING BUILDING LOCATION, DIMENSIONS AND SETBACKS, SITE GRADING, UTILITIES, DRAINAGE, LANDSCAPING, LIGHTING, PARKING SPACES) IN ACCORDANCE WITH APPROVED PLAN;
 4. PROVIDE CERTIFIED AS-BUILT SITE PLAN;
 5. PROVIDE DEVELOPMENT AGREEMENT;
 - OTHER:
 6. NOTE CONDITIONAL USE PERMITS FOR REDUCED PARKING AND BUILDING SETBACKS ON PLAN;
 7. ADD "NO PUBLIC ACCESS" AT PLEASANT STREET;
 8. NOTE NO DEAD STORAGE BEHIND BUILDINGS;
 9. ALL REPRESENTATIONS MADE BY APPLICANT OR AGENTS AND ALL NOTES ON PLANS ARE INCORPORATED AS PART OF APPROVAL

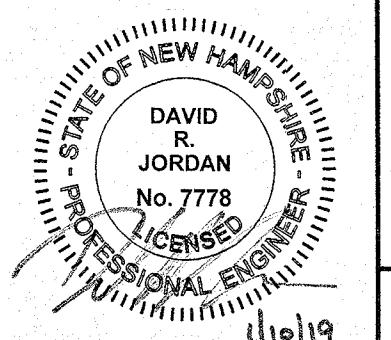
Prepared for:
OMJ REALTY, LLC
63 MAIN STREET
SALEM, NEW HAMPSHIRE 03079

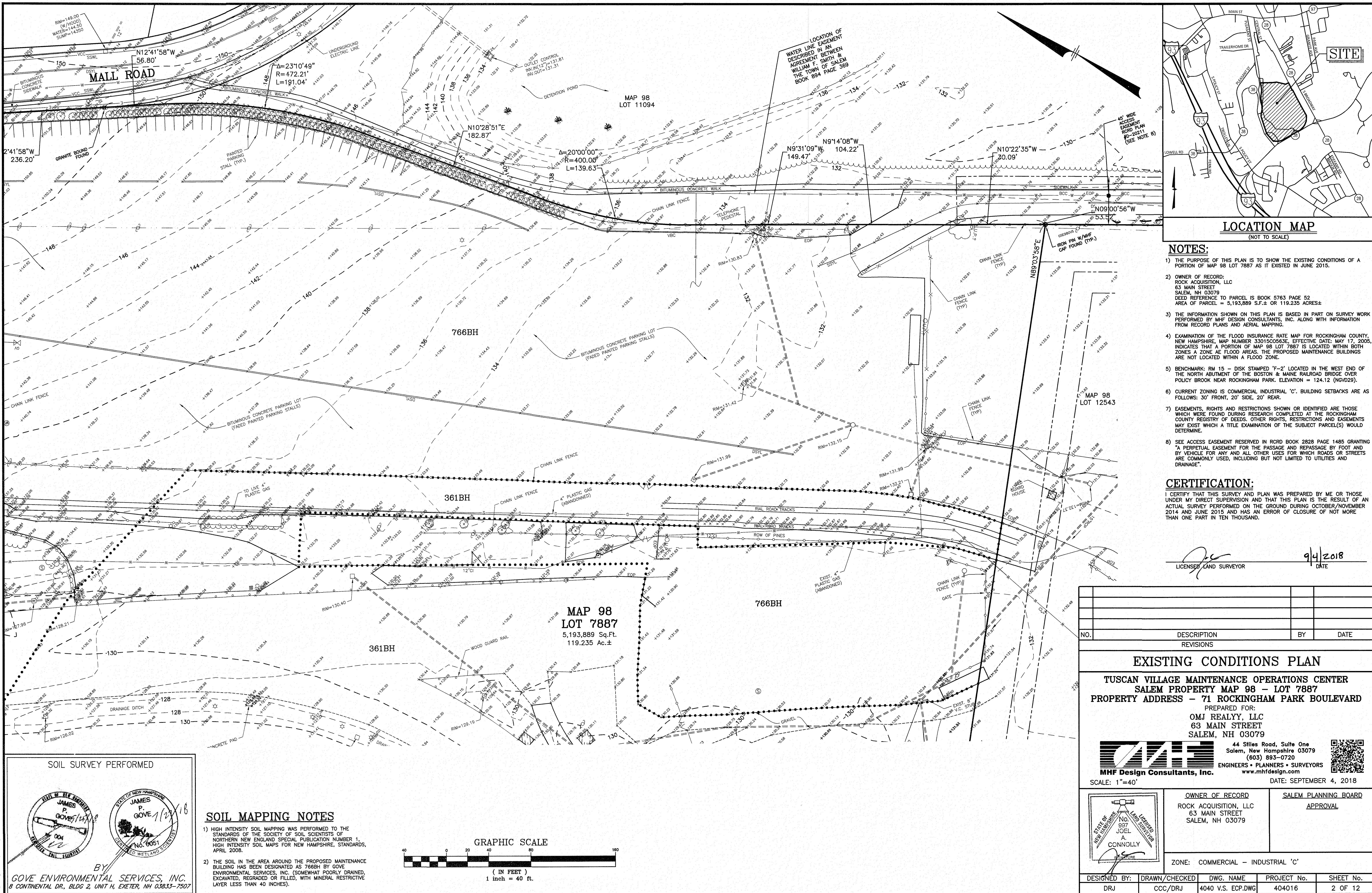
TUSCAN VILLAGE MAINTENANCE OPERATIONS CENTER (# 8A & # 8B TUSCAN BOULEVARD) SALEM PROPERTY MAP 98 LOT 7887 71 ROCKINGHAM PARK BOULEVARD SALEM, NEW HAMPSHIRE

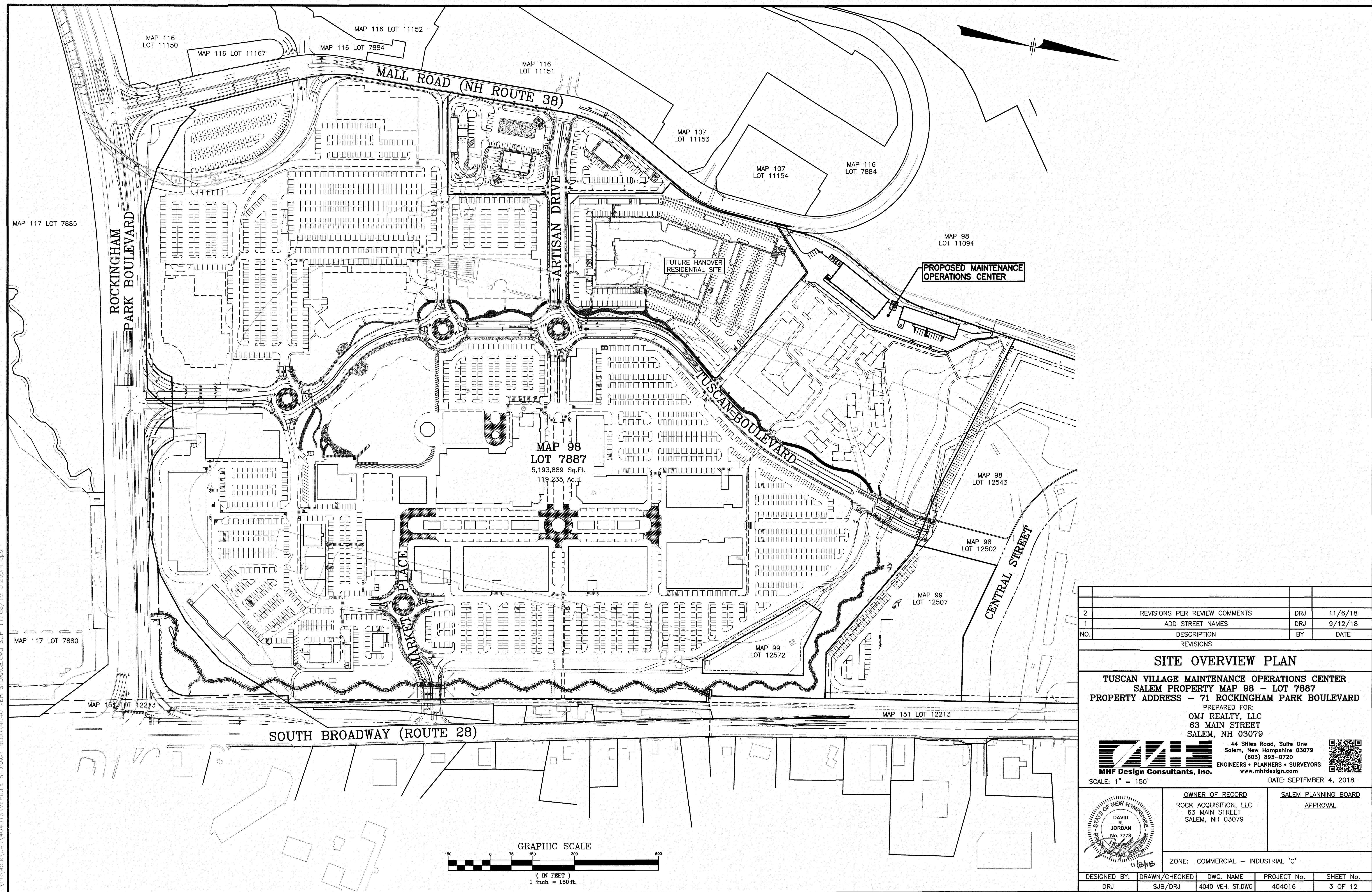


LOCATION MAP

(NOT TO SCALE)

6	ADD PLANNING BOARD APPROVAL, REVISE SHEET 4	DRJ	1/4/19
5	ADD STATE PERMITS, REVISE SHEETS 4, 5, 6, 6A	DRJ	12/5/18
4	REVISE SHEETS 4, 5, 6A, 6B, 7, 8, 12	DRJ	11/28/18
3	ADD SHEETS 6A & 6B	DRJ	11/19/18
2	REVISE SHEETS 3-12	DRJ	11/6/18
1	UPDATE STREET ADDRESS, REVISE SHEETS 4-9 & 11-12	GMP	9/12/18
NO.	DESCRIPTION	BY	DATE
REVISIONS			
TITLE SHEET			
TUSCAN VILLAGE MAINTENANCE OPERATIONS CENTER SALEM PROPERTY MAP 98 – LOT 7887 PROPERTY ADDRESS – 71 ROCKINGHAM PARK BOULEVARD PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET SALEM, NH 03079			
 MHF Design Consultants, Inc. 44 Stiles Road, Suite One Salem, New Hampshire 03079 (603) 893-0220 ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com		DATE: SEPTEMBER 4, 2018	
 STATE OF NEW HAMPSHIRE PROFESSIONAL ENGINEER LICENSED NO. 7778 (10/19)		OWNER OF RECORD	SALEM PLANNING BOARD
ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079 <i>Approved 12/18/18 Signed 1/11/19</i>		APPROVAL	
ZONE: COMMERCIAL – INDUSTRIAL 'C'			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
DRJ	SJB/DRJ	4040 V.S.CVR.DWG	404016
SHEET No.			
1 OF 12			





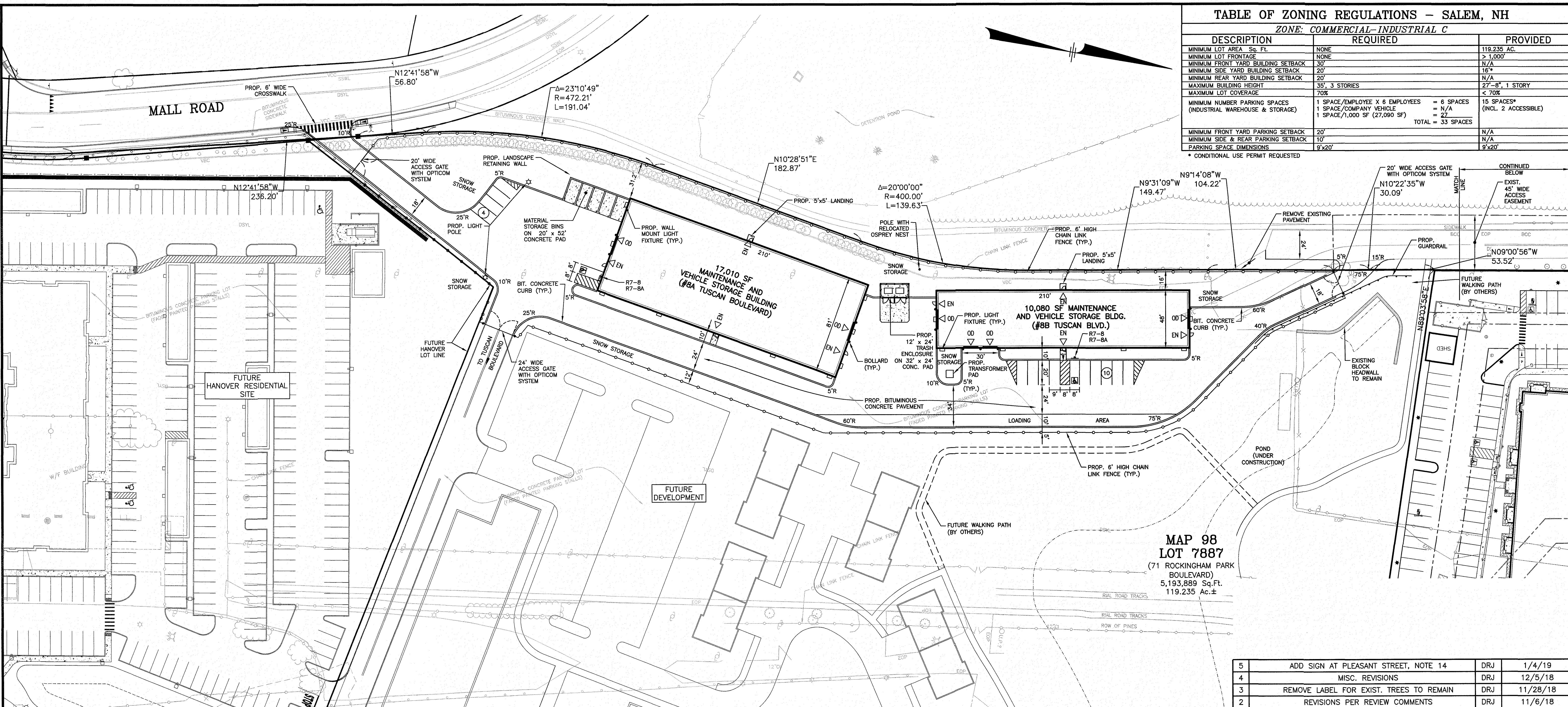
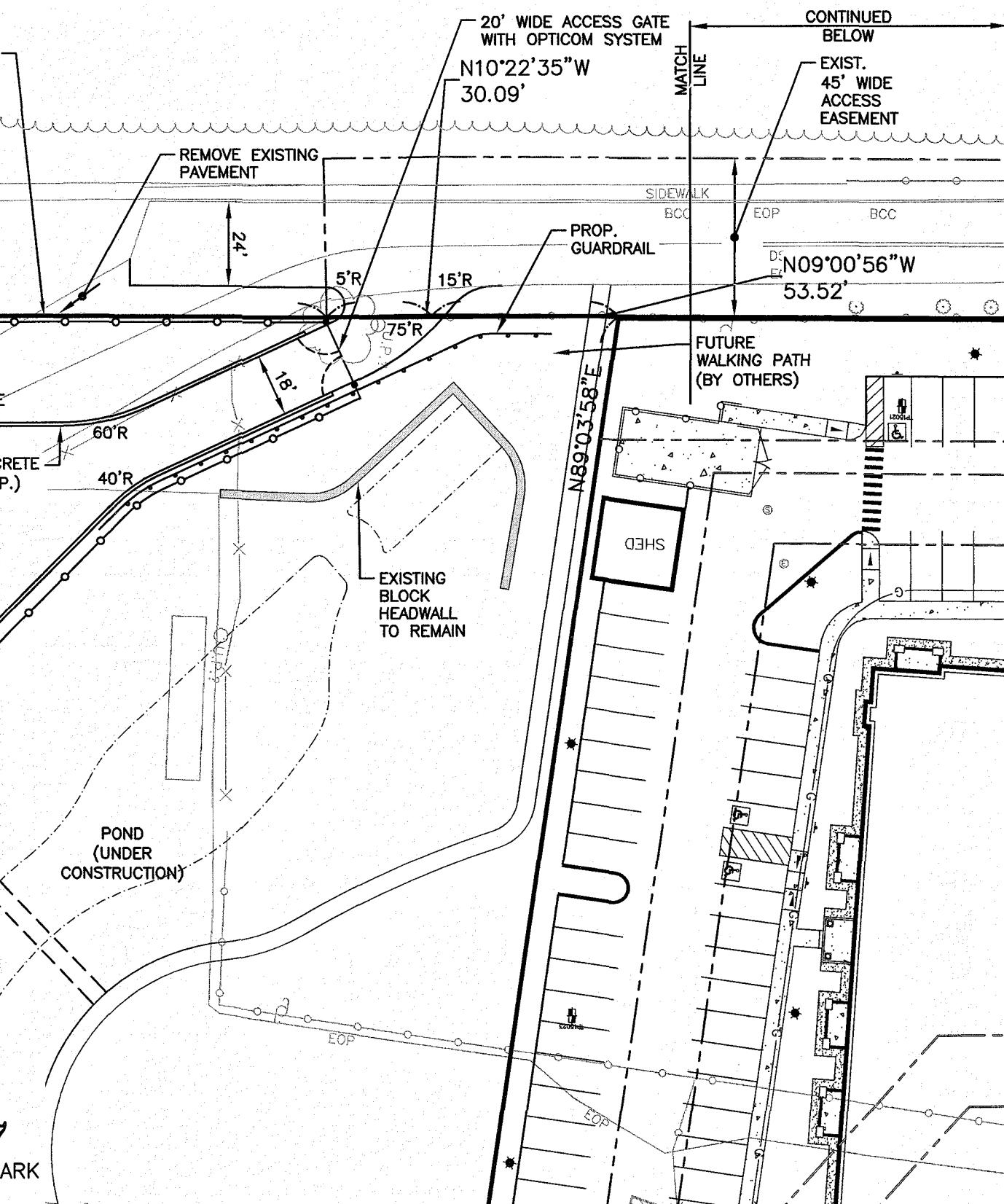


TABLE OF ZONING REGULATIONS - SALEM, NH

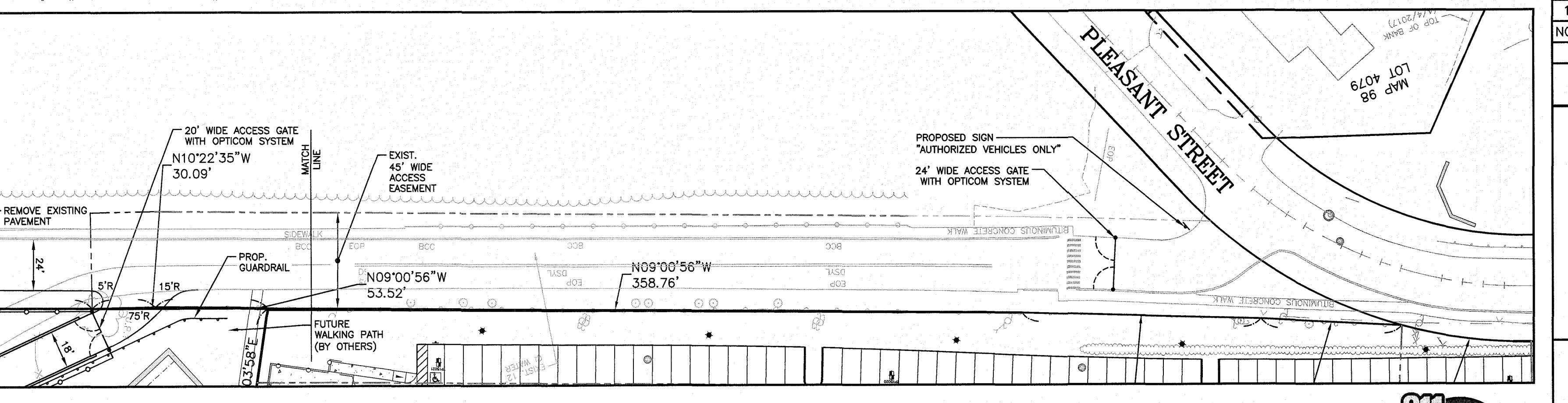
DESCRIPTION	REQUIRED	PROVIDED
MINIMUM LOT AREA Sq. Ft.	NONE	119,235 AC.
MINIMUM LOT FRONTAGE	NONE	> 1,000'
MINIMUM FRONT YARD BUILDING SETBACK	30'	N/A
MINIMUM SIDE YARD BUILDING SETBACK	20'	16'
MINIMUM REAR YARD BUILDING SETBACK	20'	N/A
MAXIMUM BUILDING HEIGHT	35', 3 STORIES	27'-8", 1 STORY
MAXIMUM LOT COVERAGE	70%	< 70%
MINIMUM NUMBER PARKING SPACES (INDUSTRIAL WAREHOUSE & STORAGE)	1 SPACE/EMPLOYEE X 6 EMPLOYEES = 6 SPACES 1 SPACE/COMPANY VEHICLE = N/A 1 SPACE/1,000 SF (27,090 SF) = 27	15 SPACES* (INCL. 2 ACCESSIBLE) TOTAL = 33 SPACES
MINIMUM FRONT YARD PARKING SETBACK	20'	N/A
MINIMUM SIDE & REAR PARKING SETBACK	10'	N/A
PARKING SPACE DIMENSIONS	9'x20'	9'x20'

* CONDITIONAL USE PERMIT REQUESTED



5	ADD SIGN AT PLEASANT STREET, NOTE 14	DRJ	1/4/19
4	MISC. REVISIONS	DRJ	12/5/18
3	REMOVE LABEL FOR EXIST. TREES TO REMAIN	DRJ	11/28/18
2	REVISIONS PER REVIEW COMMENTS	DRJ	11/6/18
1	MISC. REVISIONS	GMP	9/12/18
NO.	DESCRIPTION	BY	DATE
	REVISIONS		

SITE PLAN



TUSCAN VILLAGE MAINTENANCE OPERATIONS CENTER SALEM PROPERTY MAP 98 - LOT 7887 PROPERTY ADDRESS - 71 ROCKINGHAM PARK BOULEVARD

PREPARED FOR:
OMJ REALTY, LLC
63 MAIN STREET
SALEM, NH 03079

44 Stiles Road, Suite One
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ENGINEERS • PLANNERS • SURVEYORS
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DATE: SEPTEMBER 4, 2018

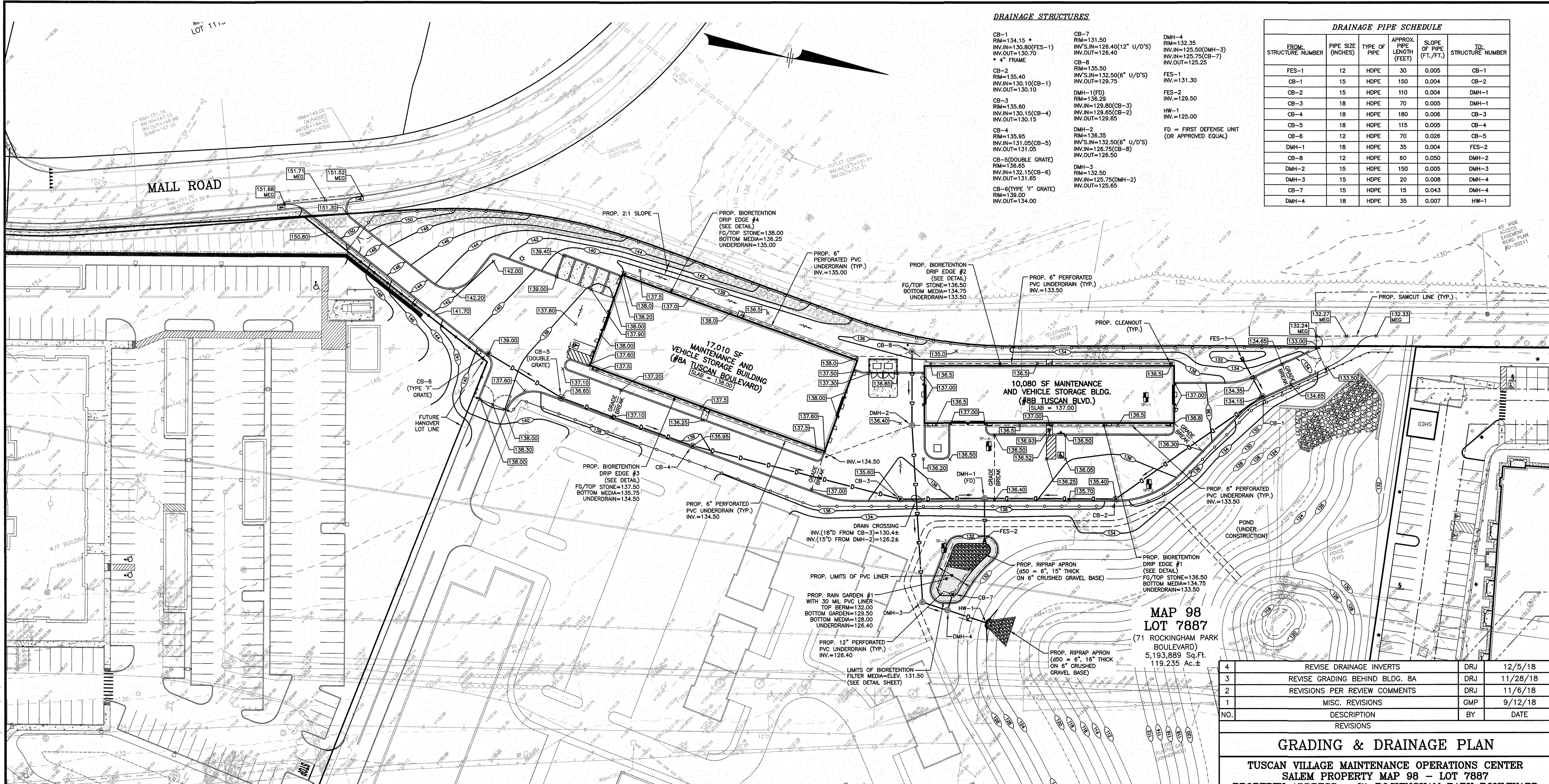
SCALE: 1" = 40'	OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079	SALEM PLANNING BOARD APPROVAL
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ZONE: COMMERCIAL - INDUSTRIAL 'C'

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
DRJ	SJB/DRJ	4040 VEH. ST.DWG	404016	4 OF 12

NOTES:

- 1) THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED LAYOUT FOR TWO MAINTENANCE AND VEHICLE STORAGE BUILDINGS ON A PORTION OF MAP 98 LOT 7887 UNDER THE PROVISIONS OF THE LARGE SCALE REDEVELOPMENT ORDINANCE, SECTION 490-710.
- 2) THE INFORMATION SHOWN ON THIS PLAN IS BASED IN PART ON SURVEY WORK PERFORMED BY MHF DESIGN CONSULTANTS, INC. ALONG WITH INFORMATION FROM RECORD PLANS AND AERIAL MAPPING.
- 3) ALL WALKS, STAIRS AND LANDINGS TO BE CEMENT OR BITUMINOUS CONCRETE. CONTRACTOR SHALL ENSURE ADA COMPLIANCE AS APPROPRIATE.
- 4) ALL WORK SHALL CONFORM TO APPLICABLE TOWN OF SALEM, NH DEDS AND NH DOT STANDARDS.
- 5) WRITTEN DIMENSIONS HAVE PRIORITY OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
- 6) PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONFIRM WITH THE ENGINEER THAT HE HAS THE MOST RECENT SET OF PLANS. SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY SHEET. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
- 7) CONTRACTOR RESPONSIBLE FOR COORDINATION WITH ARCHITECTURAL PLANS FOR HIS WORK. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS.
- 8) CONTRACTOR TO CONFIRM BENCHMARKS PRIOR TO COMMENCEMENT OF WORK.
- 9) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED OF ANY UTILITY LOCATIONS INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE EMERGENCY ACTION SHALL BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" (888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY DIGGING.
- 10) ALL PAVEMENT MARKINGS SHALL CONFORM TO THE MUTCD, LATEST EDITION.
- 11) PROPOSED ON-SITE SNOW STORAGE AREAS ARE AS SHOWN. ANY EXCESS SNOW SHALL BE TRUCKED OFF-SITE AND DISPOSED OF IN ACCORDANCE WITH THE TOWN OF SALEM AND NHDES REQUIREMENTS.
- 12) ANY ROOFTOP OR GROUND LEVEL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW.
- 13) ALL SALT STORAGE SHALL BE LOCATED INSIDE A BUILDING OR IN A COVERED ENCLOSURE PER NHDES AND USEPA REQUIREMENTS.
- 14) THERE SHALL BE NO OUTSIDE STORAGE OF EQUIPMENT OR MATERIALS BEHIND THE BUILDINGS.



NOTES

- 1) ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF SALEM, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- 2) THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
- 3) ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- 4) CONTRACTOR SHALL VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
- 5) THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
- 6) THE CONTRACTOR SHALL STABILIZE ALL DITCHES, SWALES, AND PONDS PRIOR TO DIRECTING STORMWATER RUN-OFF TO THEM.
- 7) THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIG SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE DIGGING.
- 8) THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER AND THE TOWN OF SALEM FOR THE COORDINATION OF ALL PERMITS, INSPECTIONS, AND MAINTENANCE AND PROTECTION OF ALL TRAFFIC AND PEDESTRIANS. ANY DISCREPANCIES FOUND OR SHOWN SHALL BE RESOLVED BY THE CONTRACTOR.
- 9) PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONFIRM WITH THE ENGINEER THAT HE HAS THE MOST RECENT SET OF PLANS. SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
- 10) CONTRACTOR SHALL CONFIRM WITH ENGINEER ALL LAYOUT ITEMS NOT SHOWN OR ANNOTATED. THE LOCATION OF ALL STRUCTURES AND UTILITIES SHALL BE CONFIRMED PRIOR TO LAYOUT OF PAVED AREAS. EXACT LOCATION OF PAVEMENT SHALL BE CONFIRMED WITH ENGINEER PRIOR TO PLACEMENT OF BINDER COURSE PAVEMENT.
- 11) IF DURING CONSTRUCTION IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE CONTRACTOR SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
- 12) SEE CONSTRUCTION DETAIL SHEETS FOR ADDITIONAL INFORMATION.
- 13) ALL DRAINAGE PIPE DATA CALCULATED TO STRUCTURE CENTERS, TYP.
- 14) ALL DRAINAGE PIPE SHALL CONFORM TO ADS N12 MINIMUM STANDARDS (OR EQUAL).
- 15) ALL YARD DRAINS SHALL BE 24" NYLOPLAST DRAIN BASINS AS MANUFACTURED BY ADS, INC. (OR EQUAL).
- 16) AN OPERATION AND MAINTENANCE MANUAL HAS BEEN PREPARED FOR THE ON-SITE STORMWATER MANAGEMENT SYSTEMS AND IS CONSIDERED PART OF THIS PLAN SET. THE PROPERTY OWNER SHALL COMPLY WITH THE INSPECTION AND MAINTENANCE SCHEDULE AND RECORD KEEPING REQUIREMENTS CONTAINED THEREIN.

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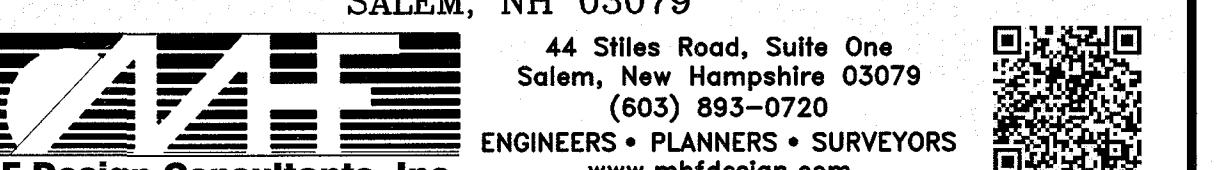
DRAINAGE PIPE SCHEDULE					
FROM: STRUCTURE NUMBER	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FEET)	SLOPE OF PIPE (FT./FT.)	TO: STRUCTURE NUMBER
FES-1	12	HDPE	30	0.005	CB-1
CB-1	15	HDPE	150	0.004	CB-2
CB-2	15	HDPE	110	0.004	DMH-1
CB-3	18	HDPE	70	0.005	DMH-1
CB-4	18	HDPE	180	0.006	CB-3
CB-5	18	HDPE	115	0.005	CB-4
CB-6	12	HDPE	70	0.026	CB-5
DMH-1	18	HDPE	35	0.004	FES-2
CB-8	12	HDPE	60	0.050	DMH-2
DMH-2	15	HDPE	150	0.005	DMH-3
DMH-3	15	HDPE	20	0.008	DMH-4
CB-7	15	HDPE	15	0.043	DMH-4
DMH-4	18	HDPE	35	0.007	HW-1

REVISIONS	DESCRIPTION	BY	DATE
REVISE DRAINAGE INVERTS	DRJ	12/5/18	
REVISE GRADING BEHIND BLDG. 8A	DRJ	11/28/18	
REVISIONS PER REVIEW COMMENTS	DRJ	11/6/18	
MISC. REVISIONS	GMP	9/12/18	

GRADING & DRAINAGE PLAN

**TUSCAN VILLAGE MAINTENANCE OPERATIONS CENTER
SALEM PROPERTY MAP 98 - LOT 7887
PROPERTY ADDRESS - 71 ROCKINGHAM PARK BOULEVARD**

ARED FOR:
ALTY, LLC
N STREET
NH 03079



des Road, Suite One
New Hampshire 03079
(603) 893-0720

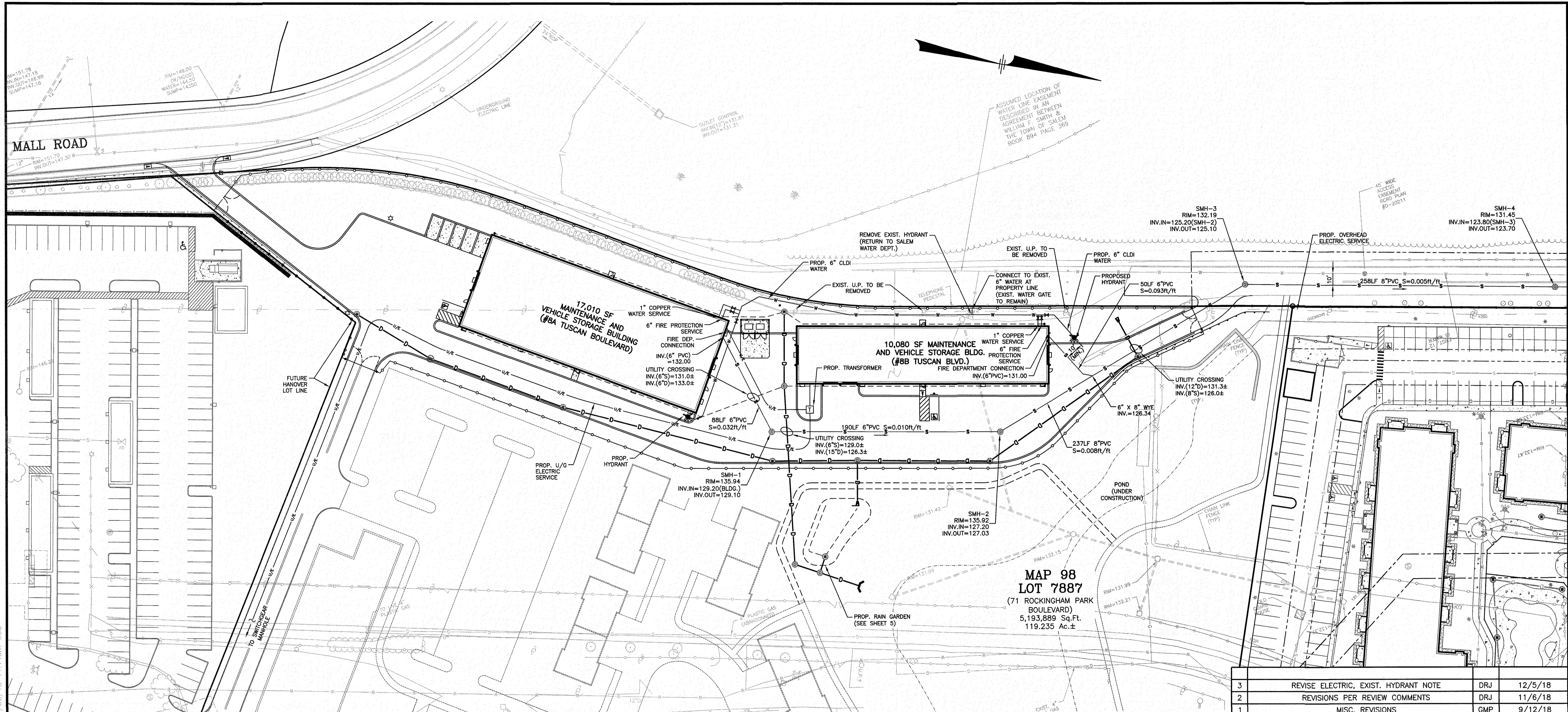
DATE: SEPTEMBER 4, 2018



40 0 20 40 80

(IN FEET)

1 inch = 10 ft



NOTES:

- 1) ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR AS MANUFACTURED BY ADS, INC. OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN.
- 2) ALL ROOF DRAIN PIPE (RD) SHALL BE 12" HDPE. INFORMATION SHOWN IS SCHEMATIC ONLY. SEE ARCHITECTURAL PLANS FOR ROOF DRAIN LOCATIONS.
- 3) ALL WATER PIPE SHALL BE CEMENT LINED DUCTILE IRON, UNLESS OTHERWISE NOTED.
- 4) ELEVATIONS ARE BASED ON NGVD 1929 DATUM.
- 5) ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- 6) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
- 7) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 8) ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE TOWN, STATE AND FEDERAL STANDARDS.
- 9) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
- 10) ALL WATER CONSTRUCTION SHALL CONFORM TO APPLICABLE MUNICIPAL SERVICES DEPARTMENT AND NHDES SPECIFICATIONS.
- 11) ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS.
- 12) ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL MSD.
- 13) THE LOCATION AND ELEVATION OF ALL PROPOSED BUILDING UTILITY CONNECTIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS.
- 14) ALL EXISTING ON-SITE UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE REMOVED.

SALEM MUNICIPAL SERVICES DEPARTMENT NOTES:

- 1) REQUIRED METERING AND BACKFLOW PREVENTION DEVICES WILL BE INSTALLED ON WATER SERVICES. THESE DEVICES WILL BE LOCATED AT THE POINT SERVICE LINES ENTER THE BUILDING. SERVICE LINES ARE NOT ALLOWED TO RUN THROUGH THE BUILDING, UNDER FLOORS, OVERHEAD OR OTHERWISE.
- 2) ALL EXISTING WATER AND SEWER SERVICES FOR BUILDINGS TO BE RAZED MUST BE CUT AND CAPPED PRIOR TO A RAZE PERMIT BEING ISSUED.
- 3) DOMESTIC WATER SERVICES MAY BE TAPPED OFF FIRE SPRINKLER SERVICES, PROVIDED THE DOMESTIC SERVICE IS TAPPED A MINIMUM OF TEN FEET OUTSIDE THE BUILDING. VALVES ARE REQUIRED ON BOTH SERVICE LINES, WITH A VALVE IN THE FIRE SERVICE DOWNSTREAM OF THE DOMESTIC SERVICE TAP. THESE VALVES SHOULD BE LOCATED A MINIMUM FIVE FEET FROM THE BUILDING.

SALEM FIRE DEPARTMENT NOTES:

- 1) EACH BUILDING SHALL BE PROVIDED THROUGHOUT WITH AN AUTOMATIC FIRE ALARM SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH SALEM FIRE DEPARTMENT REGULATIONS.
- 2) EACH BUILDING SHALL BE PROVIDED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH SALEM FIRE DEPARTMENT RULES AND REGULATIONS.
- 3) ALL SITE AND CONSTRUCTION PLANS MAY BE REVIEWED BY A THIRD PARTY CONSULTANT OF THE TOWNS CHOOSING. ALL COST ASSOCIATED WITH THIRD PARTY REVIEWS AND INSPECTION SHALL BE PAID BY THE DEVELOPER.
- 4) FIRE HYDRANT AND REQUIRED FLOW REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE 2015 EDITION AND SALEM WATER DEPARTMENT REGULATIONS. FLOW CALCULATIONS AND BUILDING CONSTRUCTION CLASSIFICATION SHALL BE INCLUDED WITH THE SITE PLAN.
- 5) PLANS FOR CONSTRUCTION OF BUILDINGS AND FIRE PROTECTION SYSTEMS SHALL BE SUBMITTED TO THE SALEM FIRE DEPARTMENT AND RELEASED FOR CONSTRUCTION PRIOR TO STARTING WORK. ALL CONTRACTORS INSTALLING FIRE PROTECTION SYSTEMS SHALL HOLD A CERTIFICATE OF FITNESS FROM THE SALEM FIRE DEPARTMENT.
- 6) ALL UNDERGROUND WATER MAINS SERVING SPRINKLER OR STANDPIPE SYSTEM SHALL BE FLUSHED IN ACCORDANCE WITH NFPA 24 AND SHALL BE WITNESSED BY SALEM FIRE DEPARTMENT PERSONNEL.

SEWAGE FLOW ESTIMATE:

(PER ENV-WQ 1008.03)
WAREHOUSE: 10 GPD/PERSON (6 EMPLOYEES) = 60 GPD

MAP 98
LOT 7887
(71 ROCKINGHAM PARK
BOULEVARD)
5,193,889 Sq.Ft.
119.235 Ac.±

TUSCAN VILLAGE MAINTENANCE OPERATIONS CENTER
SALEM PROPERTY MAP 98 – LOT 7887
PROPERTY ADDRESS – 71 ROCKINGHAM PARK BOULEVARD
PREPARED FOR:
OMJ REALTY, LLC
63 MAIN STREET
SALEM, NH 03079

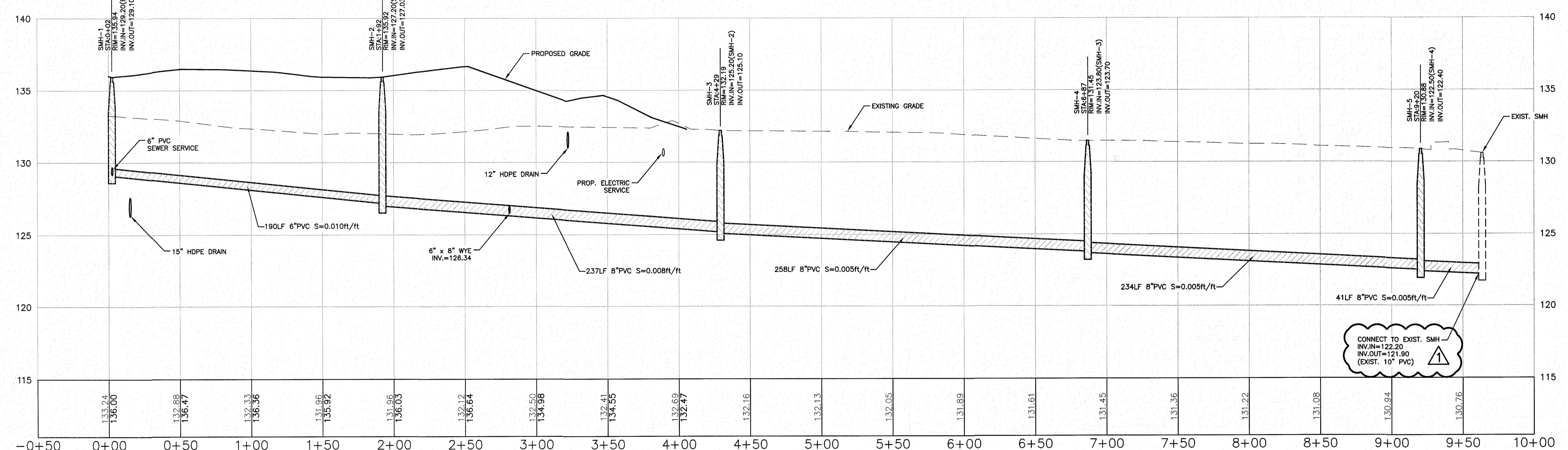
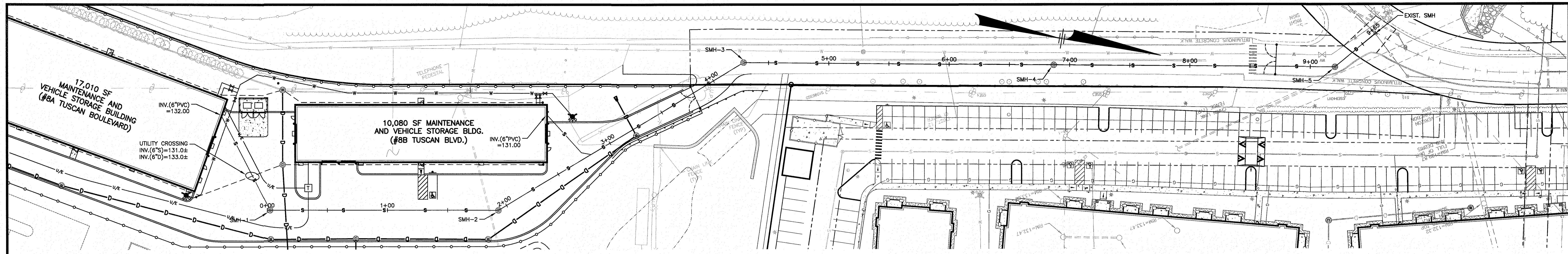


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Salem, New Hampshire 03079
(603) 893-0720
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SCALE: 1" = 40'
DATE: SEPTEMBER 4, 2018

 No. 7778 LICENSED 12/6/15	OWNER OF RECORD	SALEM PLANNING BOARD APPROVAL		
	ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079			
ZONE: COMMERCIAL – INDUSTRIAL 'C'				
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
DRJ	SJB/DRJ	4040 VEH. ST.DWG	404016	6 OF 12

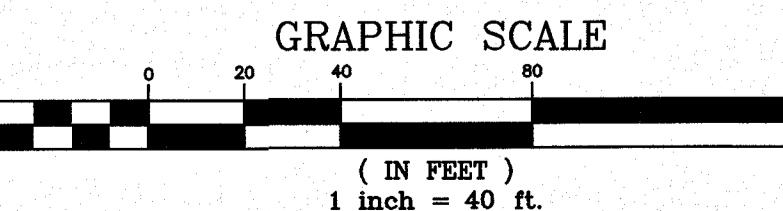


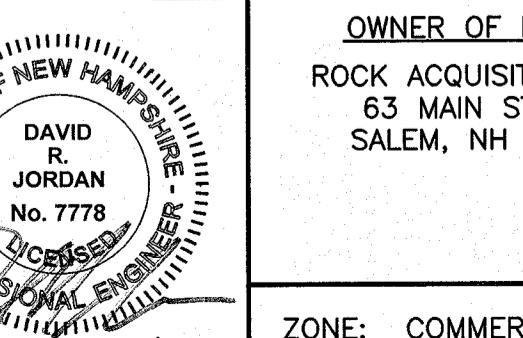
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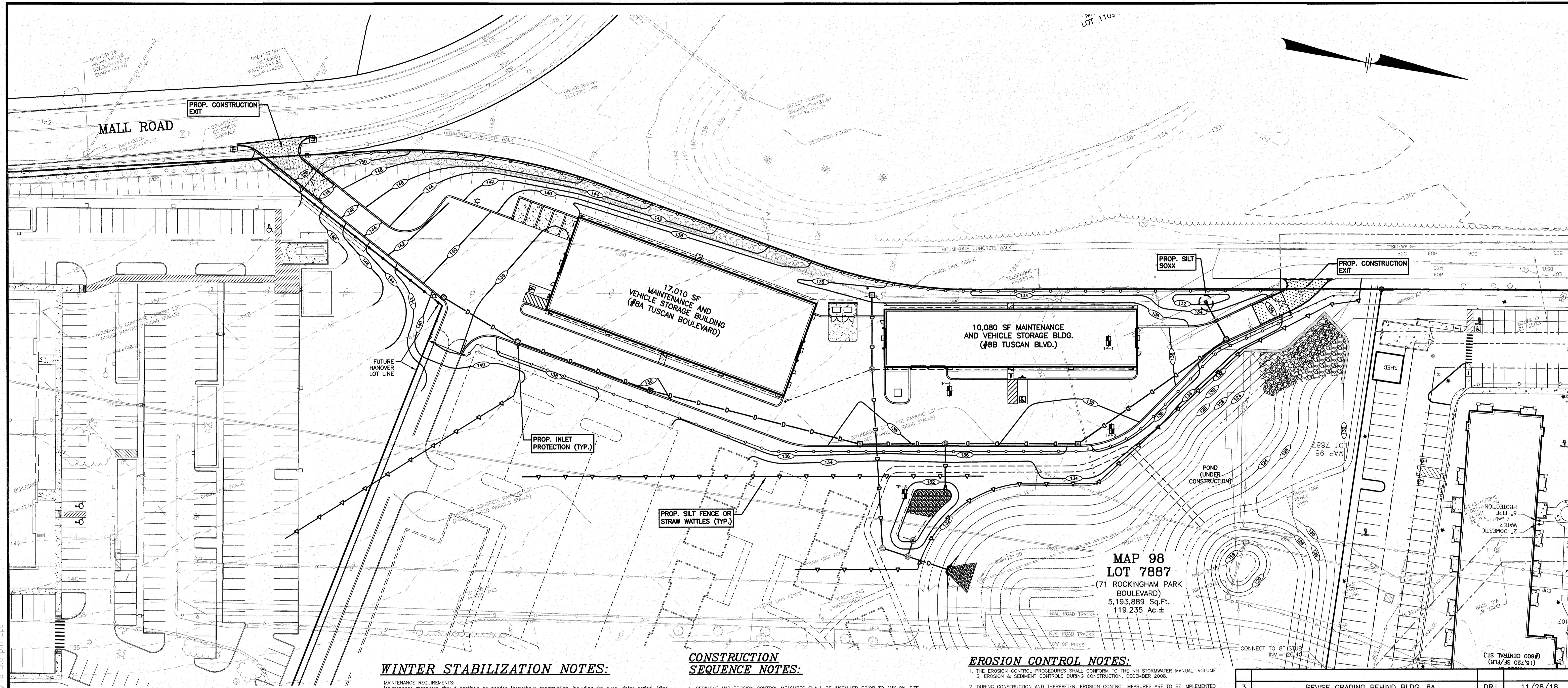
- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIG SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE DIGGING.
- 2) CONTRACTOR SHALL COORDINATE ALL WORK WITH SUBCONTRACTORS, UTILITY COMPANIES, AND THE TOWN OF SALEM, AND SHALL BE RESPONSIBLE FOR COORDINATION OF ALL PERMITS, INSPECTIONS, AND MAINTENANCE AND PROTECTION OF ALL TRAFFIC AND PEDESTRIANS. ANY DISCREPANCIES FOUND OR SHOWN SHALL BE RESOLVED BY THE CONTRACTOR.
- 3) ALL WORK SHALL CONFORM TO THE TOWN OF SALEM AND NH DOT STANDARDS.
- 4) WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
- 5) CONTRACTOR SHALL CONFIRM WITH ENGINEER ALL LAYOUT ITEMS NOT SHOWN OR ANNOTATED. THE LOCATION OF ALL STRUCTURES AND UTILITIES SHALL BE CONFIRMED PRIOR TO LAYOUT OF PAVED AREAS. EXACT LOCATION OF PAVEMENT SHALL BE CONFIRMED WITH ENGINEER PRIOR TO PLACEMENT OF BINDER COURSE PAVEMENT.
- 6) PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONFIRM WITH THE ENGINEER THAT HE HAS THE MOST RECENT SET OF PLANS. SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
- 7) THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND SHALL ARRANGE FOR ALL INSPECTIONS.
- 8) IF DURING CONSTRUCTION IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE CONTRACTOR SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
- 9) ALL SEWER PIPE DATA CALCULATED TO STRUCTURE CENTERS, TYP.
- 10) SEE SHEET 6B FOR SEWER DETAILS.
- 11) ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED.
- 12) ELEVATIONS SHOWN ARE NGVD29 DATUM. CONTRACTOR TO CONFIRM BENCHMARKS PRIOR TO COMMENCEMENT OF WORK.
- 13) ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO MUNICIPAL SERVICES DEPARTMENT SPECIFICATIONS.
- 14) ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND SALEM MUNICIPAL SERVICES DEPARTMENT.
- 15) WHERE SEWER SERVICE/MAIN CROSSES WATER MAIN/SERVICE, 18" VERTICAL CLEARANCE BETWEEN THE UTILITIES SHALL BE PROVIDED WITH WATER OVER THE SEWER.

SEWAGE FLOW ESTIMATE:

(PER ENV-WQ 1008.03)
WAREHOUSE: 10 GPD/PERSON (6 EMPLOYEES) = 60 GPD



NO.	DESCRIPTION	BY	DATE
2	REVISE ELECTRIC	DRJ	12/5/18
△	ADD EXIST. SEWER INVERT, ADD NOTE 15	DRJ	11/28/18
REVISIONS			
SEWER PLAN & PROFILE			
TUSCAN VILLAGE MAINTENANCE OPERATIONS CENTER SALEM PROPERTY MAP 98 – LOT 7887 PROPERTY ADDRESS – 71 ROCKINGHAM PARK BOULEVARD			
PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET SALEM, NH 03079			
 44 Sibley Road, Suite One Salem, New Hampshire 03079 (603) 893-0720 ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com			
SCALE: 1" = 40'			
		OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079	SALEM PLANNING BOARD APPROVAL
ZONE: COMMERCIAL – INDUSTRIAL 'C'			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
DRJ	SJB/DRJ	4040 VEH. ST.DWG	404016
SHEET No.			
6A OF 12			



WINTER STABILIZATION NOTES:

NOTES:

- ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN.
- ELEVATIONS ARE BASED ON NGVD 1929 DATUM.
- ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE TOWN, STATE AND FEDERAL STANDARDS.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
- AN OPERATION AND MAINTENANCE MANUAL HAS BEEN PREPARED FOR THE ON-SITE STORMWATER MANAGEMENT SYSTEMS AND IS CONSIDERED PART OF THIS PLAN SET. THE PROPERTY OWNER SHALL COMPLY WITH THE INSPECTION AND MAINTENANCE SCHEDULE AND RECORD KEEPING REQUIREMENTS CONTAINED THEREIN.

TEMPORARY EROSION CONTROL MEASURES:

- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- HAY BALES AND SEDIMENT TRAPS SHALL BE INSTALLED AS REQUIRED. BARRIERS AND TRAPS ARE TO BE MAINTAINED AND CLEANED UP ALL SITES HAVE A HEALTHY STAND OF GRASS.
- SOILS AND AREAS SHALL BE MOVED FREE FROM HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
- FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
- SOILS AND MATERIALS SHALL BE PLACED ONLY IN AREAS SHOWN ON THE PLANS. STOCKPILES SHALL BE PROTECTED BY SILTATION FENCE AND SEEDED TO PREVENT EROSION. THESE MEASURES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED AND SEEDING SHALL BE PLANTED.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED.
- PAVED ROADS MUST BE KEPT CLEAN AT ALL TIMES.
- ALL CONSTRUCTION INLETS WILL BE PROTECTED WITH LOW POINT SEDIMENTATION BARRIER.
- ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AND CLEANED AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- ALL DOWTERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.
- JUTE MATTING OR APPROVED EQUIVALENT SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.

CONSTRUCTION SEQUENCE NOTES:

1. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY ON-SITE CONSTRUCTION AS SHOWN. ADDITIONAL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL.
2. CONSTRUCT TEMPORARY STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THIS SHEET.
3. CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
4. REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEDED TO PREVENT EROSION.
5. CONSTRUCT PONDS, SWALES & LEVEL SPREADERS & STABILIZE PRIOR TO DIRECTING ANY RUNOFF TO THEM.
6. CONSTRUCT ROADWAYS AND PERFORM SITE GRADING, PLACING HAY BALES AND SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION. STABILIZE ROADS, PARKING LOTS AND CUT/FILL SLOPES WITHIN 72-HOURS OF ACHIEVING FINISH GRADES.
7. INSTALL UNDERGROUND UTILITIES AND DRAINAGE SYSTEM.
8. BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEDED OR MULCHED WITHIN 72-HOURS OF ACHIEVING FINISHED GRADES.
9. DAILY, OR AS REQUIRED, RECONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING. AT A MINIMUM, INSPECT EROSION CONTROLS WEEKLY AND AFTER EVERY 1/2" OF RAFFAL.
10. BEGIN EXCAVATION FOR CONSTRUCTION OF BUILDINGS.
11. FINISH PAVING ALL ROADWAYS AND DRIVEWAYS.
12. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
13. AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEDED AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.
14. APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:

Limits: 138 lbs./1,000 square feet.
 Fertilizer: 13.8 lbs./1,000 SF
 Mulch: hay mulch approximately 3 tons/acre unless erosion control matting is used.

Permanent Seed Mix:
 Creeping Red Fescue 20 LBS./ACRE
 Kentucky Bluegrass 20 LBS./ACRE
 Redtop 2 LBS./ACRE
 TOTAL: 42 LBS./ACRE

Temporary Seed Mix:
 Winter Rye (Aug. 15-Sept. 15) 112 LBS./ACRE

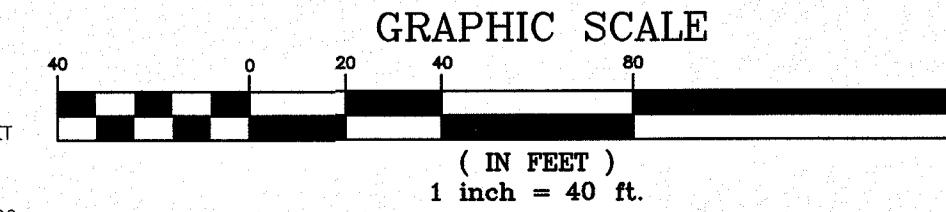
Oats (Not later than May 15) 80 LBS./ACRE
 Newly graded areas requiring slope protection outside of normal seeding season, shall receive hay mulch at the approximate rate of no more than 2 tons per acre.

15. THE CONTRACTOR AND DEVELOPER MUST MANAGE THE PROJECT TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:5 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.

16. FUGITIVE DUST MUST BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000.

EROSION CONTROL NOTES:

1. THE EROSION CONTROL PROCEDURES SHALL CONFORM TO THE NH STORMWATER MANUAL, VOLUME 3, EROSION & SEDIMENT CONTROLS DURING CONSTRUCTION, DECEMBER 2008.
2. DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED, AND ONE HUNDRED FEET OF EXPOSED LAND IS EXPONDED. THE DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME AS APPROVED BY THE ENGINEER. LAND SHOULD NOT BE LEFT EXPOSED DURING THE WINTER MONTHS.
3. LIMIT OF MAXIMUM AREA OF EXPOSED SOIL AT ANY ONE TIME TO LESS THAN 5 ACRES. THE EXPOSED AREA THAT IS BEING ACTIVELY WORKED DURING WINTER IS TO BE LESS THAN 3 ACRES DURING THE WINTER SEASON.
4. ALL PERMANENT STORM WATER STRUCTURES SHALL BE STABILIZED PRIOR TO DIRECTING FLOW INTO THEM. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - a. A minimum of 100 square feet of exposed soil has been installed and area to be paved.
 - b. A minimum of 85 percent vegetated growth has been established.
 - c. A minimum of 3 inches of non-erodic material such as STONE OR RIP-RAP HAS BEEN INSTALLED.
5. EROSION CONTROL BLANKETS SHOULD HAVE BEEN PROPERLY INSTALLED.
6. SILT FENCE SHALL BE INSTALLED AND MAINTAINED DURING AND AFTER DEVELOPMENT TO REMOVE SURFACE RUNOFF WATER AND FROM LAND UNDERGOING DEVELOPMENT WHERE POSSIBLE. SURFACE DRAINAGE WAYS SHOULD BE UTILIZED AND LEFT OPEN TO REMOVE EXCESS SURFACE WATER. SILT FENCE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
7. ALL DISTURBED AREAS AND SIDE SLOPES WHICH ARE FINISHED GRADED, WITH NO FURTHER CONSTRUCTION TO TAKE PLACE, SHALL BE LOAMED AND SEDED WITHIN 72 HOURS AFTER FINAL GRADING. A MINIMUM OF 4" OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. THE SEED MIX SHALL BE AS DESIGNATED BELOW.
8. ALL DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION, SHOULD BE LOAMED, HAY MULCHED AND SEDED WITH EYE GRASS TO A MINIMUM OF 4" OF LOAM. THE HAY MULCH AND SEEDING SHALL BE EXPOSED. THE EXPOSED HAY AND SOIL SHALL BE 45 DAYS. HAY OR STRAW MULCH SHALL BE APPLIED TO ALL FRESHLY SEDED AREAS AT THE RATE OF 2 TONS PER ACRE. BALES SHALL BE UNPOUNDED, ARIED, AND FREE FROM WEED, SEEDS AND ANY COARSE MATERIAL.
9. ALL DISTURBED AREAS AND SIDE SLOPES WHICH ARE FINISHED GRADED, WITH NO FURTHER CONSTRUCTION TO TAKE PLACE, SHALL BE LOAMED AND SEDED WITHIN 72 HOURS AFTER FINAL GRADING. A MINIMUM OF 4" OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. THE SEED MIX SHALL BE AS DESIGNATED BELOW.
10. DURING GRADING OPERATIONS, INSTALL HAY BALE BARRIERS ALONG TOE OF SLOPE OF FILL AREAS WHERE SHOWN. BARRIERS ARE TO BE MAINTAINED UNTIL DISTURBED AREAS ARE PAVED OR GRASSED.
11. THE FILL MATERIAL SHALL BE OF APPROVED SOIL TYPE FREE FROM STUMPS, ROOTS, WOOD, ETC. TO BE PLACED IN 12" LIFTS OR AS SPECIFIED. BULLDOZERS, TRUCKS, TRACTORS, OR ROLLERS MAY BE USED FOR COMPACTION BY ROUTING THE EQUIPMENT TO ALL AREAS OR EACH LAYER.
12. AVOID THE USE OF FUTURE OPEN SPACES (LOAM & SEED) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ROADS.
13. ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
14. ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
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17. FUGITIVE DUST MUST BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000.



STORMWATER MANAGEMENT PLAN

TUSCAN VILLAGE MAINTENANCE OPERATIONS CENTER SALEM PROPERTY MAP 98 – LOT 7887 PROPERTY ADDRESS – 71 ROCKINGHAM PARK BOULEVARD

PREPARED FOR:

OMJ REALTY, LLC

63 MAIN STREET

SALEM, NH 03079



44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720

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DATE: SEPTEMBER 4, 2018

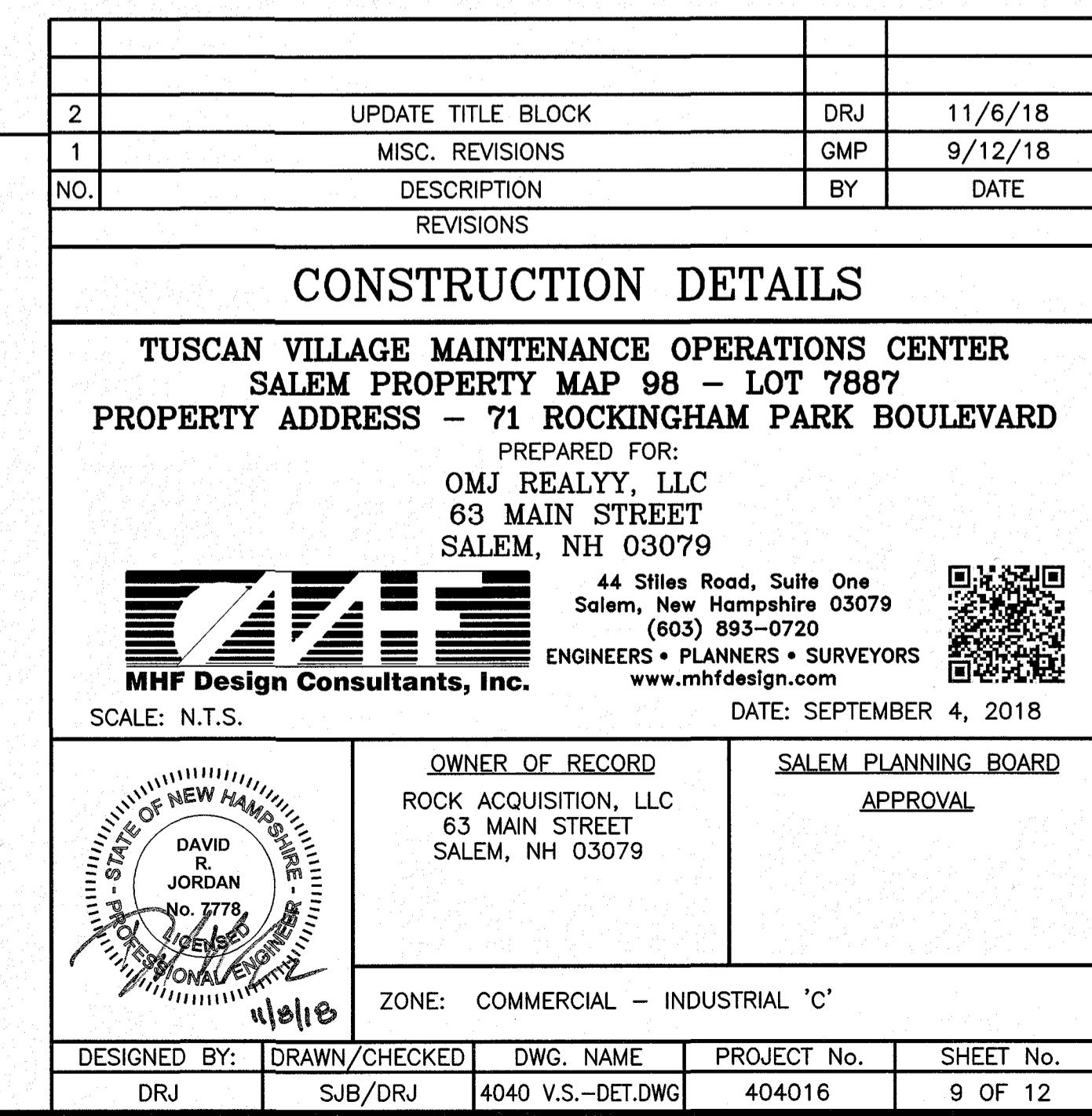
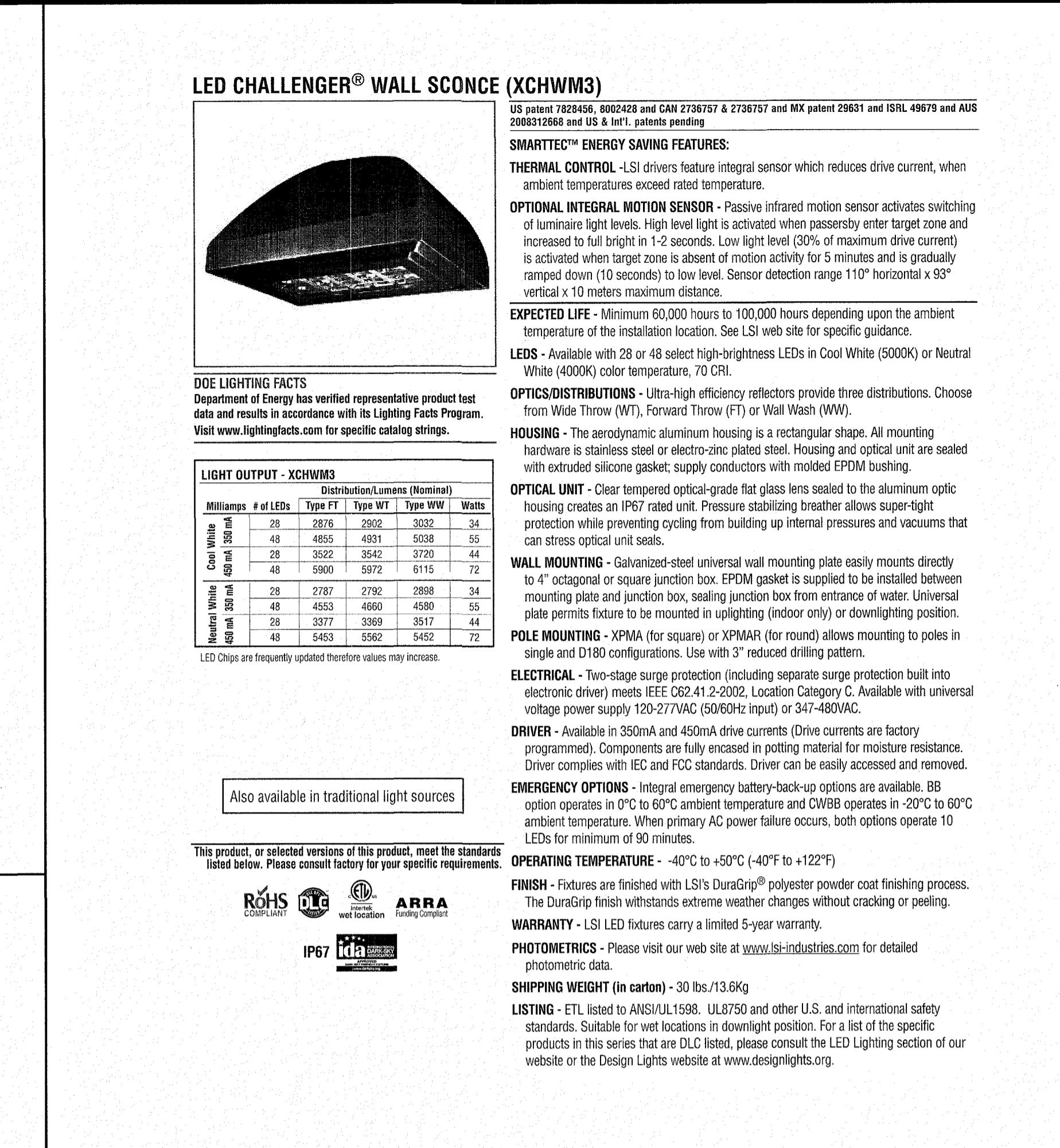
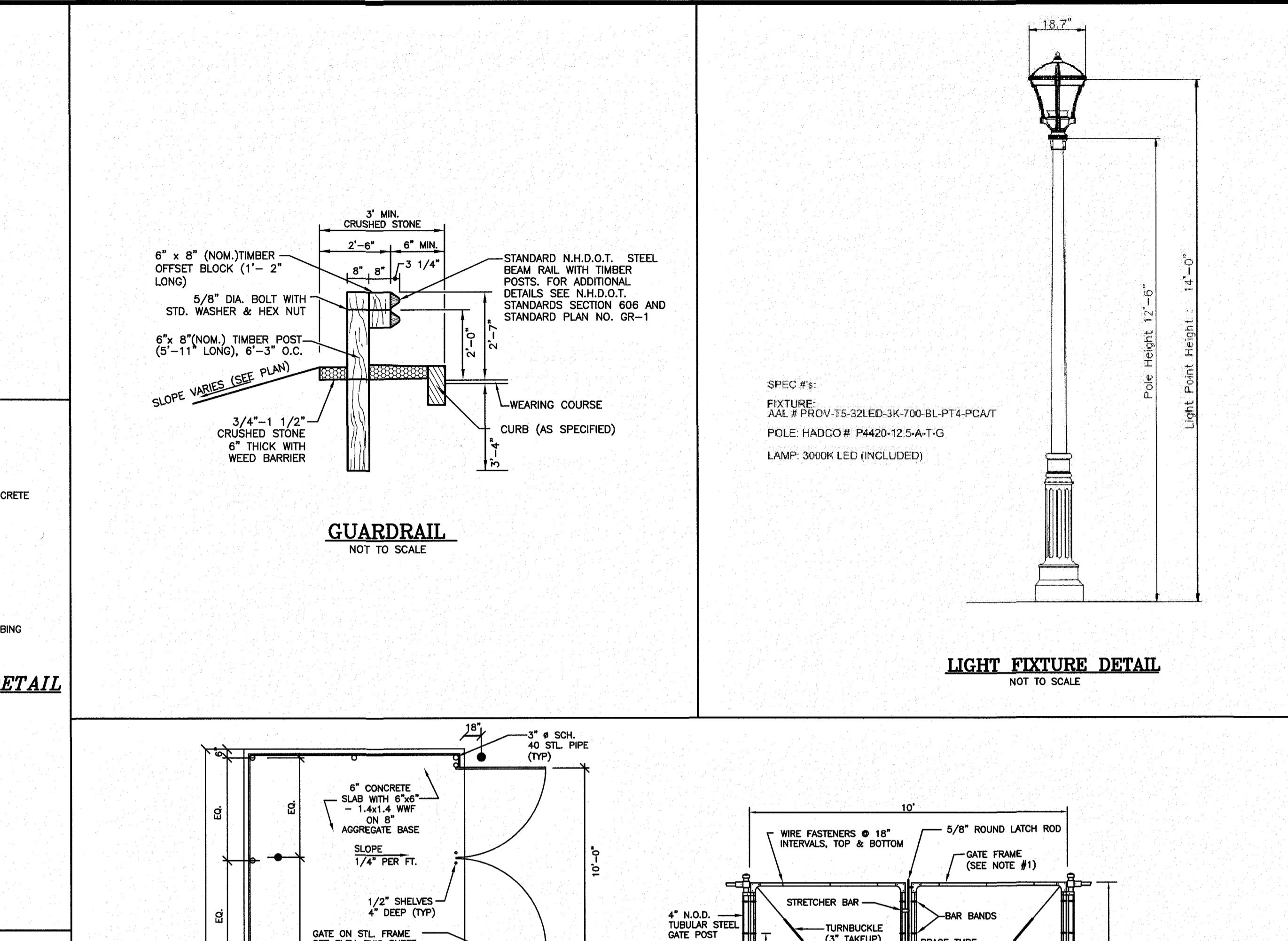
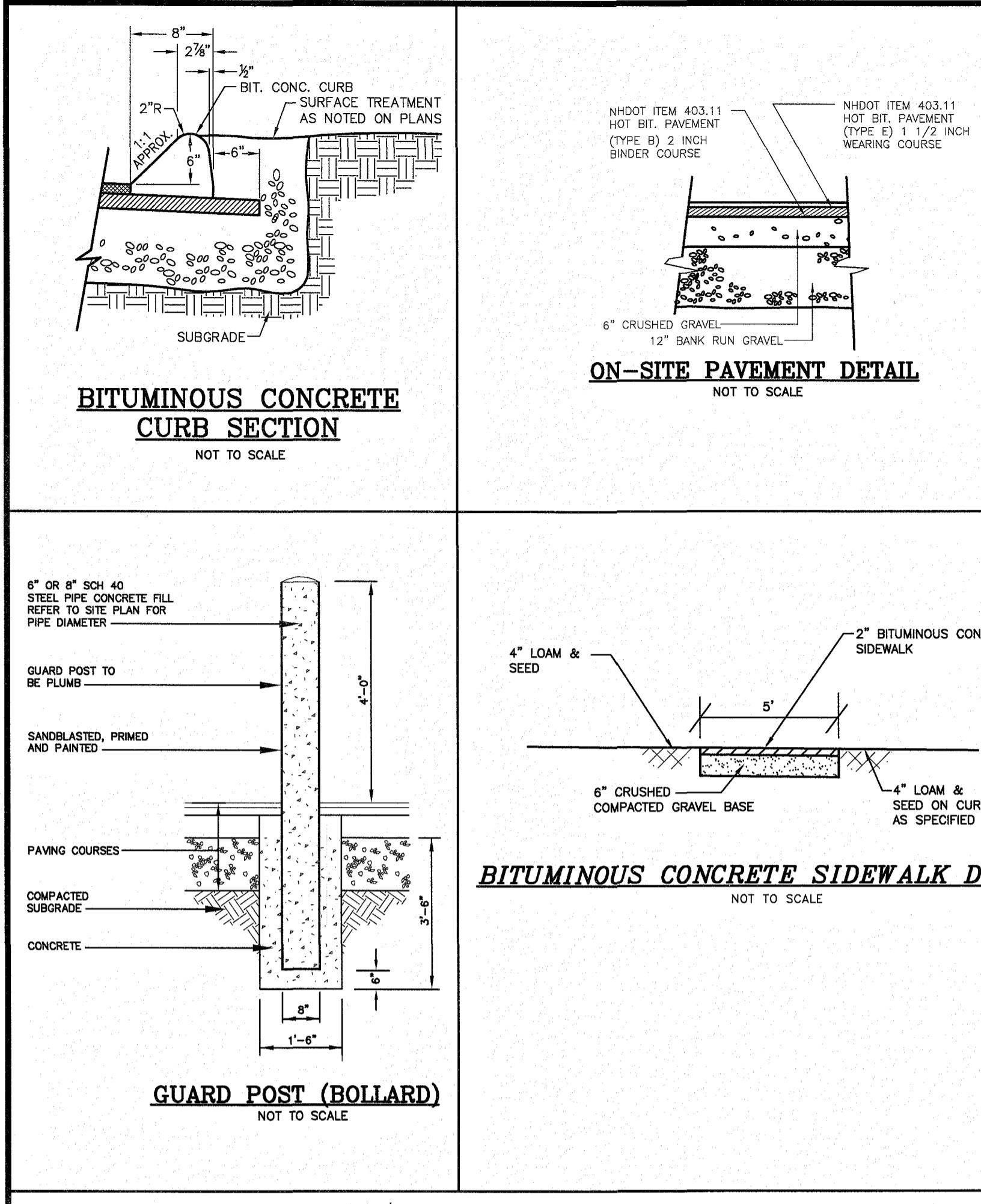
NO.	DESCRIPTION	REVISIONS	DRJ	DATE
3	REVISE GRADING BEHIND BLDG. 8A			11/28/18
2	REVISIONS PER REVIEW COMMENTS			11/6/18
1	MISC. REVISIONS		GMP	9/12/18

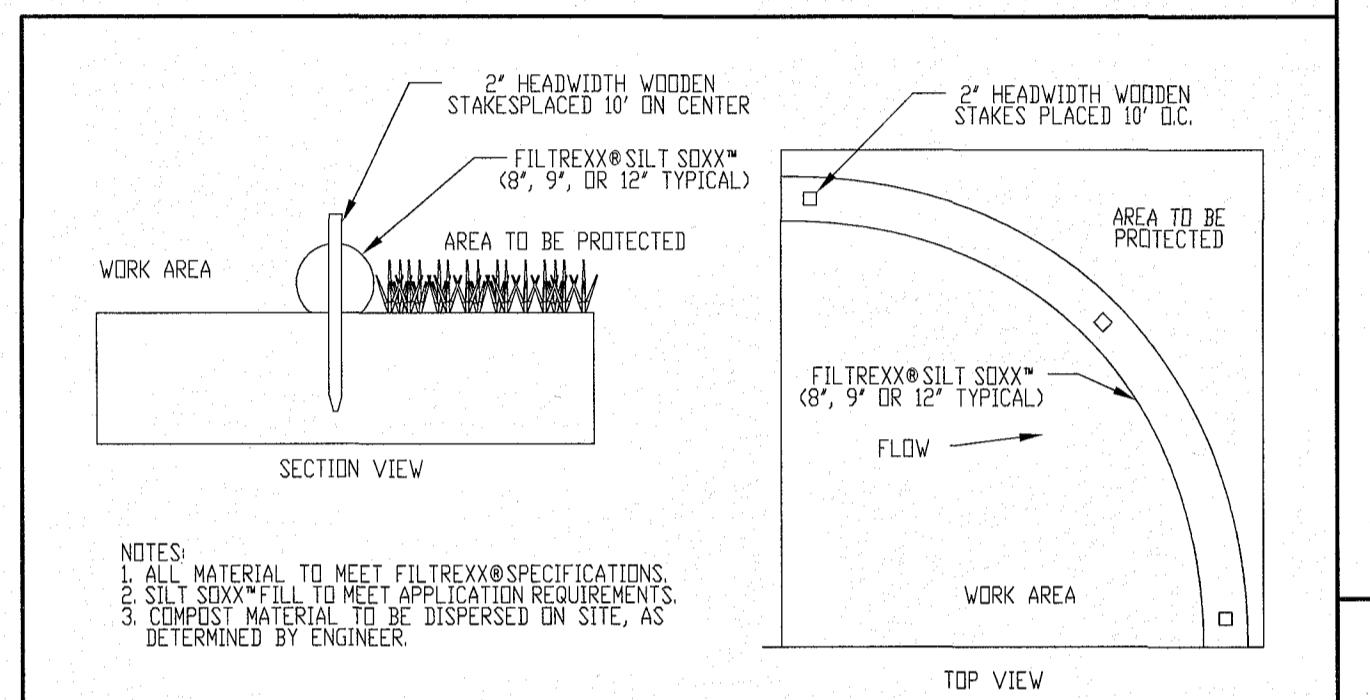
OWNER OF RECORD	APPROVAL
ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079 DAVID R. JORDAN No. 7778 LICENSE #112418	

ZONE: COMMERCIAL – INDUSTRIAL 'C'

DESIGNED BY: DRAWN/CHECKED DWG. NAME PROJECT No. SHEET No.

DRJ SJB/DRJ 4040 VEH. ST.DWG 404016 7 OF 12





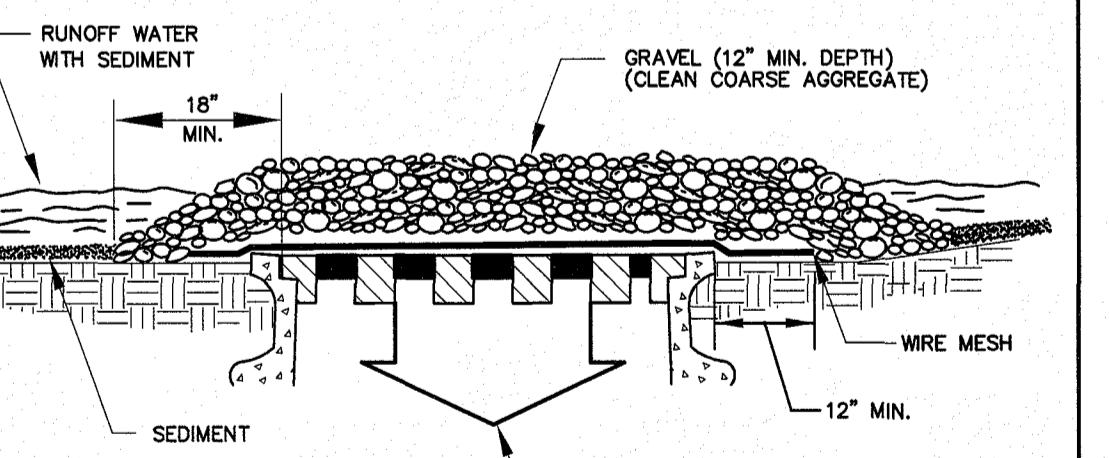
NOTES:
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
2. SILT SOXX™ FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

INSPECTION AND MAINTENANCE
Routine inspection should be conducted within 24 hrs of a runoff event as designated by the regulating authority. Sediment control should be regularly inspected to make sure they maintain their shape and are producing adequate hydraulic flow-through. If ponding becomes excessive, additional sediment control may be required to reduce effective slope length or sediment removal may be necessary. Sediment control shall be inspected until area above has been permanently stabilized and construction actions are ceased.

1. The Contractor shall maintain the sediment control in a functional condition at all times and it shall be routinely inspected.
2. If the sediment control has been damaged, it shall be repaired, or replaced if beyond repair.

FILTREXX® SILT SOXX™

NOT TO SCALE

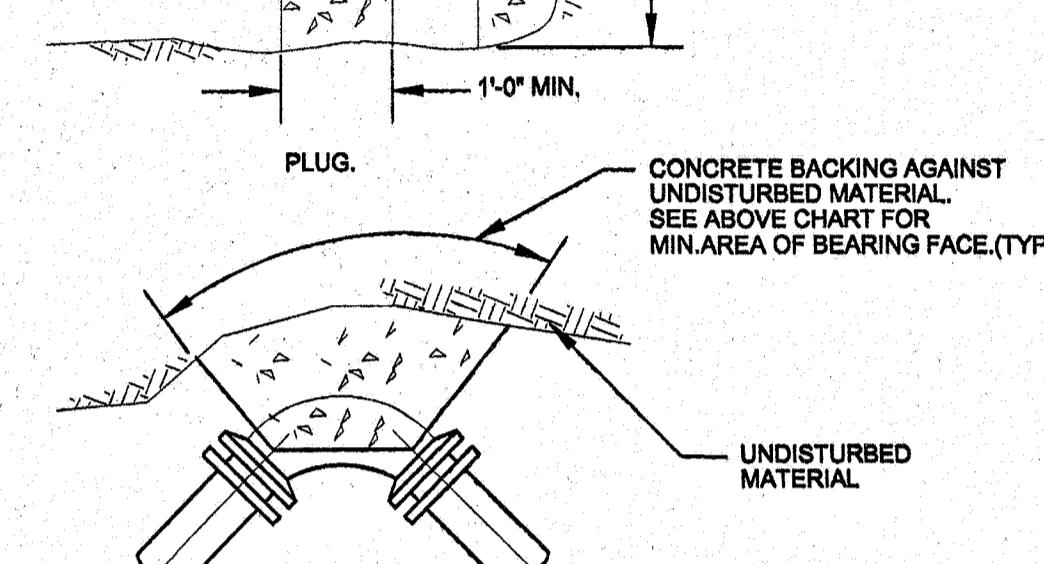
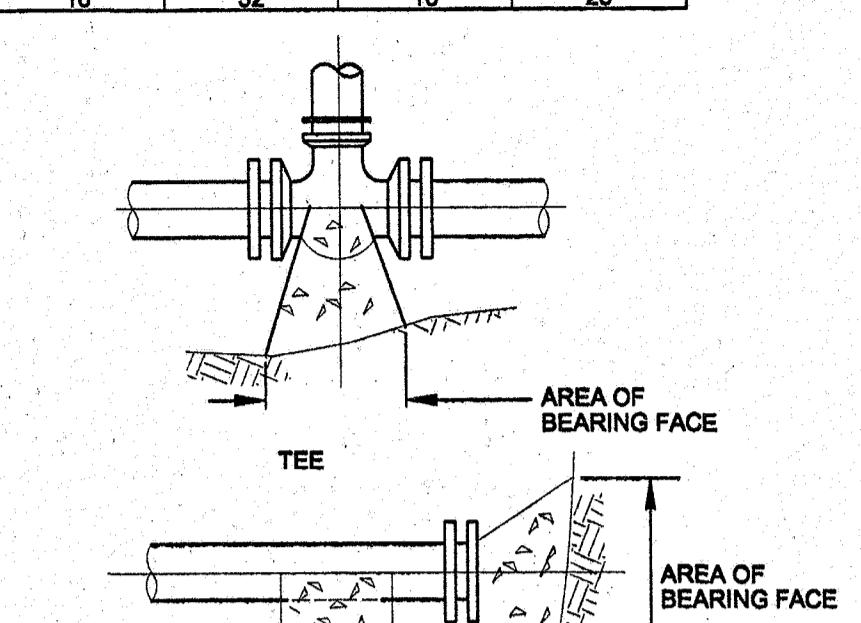


INLET PROTECTION

MAINTENANCE

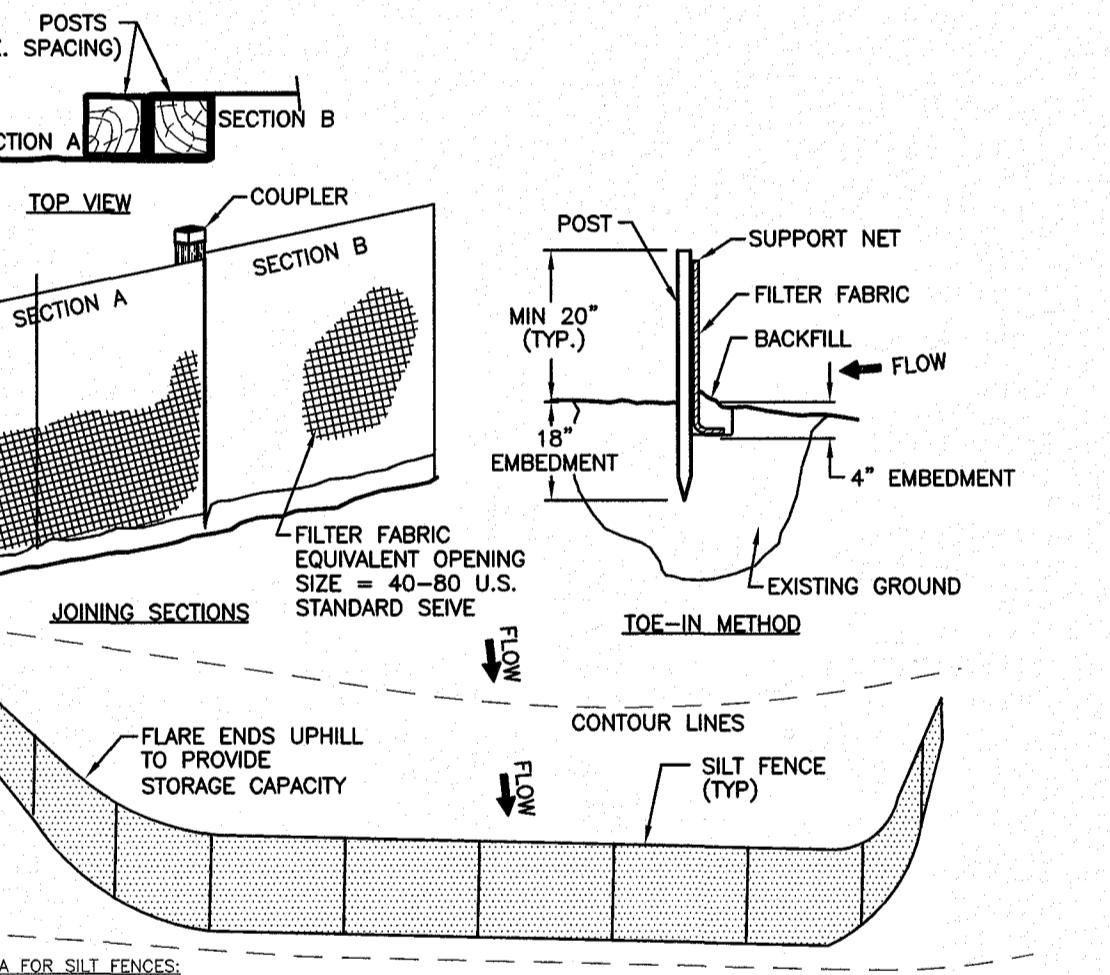
1. ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAIN STORM AND REPAIRS MADE AS NECESSARY.
2. SEDIMENT SHOULD BE REMOVED FROM THE TRAPPING DEVICES AFTER THE SEDIMENT REACHES A MAXIMUM OF ONE HALF OF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED OF IN A SUITABLE AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURAL OR VEGETATIVE MEANS.
3. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.
4. ALL STRUCTURES WITH INLET PROTECTION MUST BE CLEANED AT THE END OF CONSTRUCTION AND WHEN THE SITE IS FULLY STABILIZED.

AREA OF BEARING FACE OF CONCRETE THRUST BLOCKS IN SQUARE FEET BASED ON 450 PSI. & TONS.F.					
PIPE SIZE IN.	1/4 BEND	1/8 BEND	PLUG & TEE	6	8
4	8	4	6		
10	13	7	9		
12	18	9	13		
16	32	16	23		



TYPICAL CONCRETE BACKING

NOT TO SCALE

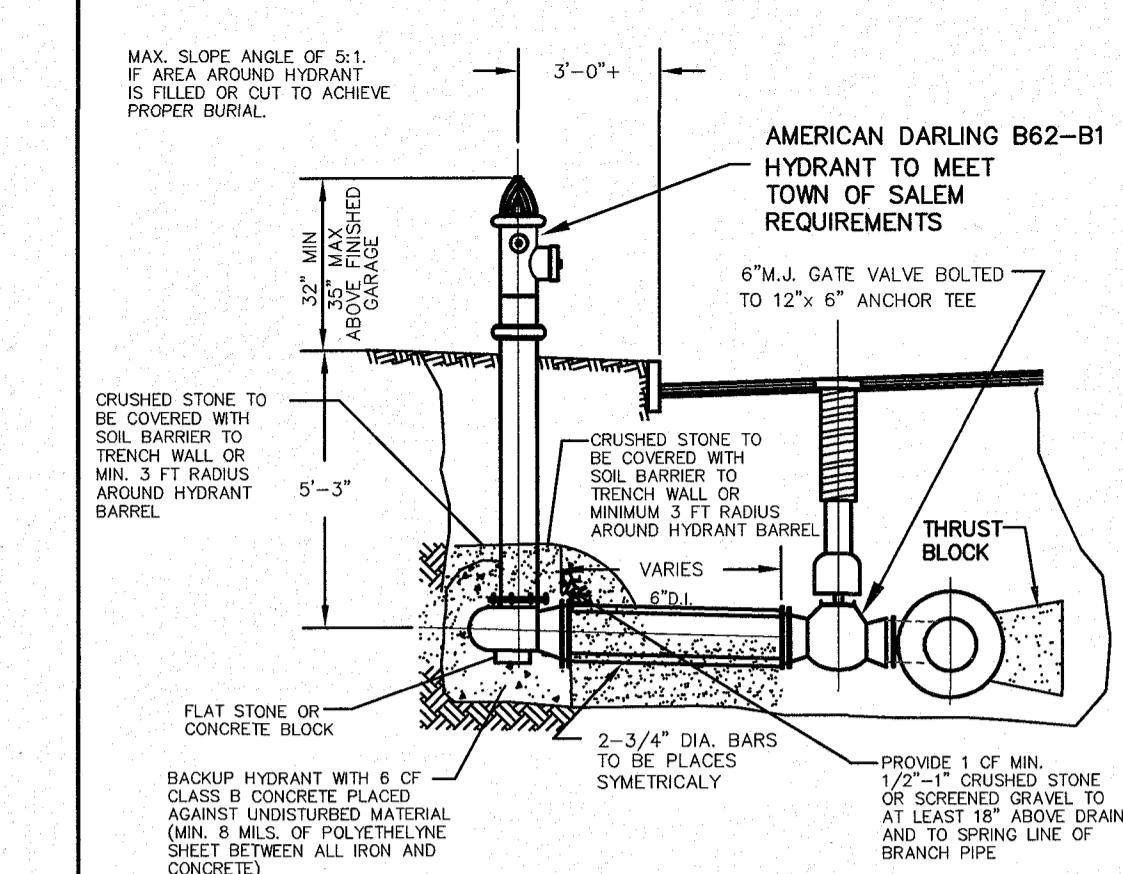


CRITERIA FOR SILT FENCES:

1. SILT FENCE FILTER CLOTH: THE FABRIC FOR THE SILT FENCE SHALL MEET THE FOLLOWING SPECIFICATIONS:
FABRIC PROPERTIES:
GRAB TENSILE STRENGTH (lbs) 80 ASTM D1682
ELONGATION AT FAILURE (%) 190 ASTM D1682
MIN. PUNCTURE STRENGTH (PSI) 40 ASTM D3786
EQUIVALENT OPENING SIZE 40-80 US STD. SEIVE
2. FENCE POSTS (FOR FABRICATED UNITS) - THE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG. WOOD POSTS WILL BE OF SOUND QUALITY HARDWOOD WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES. STEEL POSTS WILL BE 6 LINEAR FEET.
3. WIRE FENCE (FOR FABRICATED UNITS) - WIRE FENCING SHALL BE A MINIMUM 14.5 GAUGE WITH A MAXIMUM 6 INCH MESH.
4. PREFABRICATED UNITS - PREFABRICATED UNITS MAY BE USED IN LIEU OF THE ABOVE METHOD PROVIDING: (1) THE FILTER FABRIC AND FENCE POSTS MEET THE ABOVE CRITERIA; AND (2) THE UNIT IS INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
5. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FENCE.
6. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATION.
7. THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
8. THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND (4" DEEP & 4" WIDE) AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
9. WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
10. FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE MID-SECTION AND BOTTOM.
11. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES (24" IS PREFERRED).
12. POSTS TO BE SPACED AT A MAXIMUM OF 6' ON CENTER.

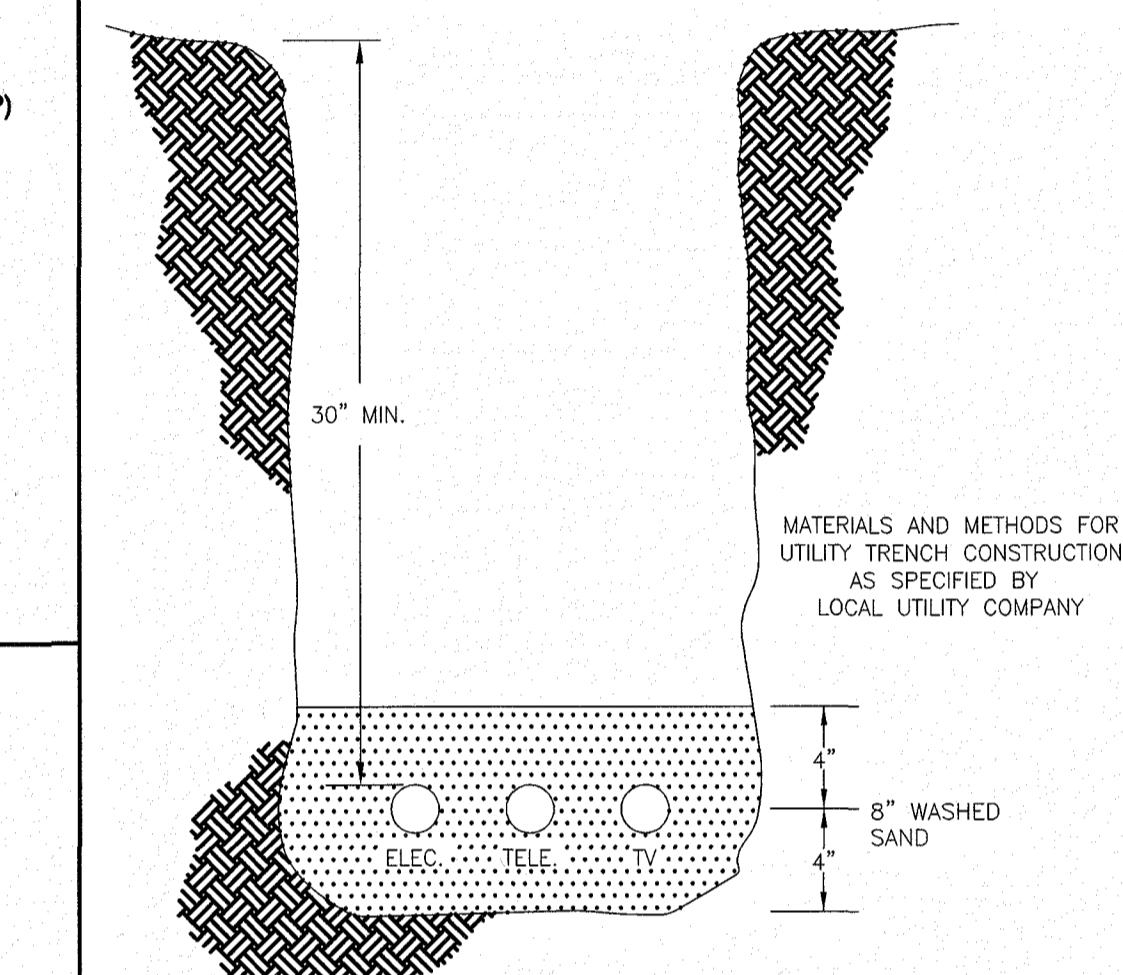
SEDIMENT CONTROL FENCE

NOT TO SCALE



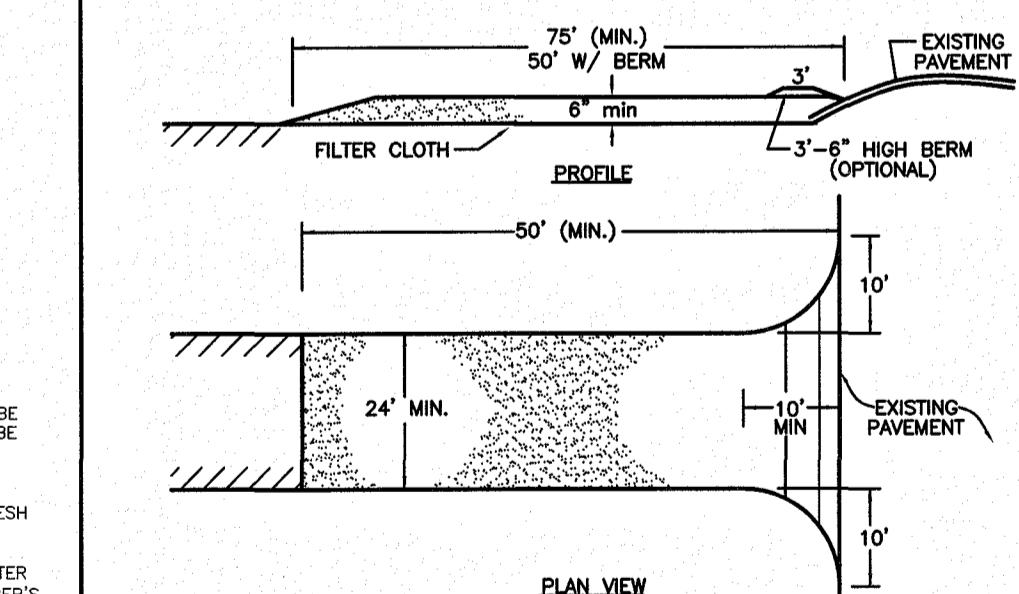
HYDRANT CONNECTION (TYP.)

NOT TO SCALE



UTILITY TRENCH

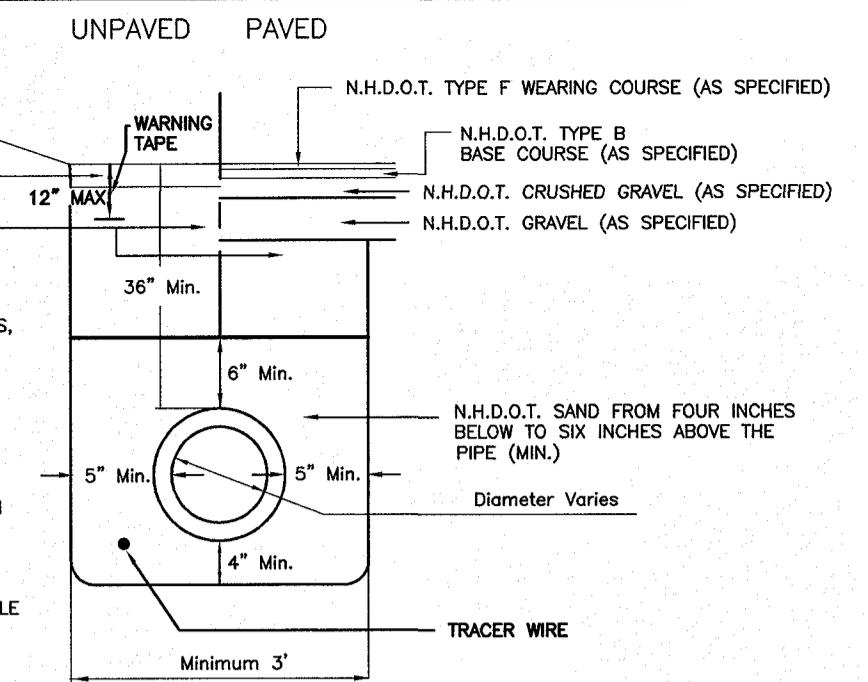
NOT TO SCALE



1. STONE FOR A STABILIZED CONSTRUCTION EXIT SHALL BE 3 INCH COARSE AGGREGATE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED EXIT SHALL NOT BE LESS THAN 50 FEET.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED EXIT SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE EXIT SHALL NOT BE LESS THAN 24' WHERE INGRESS OCCURS.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION EXIT SHALL BE PIPED BEHIND THE EXIT. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRUCKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.
8. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO EXIT ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

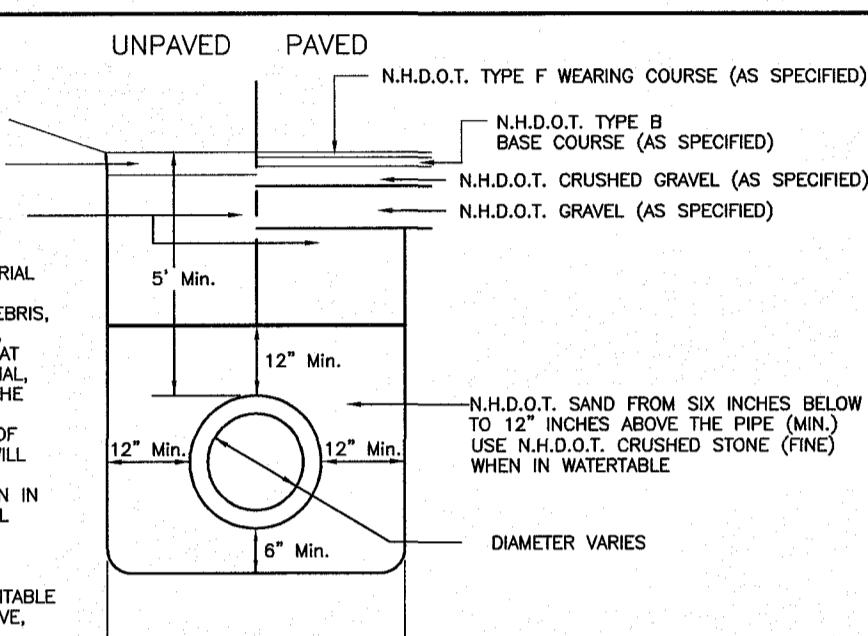
STABILIZED CONSTRUCTION EXIT DETAIL

NOT TO SCALE



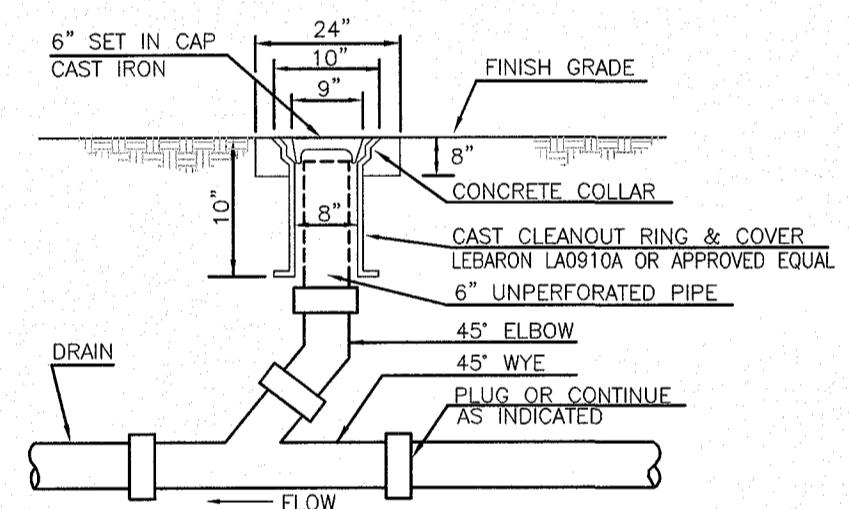
TYPICAL GAS TRENCH DETAIL

NOT TO SCALE



TYPICAL WATER TRENCH DETAIL

NOT TO SCALE



TYPICAL DRAIN CLEANOUT

NOT TO SCALE

1. UPDATE TITLE BLOCK, DELETE RET. WALL DETAIL & ADD SILT SOXX DETAIL DRJ 11/6/18

NO. DESCRIPTION BY DATE

REVISIONS

CONSTRUCTION DETAILS

TUSCAN VILLAGE MAINTENANCE OPERATIONS CENTER
SALEM PROPERTY MAP 98 - LOT 7887
PROPERTY ADDRESS - 71 ROCKINGHAM PARK BOULEVARD

PREPARED FOR:

OMJ REALLY, LLC
63 MAIN STREET
SALEM, NH 03079

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SCALE: N.T.S. DATE: SEPTEMBER 4, 2018

OWNER OF RECORD ROCK ACQUISITION, LLC DAVID R. JORDAN NO. 7778 LICENSED PROFESSIONAL ENGINEER	SALEM PLANNING BOARD APPROVAL
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ZONE: COMMERCIAL - INDUSTRIAL 'C'

DESIGNED BY: DRJ	DRAWN/CHECKED: SJB/DRJ	DWG. NAME: 4040 V.S.-DET.DWG	PROJECT No.: 404016	SHEET No.: 10 OF 12
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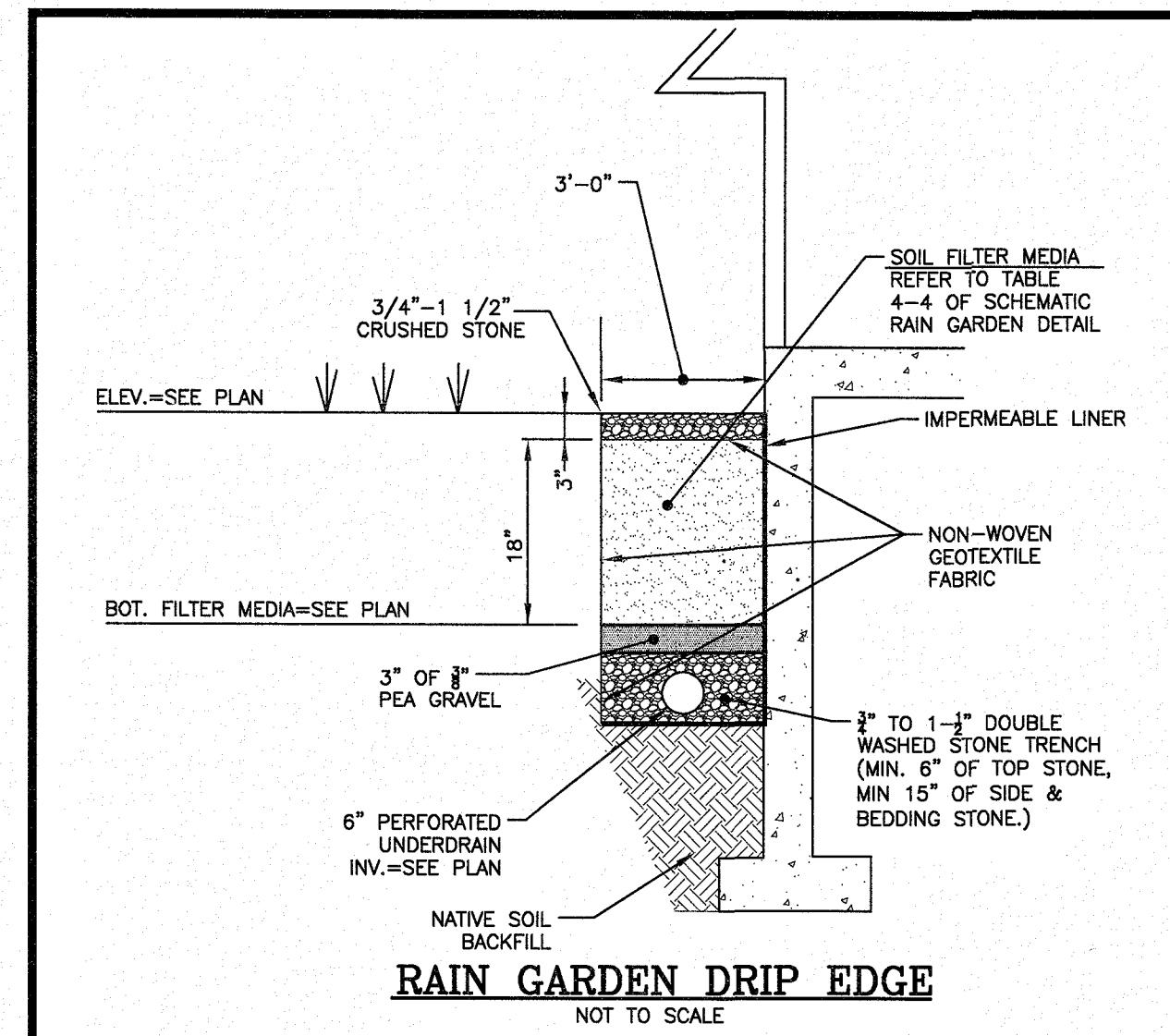


Table 4-4. Bioretention Filter Media			
Component Material	Percent of Mixture by Volume	Sieve No.	Gradation of Material
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
Filter Media Option A			
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	10	85 to 100
Loamy coarse sand	70 to 80	20	70 to 100
	60	15 to 40	
	200	8 to 15	
Filter Media Option B			
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
Loamy coarse sand	70 to 80	10	85 to 100
	20	20	70 to 100
	60	60	15 to 40
	200	200	8 to 15

NOTES:
1. FOR ADDITIONAL INFORMATION REFER TO THE NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 2, POST-CONSTRUCTION BEST MANAGEMENT PRACTICES, DECEMBER 2008.
2. A 30 MIL PVC LINER (SOLID 230 G/100 SQ. IN APPROX EQUIV.) SHALL BE INSTALLED UNDER THE PIPE BEDDING AND OVER THE UNDERDRAIN. THE MANUFACTURER'S SPECIFICATIONS, SEAMS SHALL BE HEAT WELDED. EXTRA CARE SHOULD BE TAKEN TO PREVENT PUNCTURING DURING INSTALLATION. A MINIMUM 8-OUNCE NON-WOVEN FABRIC UNDERLAYMENT AND OVERLAYMENT SHOULD BE PLACED TO PROTECT LINER.
3. DO NOT PLACE THE BIO-RETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND IT'S CONTAINING AREAS HAVE BEEN FULLY STABILIZED.
4. DO NOT DRIVE OVER THE UNDERDRAIN DURING CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE BIO-RETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
5. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

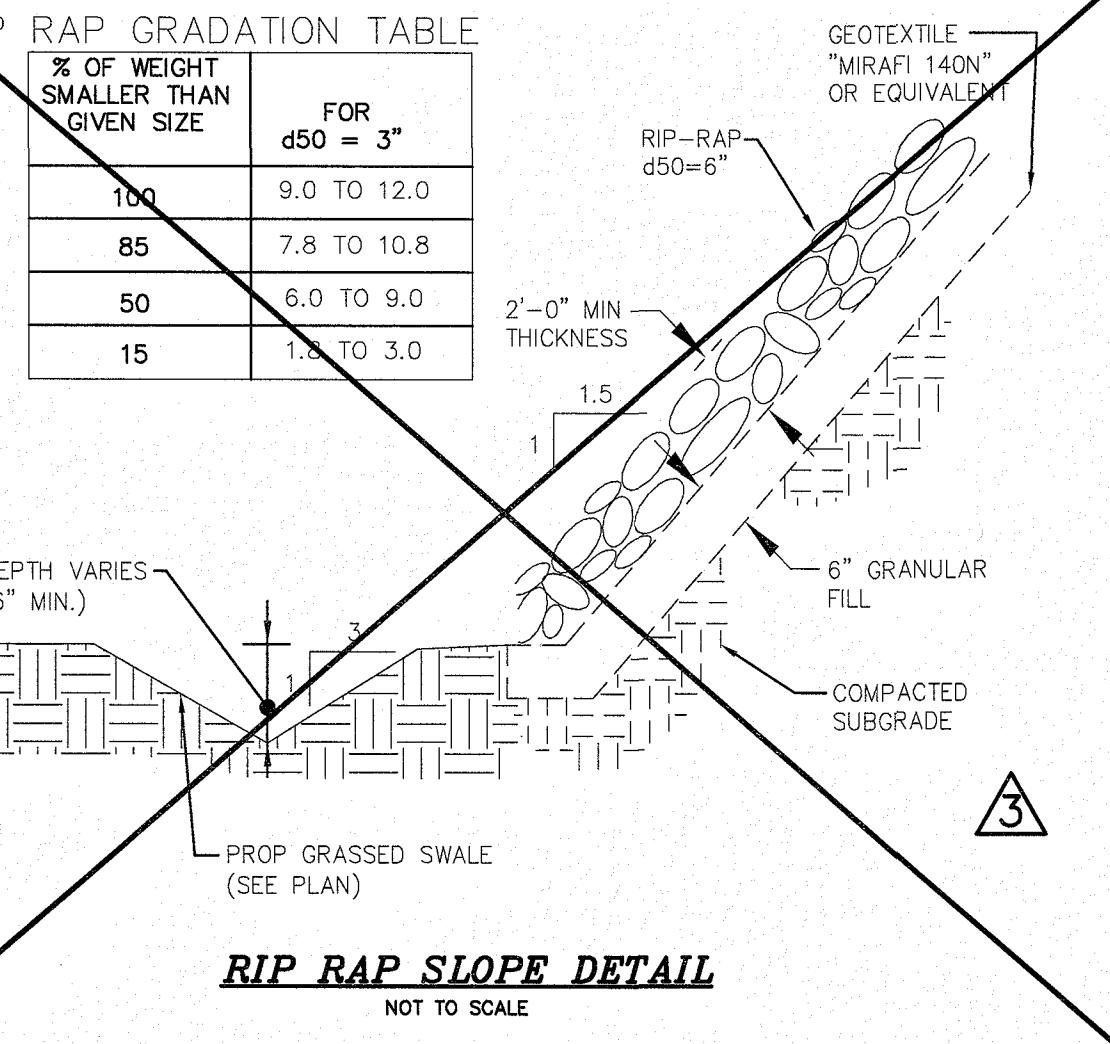
SAFETY NOTES
POPPING UP EASILY ACCESSIBLE IN POPULATED AREAS SHOULD INCORPORATE ALL POSSIBLE SAFETY PRECAUTIONS. STEEP SIDE SLOPES SHOULD BE AVOIDED. IT IS RECOMMENDED THAT SIDE SLOPES OF 3:1 (HORIZONTAL TO VERTICAL) OR FLATTER SHOULD BE USED WHERE THE TOPOGRAPHY PERMITS. IF THE TOPOGRAPHY WILL NOT ALLOW SUCH SLOPES THEN THE PERIMETER OF THE BASIN SHOULD BE FENCED. WARNING SIGNS AND LIFESAVING EQUIPMENT SHOULD BE AVAILABLE AT EACH STRUCTURE.

Maintenance Notes
MAINTENANCE IS NECESSARY IF DETENTION/RETENTION BASINS ARE TO CONTINUE TO FUNCTION AS ORIGINALLY DESIGNED. A LOCAL GOVERNMENT, A DESIGNATED GROUP SUCH AS A HOMEOWNERS ASSOCIATION OR SOME INDIVIDUAL MUST BE ASSIGNED RESPONSIBILITY FOR MAINTAINING THE STRUCTURES AND THE BASIN AREA. A MAINTENANCE PLAN SHOULD BE DEVELOPED THAT OUTLINES THE MAINTENANCE OPERATIONS AND A SCHEDULE FOR CARRYING OUT THE PROCEDURES.

THE FOLLOWING ARE SOME ITEMS WHICH SHOULD BE CONSIDERED IN FORMULATING A MAINTENANCE PLAN:

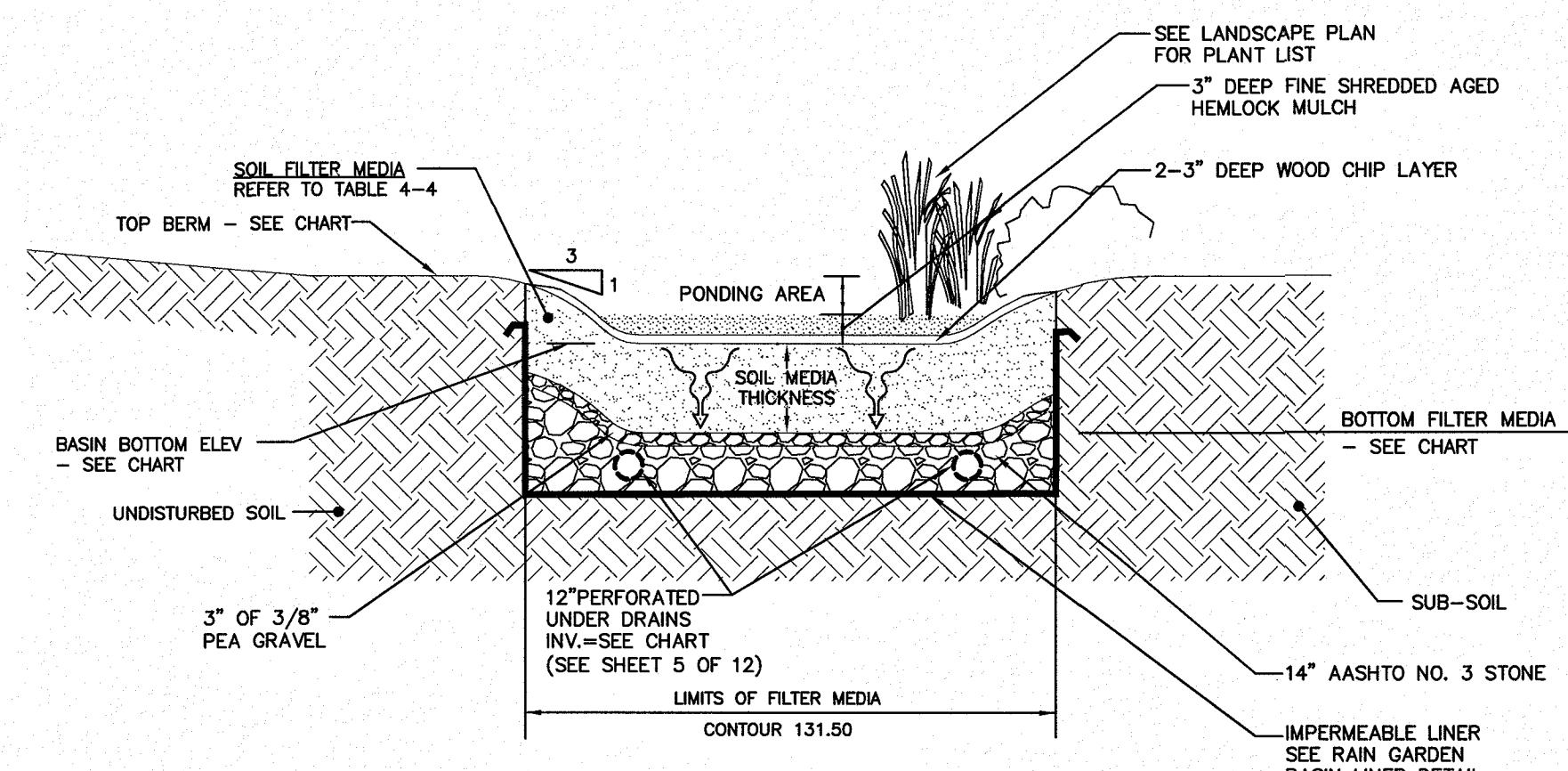
- EMBANKMENT - THE EMBANKMENT SHOULD BE INSPECTED ANNUALLY TO DETERMINE IF RODENT BURROWS, WET AREAS, OR EROSION OF THE FILL IS TAKING PLACE.
- VEGETATION - THE VEGETATED AREAS OF THE STRUCTURE SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. LIME AND FERTILIZER SHOULD BE APPLIED AS NECESSARY AS DETERMINED BY SOIL TESTS. TREES AND SHRUBS SHOULD BE KEPT OFF THE EMBANKMENT AND EMERGENCY SPILLWAY AREAS.
- INLETS - PIPE INLETS AND SPILLWAY STRUCTURES SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. ACCUMULATED DEBRIS AND SEDIMENT SHOULD BE REMOVED. IF PIPES ARE COATED, THE COATING SHOULD BE CHECKED AND REPAIRED AS NECESSARY.
- OUTLETS - PIPE OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EACH MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY. IF EROSION IS TAKING PLACE THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE AFFECTED AREA OF THE OUTLET.
- SEDIMENT - SEDIMENT SHOULD BE CONTINUALLY CHECKED IN THE BASIN. WHEN SEDIMENT ACCUMULATIONS REACH THE PREDETERMINED DESIGN ELEVATION, THEN THE SEDIMENT SHOULD BE REMOVED AND PROPERLY DISPOSED OF.
- SAFETY INSPECTIONS - ALL PERMANENT IMPOUNDMENTS SHOULD BE INSPECTED BY A QUALIFIED PROFESSIONAL ENGINEER ON A PERIODIC BASIS. IF THERE IS POTENTIAL FOR SIGNIFICANT DAMAGE OR LOSS OF LIFE DOWNSTREAM, THEN THE INSPECTION SHOULD BE CARRIED OUT ANNUALLY. THE DESIGNATED INDIVIDUAL OR GROUP SHOULD ALSO MAKE INSPECTIONS AFTER EVERY MAJOR STORM EVENT.

RIP RAP GRADATION TABLE



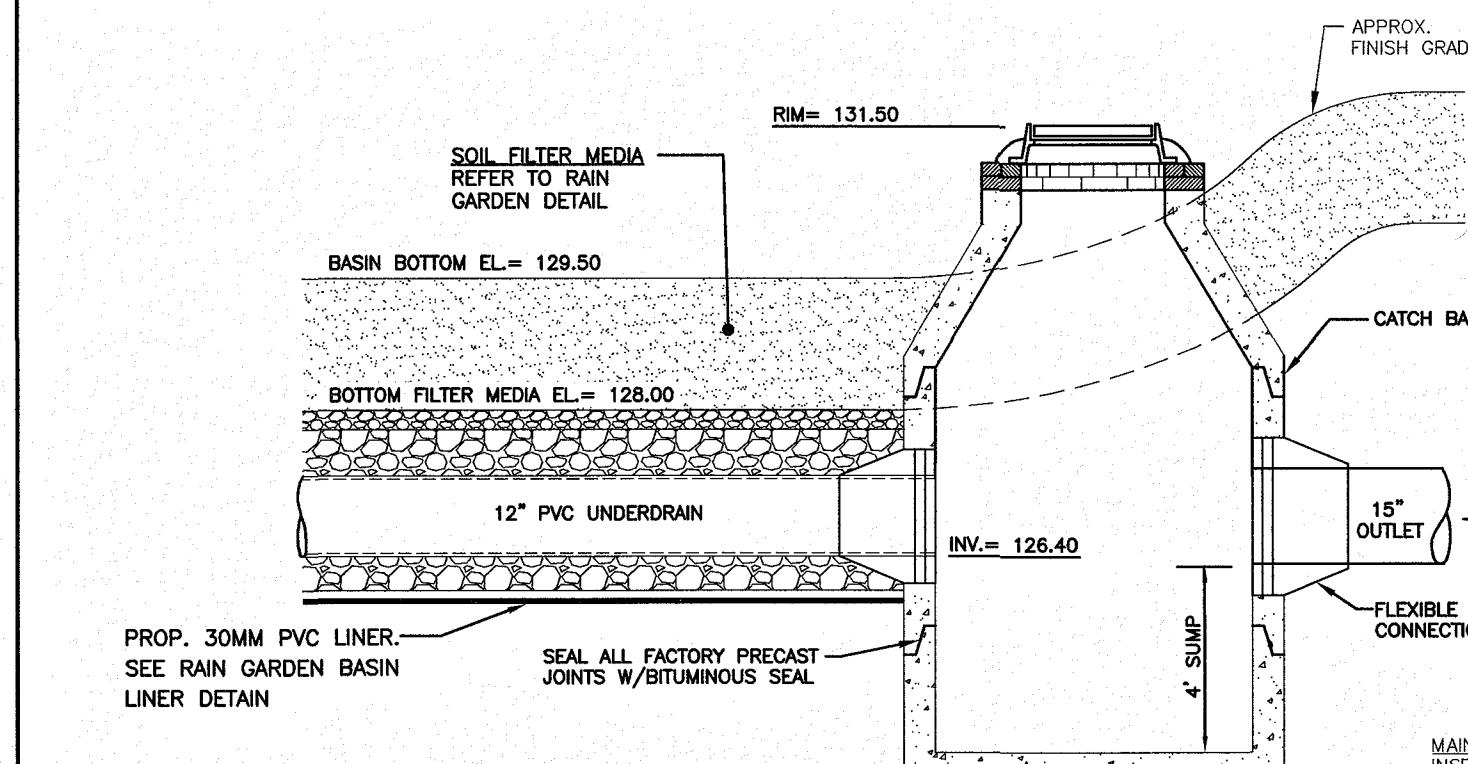
RIP RAP SLOPE DETAIL

NOT TO SCALE



SCHEMATIC RAIN GARDEN DETAIL

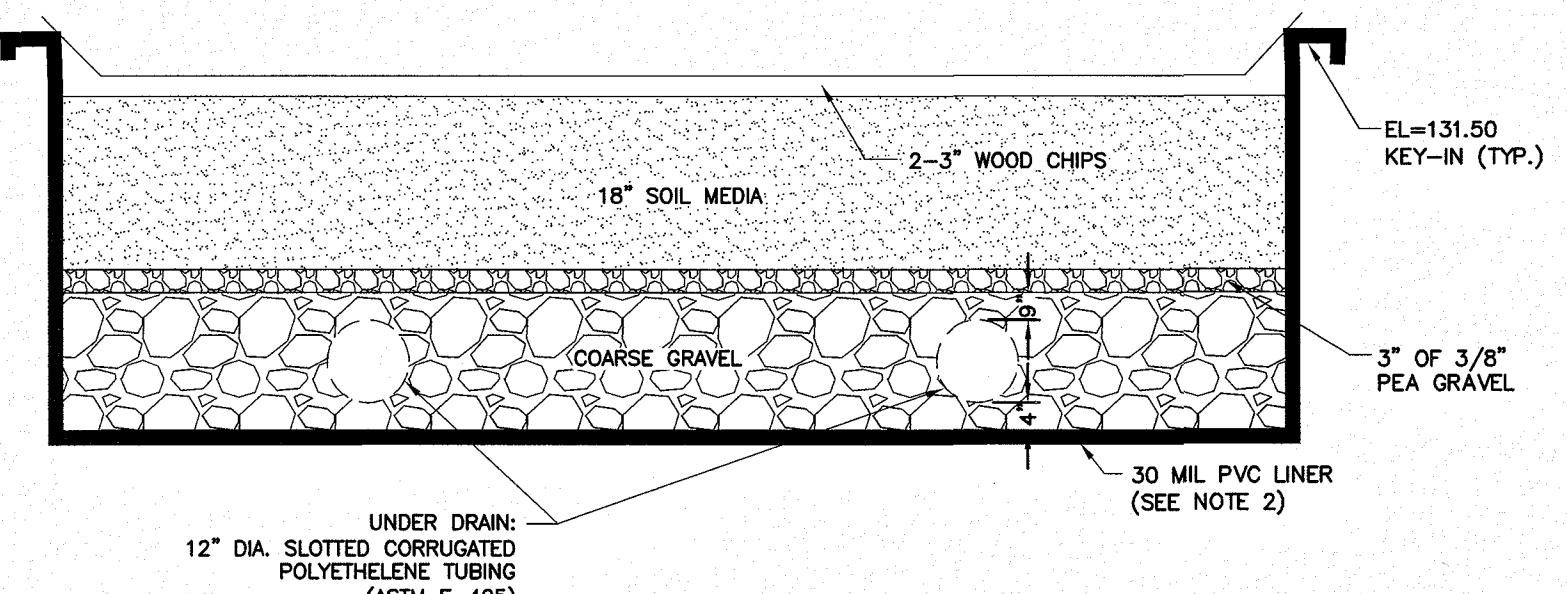
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RAIN GARDEN PROFILE AND OUTLET STRUCTURE DETAIL

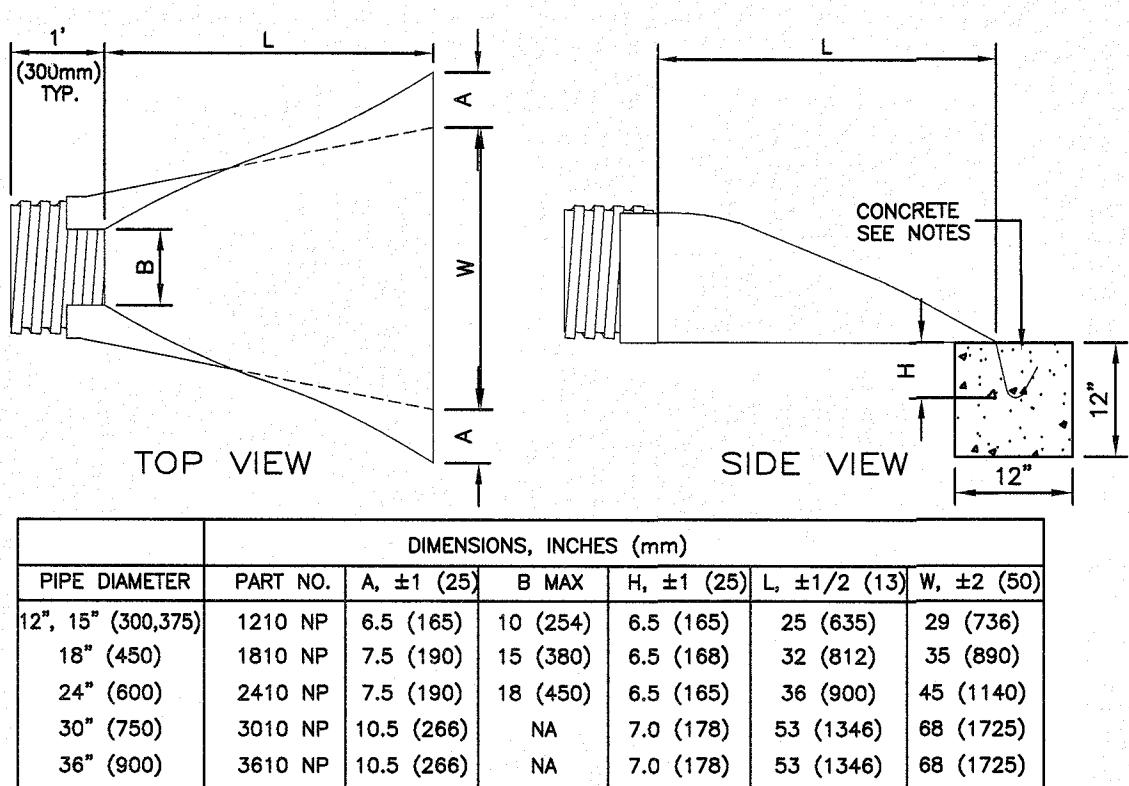
NOT TO SCALE

Maintenance Notes
INSPECT THE OUTLET STRUCTURE EVERY THREE MONTHS, AND AFTER EVERY 25-YEAR OR GREATER STORM EVENT. DURING THE FIRST YEAR OF OPERATION ALL DRAGAGE FACILITIES SHOULD BE INSPECTED AFTER EVERY STORM, AND 2-3 DAYS AFTERWARD. DURING THESE INSPECTIONS THE INSPECTOR AS DESIGNATED BY THE OWNER OR GROUP SHALL LOOK FOR EVIDENCE OF THE FOLLOWING: STRUCTURAL DAMAGE, SILT ACCUMULATION (NEAR INLET INVERTS), AND IMPROPER FUNCTION.



RAIN GARDEN BASIN LINER DETAIL

NOT TO SCALE



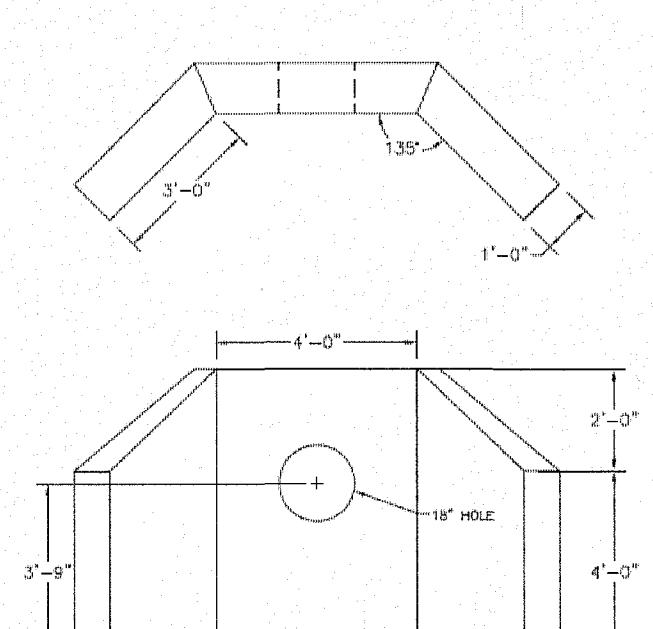
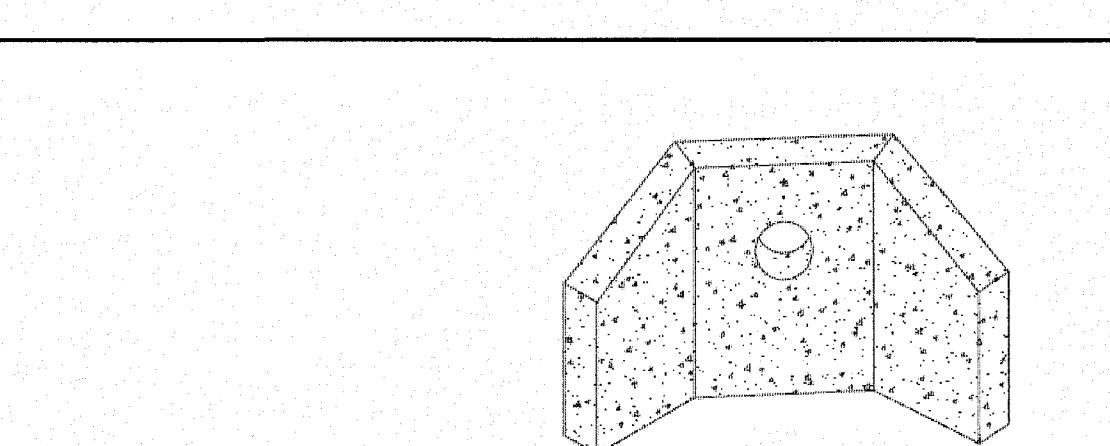
CONSTRUCTION SPECIFICATIONS:

- PREPARE BEDDING:
BACKFILL MATERIAL AROUND THE END SECTION MAY BE THE SAME AS THE MATERIAL AROUND THE PIPE. PLACE A FEW INCHES OF BACKFILL MATERIAL IN THE TRENCH OR DITCH WHERE THE END SECTION WILL BE PLACED. COMPACT AND CONTOUR THIS BEDDING MATERIAL TO GENERALLY MATCH THE END SECTION, EXCAVATE AN AREA IN THE BEDDING WHERE TOE TROUGH WILL SEAT SO THAT THE END SECTION WILL BE LEVEL WITH THE BOTTOM OF THE TRENCH OR DITCH IN THE FINISHED INSTALLATION.
- PLACE END SECTION OF PIPE:
OPEN THE END SECTION COLLAR AND SEAT IT OVER THE TWO PIPE CONNECTIONS. ONCE THE END SECTION IS SECURED, TURN THE TROUGH TO MAKE SURE THAT THE INVERT OF THE END SECTION MATCHES THE INVERT OF THE PIPE. THE END SECTION IS DESIGNED TO MAKE SURE THAT THE END SECTION IS LEVEL WITH THE TRENCH OR DITCH BOTTOM.
- SECURE THE END SECTION:
SUP THE STAINLESS STEEL ROD THROUGH THE PRE-DRILLED HOLES AT THE TOP OF THE COLLAR. THE ROD SHOULD BE BETWEEN THE CROWNS OF THE TWO PIPE CONNECTIONS. PLACE A WASHER ON EITHER END OF THE ROD. PLACE A NUT ON EITHER END OF THE ROD AND TIGHTEN WITH A WRENCH.
- SECURE THE TOE TROUGH:
TO PREVENT WASHOUTS FROM HIGH VELOCITY FLOW, IT IS RECOMMENDED THAT THE TROUGH BE SECURED WITH CONCRETE. FOUR CONCRETE IN THE TROUGH UP TO THE LEVEL OF THE TRENCH OR DITCH BOTTOM AND ALONG THE ENTIRE LENGTH OF THE TROUGH.
- FINISH BACKFILL:
SHOVEL BACKFILL AROUND THE END SECTION IN 6 TO 8 INCH LAYERS EQUALLY ON BOTH SIDES. KNUFFING IT TO ELIMINATE Voids. TAMP WITH A SMALL-FACED COMPACTOR OR OTHER EQUIPMENT SUITABLE FOR SMALL AREAS. CONTINUE PLACING, KNUFFING, AND COMPACTING BACKFILL LAYERS TO THE TOP OF THE END SECTION TO SEAT IT WELL INTO THE BACKFILL.

FLARED END SECTION

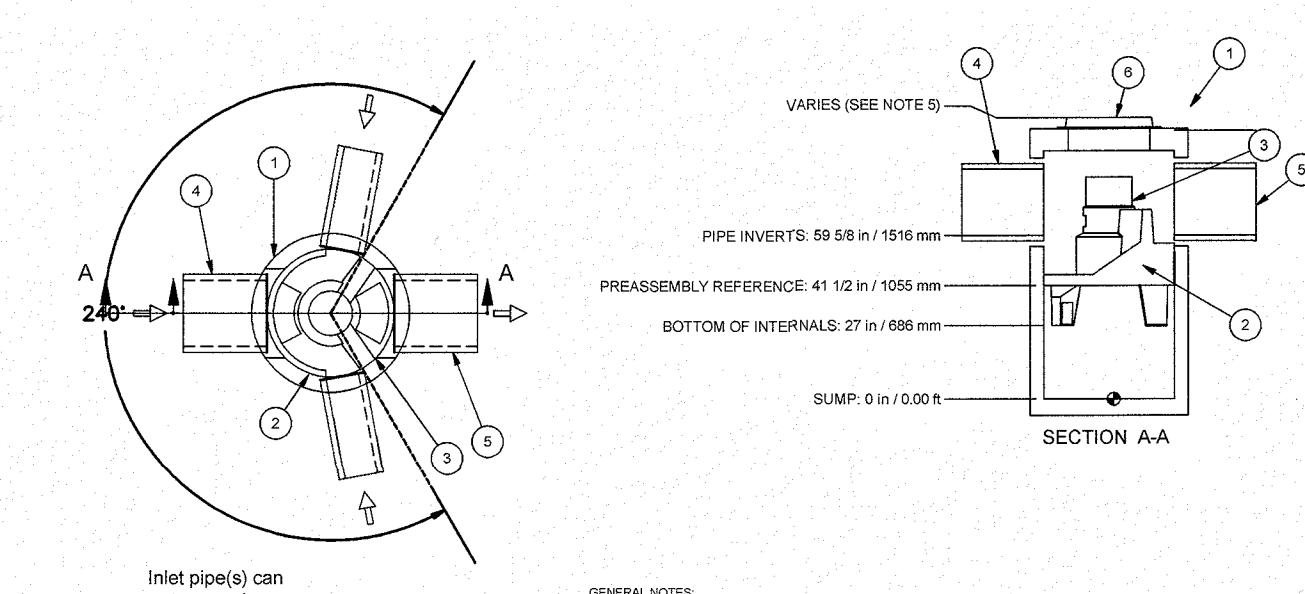
HIGH DENSITY POLYETHYLENE (HDPE)

NOT TO SCALE



HEADWALL DETAIL

NOT TO SCALE



FIRST DEFENSE UNIT DETAIL - FD-4HC (DMH-1)

(OR APPROVED EQUAL)
NOT TO SCALE

NOTE: CONTRACTOR SHOULD CONFIRM SYSTEM PARTS AND OBTAIN SHOP DRAWINGS FROM MANUFACTURER PRIOR TO CONSTRUCTION.

ITEM	SIZE (in)	DESCRIPTION
1	48	1D PRECAST MANHOLE
2		LEDGER SUPPORT
3		SEWER PIPE (ASME)
4	12	PIPE INLET (BY OTHERS)
5	15	OUTLET PIPE (BY OTHERS)
6	30	FRAME AND COVER (OR GRATE) (ROUND)

GENERAL NOTES:
1. GENERAL ARRANGEMENT DRAWINGS ONLY. CONTACT HYDRO INTERNATIONAL FOR SITE SPECIFIC FABRICATION DRAWINGS.
2. MAX. INLET & OUTLET PIPE MAY BE NO MORE THAN 24".
3. MULTIPLE INLET PIPES POSSIBLE (REFER TO PROJECT PLANS).
4. MAX. PIPE DIAMETER IS 15" (300MM).
5. MAX. DIA. ROD AND UNIFORM GROUT LENGTH IS AVAILABLE CODER AND PIPE DIAMETER.
6. LARGER SEDIMENT STORAGE CAPACITY MAY BE PROVIDED WITH A DEEPER SUMP DEPTH.

PIPE SPECIFICATIONS:
A. THE TREATMENT SYSTEM SHALL USE AN INDUCTION VERTIC TO SEPARATE POLLUTANTS FROM STORMWATER.
B. THE TREATMENT SYSTEM SHALL FIT WITHIN THE LIMITS OF ELEVATION (AREA) AND DEPTH AS SHOWN IN THE PLANS.
C. THE TREATMENT SYSTEM SHALL REMOVE GREATER THAN OR EQUAL TO 90% OF TSS BASED ON THE TARGET CFS AND 1.2 CFS, RESPECTIVELY.
D. THE TREATMENT SYSTEM SHALL CONVEY THE PEAK ON-LINE FLOW RATES OF UP TO 18 CFS WITHOUT CAUSING UPSTREAM SURFACE CONDUITING. FULL-SCALE INDEPENDENT LABORATORY COLOR TESTING OF 2000 GPM TREATMENT SYSTEM SHALL BE CAPABLE OF CAPTURING AND RETAINING FINE SILT AND SAND SIZE PARTICLES. ANALYSIS OF CAPTURED SEDIMENT FROM FULL-SCALE FIELD INSTALLATIONS SHALL DEMONSTRATE

- THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP-RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN IN THE PLANS.
- THE COARSE GRAVEL USED FOR FILTER OR RIP-RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
- GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP-RAP. DAMAGED AREAS OF THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY REINFORCING THE AREA WITH AN ADDITIONAL PIECE OF FABRIC. THE REPAIRS SHALL BE MADE WITH A MINIMUM OF 12 INCHES.
- STONE FOR THE RIP-RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE LAYER.
- THE MEDIAN STONE DIAMETER FOR THE RIP-RAP APRON IS 50. FIFTY PERCENT BY WEIGHT OF THE RIP-RAP MIXTURE SHALL BE SMALLER THAN THE MEDIAN STONE SIZE. THE LARGEST STONE SIZE IN THE MIXTURE SHALL BE 1.5 d50.

OUTLET PROTECTION-FLAT DETAIL

1	DELETE RIP-RAP SLOPE DETAIL	DRJ	11/28/18
2	UPDATE TITLE BLOCK, REV. RAIN GARDEN & DRIP EDGE DETAIL, ADD RIP RAP SLOPE DETAIL	DRJ	11/6/18
1	MISC. REVISIONS	GMP	9/12/18
NO.	NOT TO SCALE	DESCRIPTION	BY DATE
		REVISIONS	

CONSTRUCTION DETAILS

TUSCAN VILLAGE MAINTENANCE OPERATIONS CENTER SALEM PROPERTY MAP 98 - LOT 7887

PROPERTY ADDRESS - 71 ROCKINGHAM PARK BOULEVARD

PREPARED FOR:
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DATE: SEPTEMBER 4, 2018

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
DRJ	SJB/DRJ	4040 V.S.-DET.DWG	404016	12 OF 12

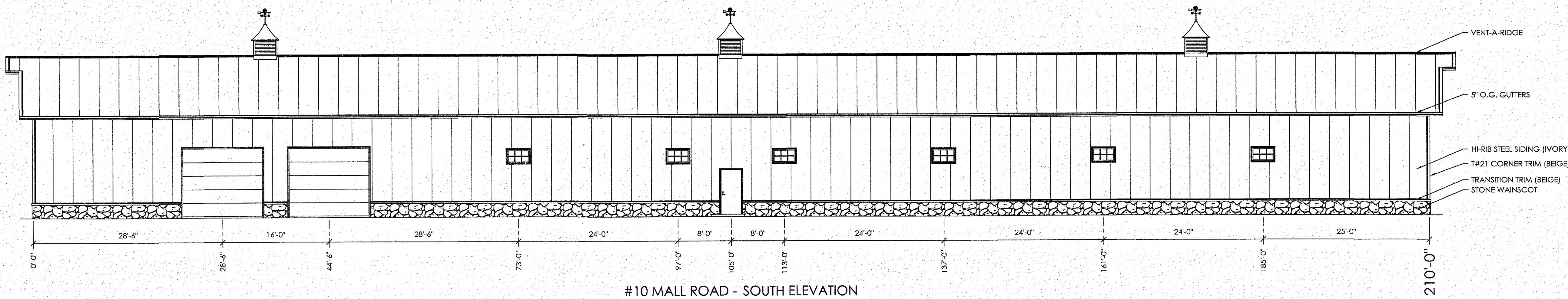
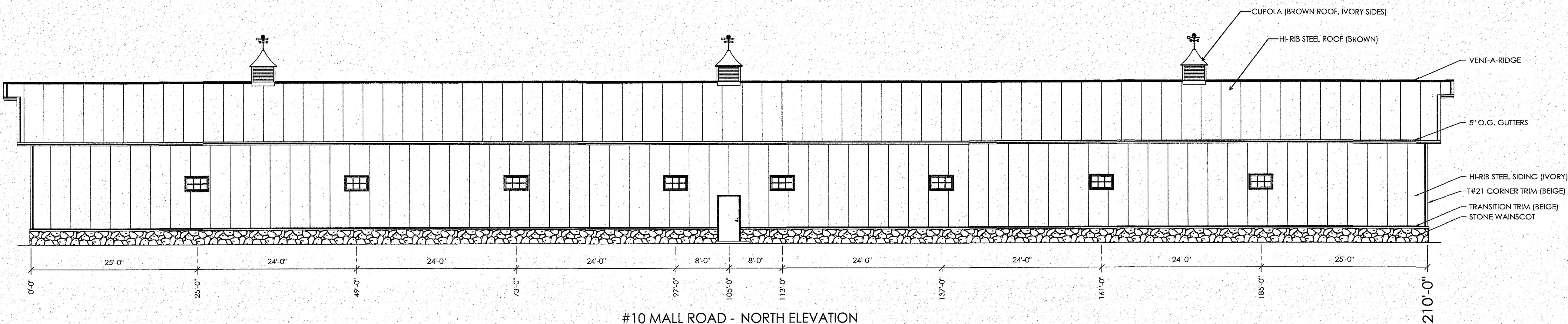


309-266-7474

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ARCHITECTURAL BUILDERS OF HEMSTEAD, INC - PROPOSED CUSTOM WAREHOUSE



PRELIMINARY DRAWING
FOR OWNER'S APPROVAL

- DRAWING APPROVED AS SUBMITTED
- DRAWING APPROVED PENDING CHANGES NOTED
- REVISE DRAWING WITH NOTED CHANGES AND RESUBMIT

OWNERS SIGNATURE _____ DATE _____

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MORTON BUILDINGS, INC.

DRAWN BY:	J. HASSE
DATE:	10/16/2017
CHECKED BY:	---
DATE:	---
REVISED DATE:	10/17/2017
REVISED DATE:	10/19/2017
REVISED DATE:	02/09/2018
REVISED DATE:	---

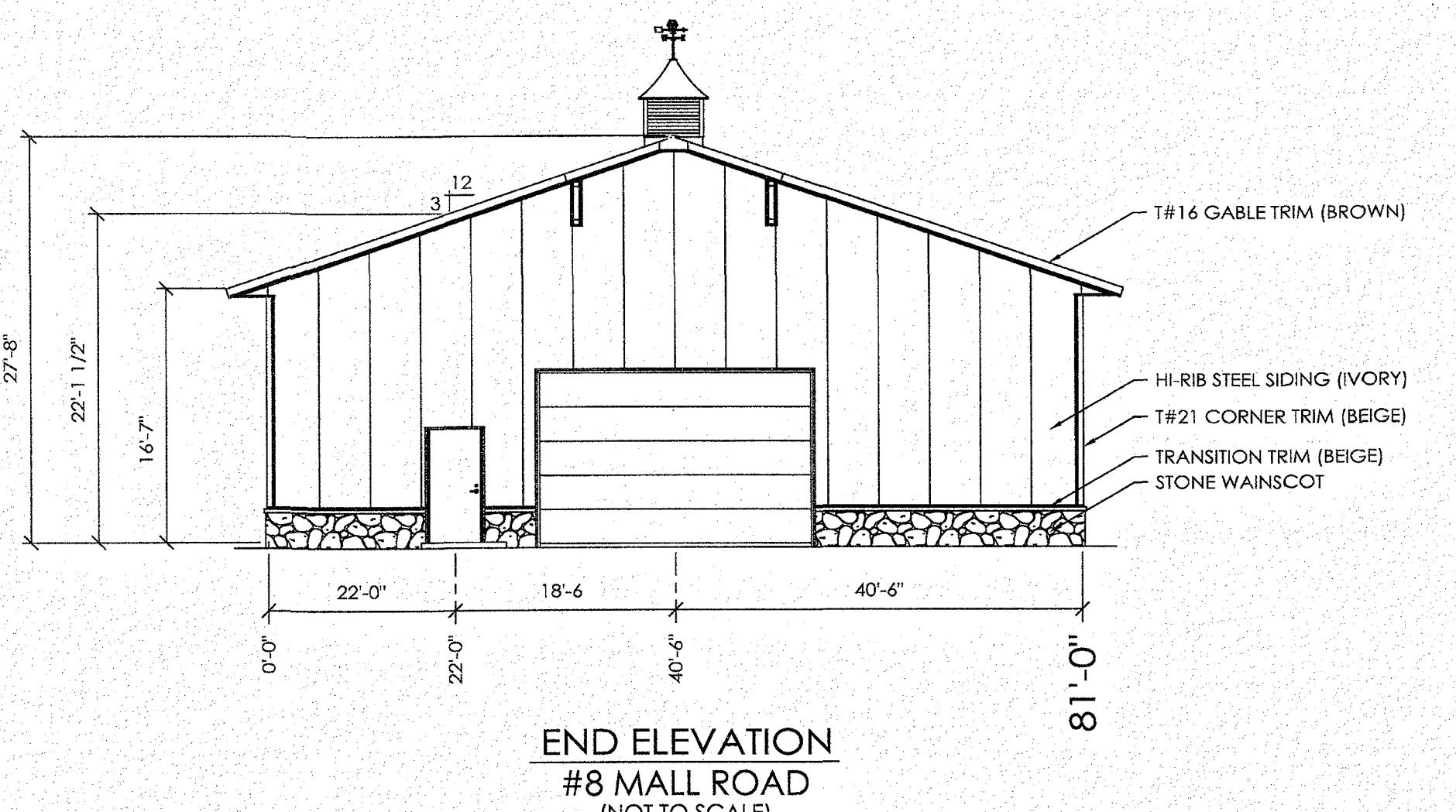
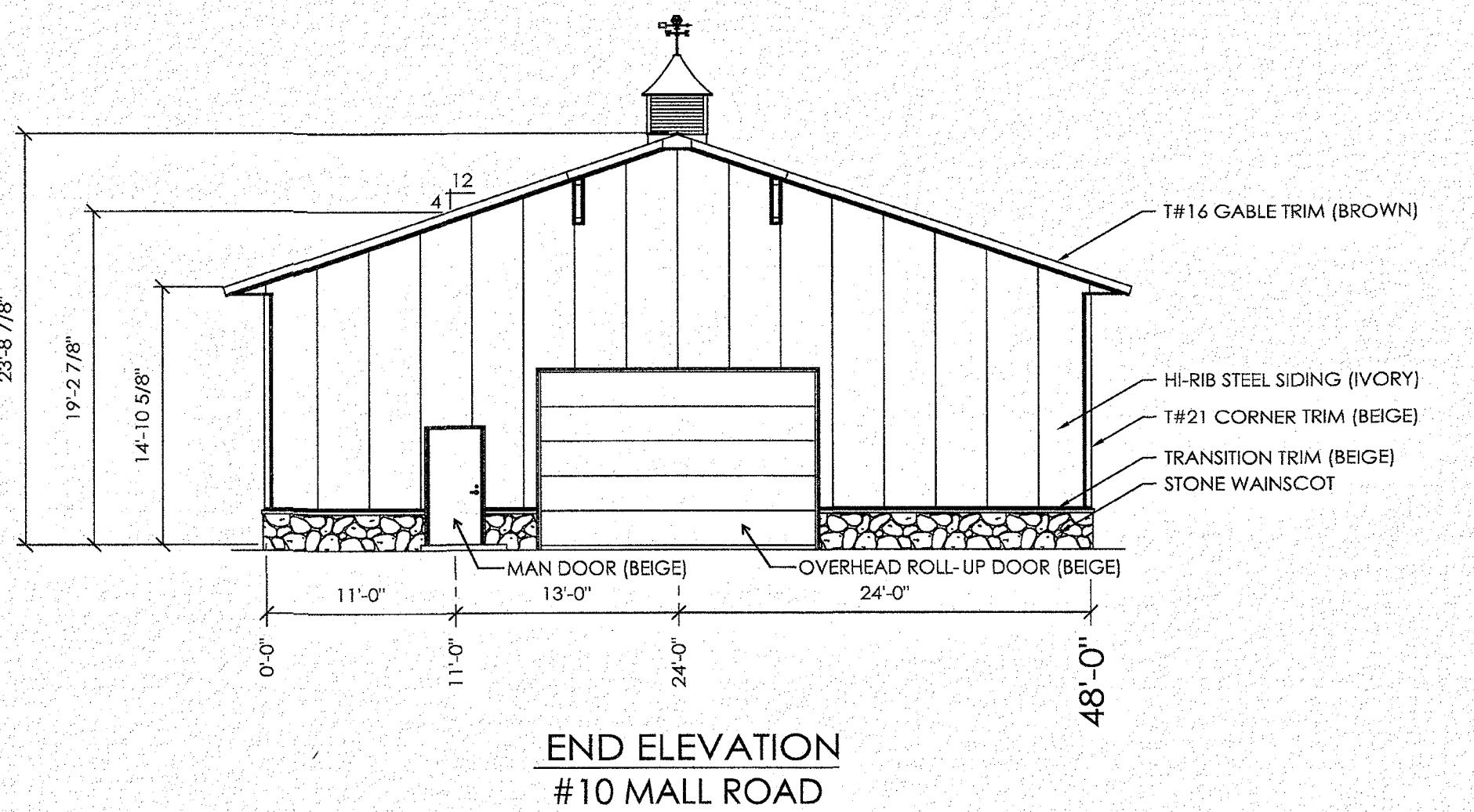




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ARCHITECTURAL BUILDERS OF HEMPSTEAD, INC. - PROPOSED CUSTOM WAREHOUSE



DRAWN BY: J. HASSE
DATE: 10/16/2017
CHECKED BY: ---
DATE: ---
REVISED DATE: 10/17/2017
REVISED DATE: 10/19/2017
REVISED DATE: 02/09/2018
REVISED DATE: ---

SCALE: 2' 8'
1' 4' 16'

PRELIMINARY DRAWING
FOR OWNER'S APPROVAL

- DRAWING APPROVED AS SUBMITTED
 - DRAWING APPROVED PENDING CHANGES NOTED
 - REVISE DRAWING WITH NOTED CHANGES AND RESUBMIT

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