

1. CC Agenda

Documents:

[CC 1-7-26 AGENDA.PDF](#)

2. CC Draft Minutes

Documents:

[CC-12-3-25 DRAFT MINUTES.PDF](#)

3. 44 Pelham Rd - Conditional Use Permit

Documents:

[A - 44 PELHAM RD - CUP LETTER DATED 10-20-25.PDF](#)

[B - 44 PELHAM RD - EXCERPTED SITE PLAN PAGES 3,6,8,15 FOR CUP.PDF](#)

[C - 44 PELHAM RD - CO2 TANK INFORMATION SHEET.PDF](#)

[D - 44 PELHAM RD - FULL SUBMITTED PLAN SET.PDF](#)

4. Hunting And Baiting On Town Land Policy

Documents:

[HUNTING AND BATING ON TOWN LAND - ADOPTED APRIL 21, 2025.PDF](#)

5. 2026 Land Use Calendar

Documents:

[2026 LAND USE CALENDAR.PDF](#)

6. Town Forest Trail Map Suggestions And Update

Documents:

[A - TOWN FOREST MAP 2025-09 CLOSED TRAILS3.PDF](#)

[B - SUGGESTIONS FOR TF TRAIL-MAP CHANGES.PDF](#)

7. CC Fund

Documents:

[CC FUND - NOV 2025.PDF](#)



TOWN OF SALEM, NEW HAMPSHIRE

33 GEREMONTY DRIVE, SALEM, NH 03079

(603) 890-2086

Community Development Department

CONSERVATION COMMISSION AGENDA FOR JANUARY 7, 2026 – 5:00 PM

Knightly Meeting Room, Salem Town Hall (33 Geremonty Drive Salem, NH 03079)

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL:

_____ Georgia Brust, Chair	_____ Ruth Tanner Isaks
_____ Caitlin Fitzpatrick, Vice-Chair	_____ Alan Lord
_____ Claire Karibian, Secretary	_____ Claudia DeFuria
_____ Keith Stramaglia, Town Council Representative	_____ Glen Edwards, Alt.
_____ Sean Lewis, Alt.	_____ Lorie Ball, Alt.
_____ Glenn Reynolds, Alt.	_____ Corinne Gordon, Alt.

REVIEW OF MINUTES

1. December 3, 2025 Minutes

OLD BUSINESS

2. **44 Pelham Road, GPI / Suraj Realty** – Continued discussion on Conditional Use Permit requesting the construction of a concrete pad and 50-ton CO2 tank within 28' of a wetland where 40' is required

NEW BUSINESS

3. Discussion of Site Walk Times
4. Baiting and Hunting on Town Land Policy
 - a. Discussion of Commission's preference of recommending baiting on conservation land
5. Rain Barrel Program
6. 2026 Land Use Calendar

WORK SESSION

7. Town Forest Trail Map Suggestions and Update

OTHER COMMISSION BUSINESS

8. Recreation Coordinator Update
9. Conservation Fund Report
10. Town Forest
11. Conservation Commission Goals
12. Other
 - a. Schedule Special Non-Public Session with Chris Goodnow
 - b. Update on Open Space Master Plan and Bylaws

UNSCHEDULED COMMISSION MATTERS:

Please note unscheduled matters are limited to a 15-minute discussion.

.....

No site walks scheduled for this month's meeting.

**MINUTES OF THE
CONSERVATION COMMISSION
MEETING DECEMBER 3, 2025**

A meeting of the Conservation Commission was held on December 3, 2025, in the CD Conference Meeting Room in Town Hall.

MEMBERS PRESENT:

<input checked="" type="checkbox"/> Georgia Brust, Chair	<input checked="" type="checkbox"/> Ruth Tanner Isaks
<input type="checkbox"/> Caitlin Fitzpatrick, Vice-Chair	<input checked="" type="checkbox"/> Alan Lord
<input type="checkbox"/> Claire Karibian, Secretary	<input checked="" type="checkbox"/> Claudia DeFuria
<input checked="" type="checkbox"/> Keith Stramaglia, Town Council Representative	<input type="checkbox"/> Glen Edwards, Alt.
<input type="checkbox"/> Lorie Ball, Alt.	<input type="checkbox"/> Sean Lewis, Alt.

Also Present: Crayton Brubaker, Community Development Program Manager, Julie Isabelle Recreation Coordinator

The meeting was called to order at 5:04 pm. Ms. Brust introduced the commission members.

REVIEW OF MINUTES

1. November 5, 2025 Minutes

Motion: Mr. Lord made a motion to approve the minutes.

Second: This was seconded by Mr. Stramaglia.

Vote: 4-0; motion passed unanimously.

NEW BUSINESS

2. 365 North Main Street – Review of NHDES Wetlands Permit by Notification (PBN) for replacement of existing legal retaining wall

a. Wetlands PBN review and Conservation Commission signature

Mr. Brubaker said the applicant is not here, but this is for a NHDES wetlands permit by notification. This is for the replacement of an existing retaining wall. Mr. Brubaker showed some pictures of the existing condition of the wall. Mr. Brubaker said it is just to rebuild the existing wall in the same location and use the same materials. He said it is 68 feet by 5 feet.

The Commission said they did not have any problems with this.

Public Participation

Mr. Hawkins was present. He said it looked like the stones were cemented and asked what the disposal would be.

Mr. Brubaker said he did not know, and they can include that as a comment.

Mr. Stramaglia made a motion to approve this with proper disposal.

Second: Ms. DeFuria seconded the motion.

Vote: 4-0; motion passed unanimously.

WORK SESSION**3. Open Space Master Plan Presentation, Review and Discussion**

Ms. Brust said there was no one available to make the presentation. She asked if everyone looked it over and if they had any comments.

Mr. Brubaker said he was hoping for more narrative. He said the idea was to update the current open space plan. He said they did a good job compiling data and visualization maps. He said he thinks they need to beef up the narrative section. He said they should look at the 2010 plan. He said it does not draw any conclusions or recommendations.

Mr. Stramaglia said he would like to see ways to preserve green space.

Ms. Brust said she was looking for areas to have pocket parks.

Mr. Brubaker said they will give the Commission an updated parcel list. He said a good thing to describe in the narrative would be protection as far as easements. He said he sees this as multiple meetings, and they will prepare some revisions.

Mr. Lord said the maps are great, but there are no write-ups that go with them.

Ms. Brust said the public would not know why they came up with that map.

Mr. Lord said they should have the map and a discussion.

Mr. Brubaker said this is not finished but when it is done to the satisfaction of the Commission and it is adopted, he was going to bring it to the Planning Board and the Town Council.

Mr. Brubaker said he sees it as a natural resource inventory the way it is now.

Mr. Hawkins said the maps are not descriptive. He said he cannot make heads or tails of it.

Mr. Lord asked what the story map was.

Ms. Brust said she created a story map with different wildlife facts. She said it is a wildlife corridor like fish and game. She said it is an interactive map and you can upload photos.

Mr. Brubaker showed everyone how to access the storyboard.

There was discussion about the loss of green and open space and not having enough hiking trails.

Ms. Brust asked for an overlay of some maps. She said they should promote the story map.

4. CC Bylaws Update Initial Review

Mr. Brubaker presented the memo he wrote regarding the proposed bylaws changes. He said he changed the start time to 5 pm. He also added an unexcused absence policy.

Mr. Lord said the policy must be changed because it says for more than 50% of meetings, but it does not say a timeframe.

Mr. Brubaker said that it does say the member shall forfeit their position for 50% or more absences in the calendar year.

There was discussion about if this should be for no call no shows or for notifications as well.

Ms. Brust said they should take out unexcused and use the word absence only.

Mr. Brubaker said this would not include alternates.

Mr. Stramaglia said they should put something in about if alternates are called, and they do not show up they should be cut.

There was discussion about how this would affect Glen if they added this for the alternates.

Ms. DeFuria said there are no clear expectations for alternates.

The Commission explained how alternates worked.

Mr. Lord said he does not see how they can do 50% if they are not required to attend.

Mr. Hawkins said putting the requirements might draw people away from the position.

Ms. Brust said she does not think that an alternate should be turned away because they cannot attend all the meetings.

1 Ms. Brust asked if it could be up to the chair to remove alternates.

2 Mr. Stramaglia said they might be up to the Town Council since they appointed them.

3 There was discussion about the wording of the alternate attendance.

4
5 *Ms. Isaks joined the meeting at 5:41 pm.*

6
7 Mr. Brubaker said there are changes to the ethics portion. He said they removed the municipal
8 code, and they now have the charter. He removed those references. He said in section 6.9 he
9 added that members that are abstaining must state a reason why.

10 Ms. Isaks asked what the purpose for that was.

11 Mr. Stramaglia said the charter says you cannot abstain from any vote just to abstain and that you
12 must give a reason.

13 Ms. Isaks said it is getting into why people are voting a certain way.

14 Ms. Isaks said she does not see why it is not ok to abstain.

15 Mr. Hawkins said when he served on a Board, they had three options – yes, no, and abstain.

16 Mr. Brubaker said it looks like it is just for the Town Council.

17 Mr. Brubaker said they have to keep a list of all nonpublic session notes and whether they are
18 sealed or not. He said he created that, and he is putting that in to make it formal.

19 In section 7, he changed the timelines for wetlands permits and conditional use permits to align
20 with their calendar. He said the application due dates are 14 days before the meeting. He said for
21 conditional use permits they need to meet with himself or Mr. LaFontaine. He said the wetlands
22 permit language says it may require a meeting.

23 Mr. Brubaker said he removed section 7.7. He said the applicant has never notified abutters of
24 site walks. He said he renumbered the articles as well.

25 Ms. Brust asked if they wanted to keep the site walks at a different time, or do they wanted to
26 make them more required.

27 Mr. Lord said Saturday in the morning is better for him.

28 Ms. Brust said they will add site walks to the next agenda.

29 30 **OTHER COMMISSION BUSINESS**

31 **5. Recreation Coordinator Update**

32 Ms. Isabelle said in November she met with the JROTC. They did a lot of work cutting back the
33 buckthorn at William Valentine Park. They thanked them for the work. She said they are
34 interested in more volunteer work.

35 Ms. Isabelle said there was a plan to take the seniors for a walk, but they did not go because there
36 was snow. They are going to reschedule. There were 6-7 seniors that signed up. She also had a
37 zoom info session with the compost bin company. That program would not work. She is getting
38 information about the rain barrel program. She also met with the DPW about the island adoption
39 program. They are going to be working on a pilot program to bring back to the DPW.

40 Ms. Brust said they have to look into if they are planters.

41 Ms. Isabelle said there are some restrictions on what they can put there. She said the idea is that
42 clubs will maintain the islands and there will be a sign.

43 Ms. Brust said this should go on for January when there is a better plan.

44 Ms. Brust said if they use Conservation funds, it has to have a conservation purpose.

45 46 **6. Conservation Fund Report**

1 Mr. Brubaker said they got \$6,500 in interest. They also paid the deposit for the new kiosks. The
2 total of the funds right now is \$1.97 million.

3
4 a. \$500 – Send It Tree Services – Extra Tree Removal in Town Forest

5 Mr. Brubaker said there was a tree that split in half in the middle of the trail. They had this
6 cleaned up, and there is a \$500 invoice for that removal.

7
8 ***Motion: Mr. Lord made a motion to spend \$500 from the Conservation Commission fund for***
9 ***the work that was completed for the trail clean up by Send It Tree Service.***

10 ***Second: This was seconded by Mr. Stramaglia.***

11 ***Vote: 5-0; motion passed unanimously.***

12
13 b. \$144.96 – Town of Salem – Disposal of Old Kiosks

14 Mr. Brubaker said the DPW asked them to pay for the disposal of the kiosks.

15
16 ***Motion: Mr. Lord made a motion to spend \$144.96 from the Conservation Commission fund***
17 ***for the removal of the kiosks.***

18 ***Second: This was seconded by Mr. Stramaglia.***

19 ***Vote: 5-0; motion passed unanimously.***

20
21 **7. Town Forest**

22 Mr. Brubaker said Glen did not submit an update for December.

23 Ms. DeFuria said there is 1 tree left on L where the trail is closed. She said that people have been
24 asking her if they can plant new trees because people are concerned that they only see trees
25 removed.

26
27 a. Possible Boy Scout Project – Town Forest Signage

28 Ross Tremblay, a boy scout, was present for the meeting. The Commission members introduced
29 themselves. Ms. Isabelle said he is here to pursue a project in the Town Forest. She said in
30 August he removed the old signage from the Town forest. He is here to talk about a proposal for
31 the new project.

32 Ross said the plan is to continue removing more signage. He said there were 4 of them that went
33 out. They removed 14 signs in the first half of the forest. He said this time there will be 15 scouts
34 going out. He will be having fundraisers during the winter. The fundraisers are to build new
35 signs and install them. He said they are little plaques. He said some of the older signs were
36 cemented into the ground. He said he does not know if they want that to happen. He said they
37 would be wooden signs stuck into the ground. He said he would like to replace the signs and to
38 spread them out throughout the forest.

39 Mr. Lord asked how the wet areas will impact this.

40 Ms. Brust said these are the dry areas.

41 Ms. Brust told Ross that Trail F is very wet, and they are considering not using that trail
42 anymore, so it will not need a sign.

43 Ross said he was thinking about a car wash and a bake sale for a fundraiser.

44 Ms. Brust asked what the Commission could do to help with the project.

45 Ross said the information for the signs would be very helpful.

46 Mr. Lord asked if they are allowed to put pressure treated wood into the ground.

1 Ms. Isabelle said she can send pictures to SELT.
2 Ms. Brust explained SELT and said they would get their permission.
3 Mr. Hawkins said they could use marine posts or sleeves.
4 Ross will come back to the January meeting when there is more of a plan, and he knows what his
5 fundraiser will be.
6 Mr. Hawkins will do some research with the environmental department.
7 Ms. Brust said Fish and Game and UNH Extension have a lot of information.
8 Mr. Lord asked if he could make a map with the map placement and where they are located.
9 Ms. Brust asked him to bring the information that he is going to put on the sign before he prints
10 the signs.
11 The Commission thanked Ross for coming,
12

13 **8. Other**

14 a. Tuscan Village / Salem Rail Trail – Local Concerns Meeting Wednesday, Dec 17 at
15 6pm – Salem Town Hall, Knightly Room
16

17 Mr. Brubaker said there is a public meeting for the local concerns for the rail trail phases 4 and 5.
18 This is part of a grant. The project is for the length of rail trail from Main Street to Rockingham
19 Park Boulevard. He said there are several wetlands to the west side of the rail trail. He said they
20 are going to pave this between the electric poles. For the Conservation Commission, he wanted
21 to give the notice they are having the meeting.
22 Ms. Brust said they should have some plantings between the pavement and the wetlands.
23

24 **UNSCHEDULED COMMISSION MATTERS:**

25 Mr. Brubaker said the number of alternates was out of sync when they completed the charter.
26 The council approved a charter amendment to fix that at their meeting on December 1. The other
27 thing that was discussed last night was the potential change to the land use change tax. The
28 Commission currently receives 100% of that and they are proposing to change that to the
29 Commission receive 50% and the general fund get 50%.
30 Mr. Stramaglia said they have a public portion, and they can come and speak.
31 Mr. Brubaker said they saw the fund's balance, and they are interested in moving future funds to
32 the general funds.
33 Ms. Isaks said they have not purchased anything recently and when they do, the fund will be
34 significantly lower.
35

36 Mr. Brubaker said the kiosks are not installed. They did not make the deadline. He said they
37 were going to install them on December 16, but it has snowed. He said now he was going to do a
38 mini excavator. He asked what time timeline was. He said the options are to ask him to try on
39 December 16 or we can wait until the spring.
40 The Commission said they should take the safe route and wait until Spring.
41 Ms. Isabelle said she was asked for a QR code and paper with some Town Forest information.
42 She is going to put that up soon.
43

44 **NON-PUBLIC SESSION**

45 **MOTION BY: Keith Stramaglia**

46 *To enter non-public session under RSA 91-A:3, II(d)*

1 **SECOND BY: Claudia DeFuria**

2 **ROLL CALL VOTE:**

3 **GEORGIA BRUST – YES**

4 **CLAUDIA DEFURIA – YES**

5 **ALAN LORD – YES**

6 **RUTH TANNER ISAKS – YES**

7 **KEITH STRAMAGLIA – YES**

8 **VOTE: 5-0**

9 **The motion passed unanimously.**

10
11 *The meeting entered non-public session at 6:53 pm.*

12
13 *The meeting entered public session again at 7:35 pm.*

14
15 **MOTION BY: Georgia Brust**

16 *To seal the minutes of the 12-5-25 Conservation Commission non-public session because it is*
17 *determined that divulgence of this information likely would render a proposed action*
18 *ineffective.*

19 **SECOND BY: Keith Stramaglia**

20 **ROLL CALL VOTE:**

21 **GEORGIA BRUST – YES**

22 **CLAUDIA DEFURIA – YES**

23 **ALAN LORD – YES**

24 **RUTH TANNER ISAKS – YES**

25 **KEITH STRAMAGLIA – YES**

26 **VOTE: 5-0**

27 **The motion passed unanimously.**

28
29 **UNSCHEDULED COMMISSION MATTERS (continued):**

30 The Commission discussed the possible LUCT warrant article that was presented at the
31 December 1 Town Council meeting. The Commission asked for information as to how much
32 money the Conservation fund has received from LUCT.

33
34 **MOTION BY: Keith Stramaglia**

35 *Motion that the Chair writes a memo to the Town Council recommending against the idea of a*
36 *50/50 split of the LUCT.*

37 **SECOND BY: Alan Lord**

38 **VOTE: 5-0**

39 **The motion passed unanimously.**

40
41 **MOTION BY: Alan Lord**

42 *Motion to request to the Town Manager to have a non-public session with the Town Council*
43 *regarding the LUCT.*

44 **SECOND BY: Claudia DeFuria**

45 **VOTE: 5-0**

46 **The motion passed unanimously.**

- 1
2 **MOTION BY: Keith Stramaglia**
3 *Motion to adjourn at 8:05 pm.*
4 **SECOND BY: Claudia DeFuria**
5 **VOTE: 5-0**
6 **The motion passed unanimously.**
7
8 **Adjournment at 8:05 PM.**
9
10 Minutes by: Jennifer Hernandez, Recording Secretary; Crayton Brubaker, Community
11 Development Program Manager

October 20, 2025

Salem Planning Board
33 Geremonty Drive
Salem, NH 03079

SUBJECT: Site Plan Application & Conditional Use Permit Request
44 Pelham Road
Map 96, Lot 7775

Dear Members of the Salem Planning Board,

Greenman-Pedersen, Inc. (GPI), on behalf of the owner, Suraj Realty LLC, is pleased to submit this Amended Site Plan application along with supporting materials relating to the property located at 44 Pelham Road. The project was previously approved by the Planning Board on September 26, 2023.

The purpose of this proposal is to update the previously approved phasing plan. The originally approved phasing plan included the existing building as part of Phase 1. The owners would like to occupy the building prior to completion of Phase 1 so the updated Phasing Plan breaks up Phase 1 into Phase 1A and Phase 1B. The new Phase 1A includes construction of the first 250' of driveway in order for the large tractor trailers to access the existing building. Phase 1A also includes the installation of drainage infrastructure within this area. Phase 1B includes the remainder of the site, including the rest of the driveway, the upper trailer storage area, and the underground stormwater systems.

We have filed an application with the Zoning Board of Adjustment for the proposed use of the existing building. The previously approved plans indicated the building would be a combination of office space and warehouse space. A variance was previously granted for this use in September 2022. The updated plan shows the building will be a combination of dry ice manufacturing, trailer maintenance, and office space.

The owner is also proposing to construct a 50-ton CO2 tank adjacent to the existing building for their proposed dry ice manufacturing use. The tank will be located on a concrete pad. We are also hereby requesting a Conditional Use Permit from the Salem Planning Board to allow construction of the concrete pad within 28 feet of a wetland where 40 feet is required by the Salem Zoning Ordinance, Sections 490-706.E(4).

This request is formatted in accordance with the provisions of the Salem Zoning Ordinance, section 490-706.I. The required criteria are printed below in **bold text**. Our response is printed beneath the criteria:

a. The modification complies with the purposes and intent of this section noted in Subsection A.

The requested modification complies with the purpose and intent of Section 490-706.A as follows:

1. This proposed work will not result in any changes to the natural wetland and will not result in increased flooding.
 2. This proposal will not result in any damage to water supplies and existing aquifers and aquifer recharge areas.
 3. Site construction practices will prevent pollution of surface water or groundwater during construction and a Stormwater Operations and Maintenance Manual has been prepared to protect those same resources over the long term.
 4. The encroachment into the 40' buffer by a portion of the new concrete pad will not destroy or significantly change the ability of the wetland to provide filtration of the water flowing to the existing drainage network.
 5. This proposal will not create any expense for the Town, nor will it adversely impact the Town's ability to provide or maintain essential services and utilities.
 6. This proposal will not result in any damage to other structures or properties.
 7. The proposed placement of the concrete pad will have no impact on wildlife habitats, ecological balances, and ecological values. Minimal cutting of trees within the wetland buffer is proposed, which will maintain the integrity of the wetlands, ecological balances, and ecological values.
 8. There will be no additional encroachment into the natural wetland buffer with the proposed concrete pad.
-

9. No unique or unusual natural areas exist, and no rare or endangered species of flora or fauna have been observed in the area.
10. As mentioned above, there will be no additional encroachment into the natural wetland buffer with the proposed concrete pad.
11. The use on this lot already exists and the proposed concrete pad will have no adverse effects to the adjacent wetlands.

b. There is no feasible alternative to the modification with less impact to the wetland or buffer.

The concrete pad and tank need to be located as shown on the plan due to internal venting location.

c. The detrimental impact to wetlands and buffers is minimized.

There will be no impact to the wetlands and minimal impact to the buffer. An existing stone wall separates the proposed concrete pad from the resource area and wetland buffer.

d. There will be no adverse impact on neighboring properties.

The concrete pad is located along the side of the building, away from any neighboring properties.

e. The applicant provides the Planning Board and Conservation Commission findings of a certified wetland scientist approved by the Planning Board or its agent at the applicant's expense.

The wetlands were delineated by Gove Environmental Services in July 2022 and located by this office.

f. The applicant provides the Planning Board and Conservation Commission with a wetland mitigation plan which meets the following: a minimum gain of two square feet of on-site wetland replication for each square foot of wetland lost, except for prime wetlands where a gain of five square feet of on-site wetland replication shall be provided for each square foot of wetland lost. In the case of streets, roads, accessways, and utility crossings, such mitigation shall only be required if 3,000 square feet or more of wetland is impacted. The wetland replication plan must be prepared by a certified wetland scientist and detail the construction methodology, planting plan and monitoring protocol. For impacts to wetland setbacks and buffers, mitigation measures shall be incorporated to minimize wetland degradation such as, but not limited to, buffer plantings, removal of existing pavement, and increased buffers elsewhere on the site.

No direct wetland impacts are proposed. An existing stone wall separates the proposed concrete pad from the resource area and wetland buffer. Buffer plantings have been added to the area surrounding the proposed concrete pad.

g. A recommendation from the Conservation Commission is submitted.

This request has been presented to the Salem Conservation Commission for their review and recommendation.

h. The applicant has received all necessary state and federal permits prior to the issuance of the conditional use permit.

We don't anticipate that any required state or federal permits will be required.

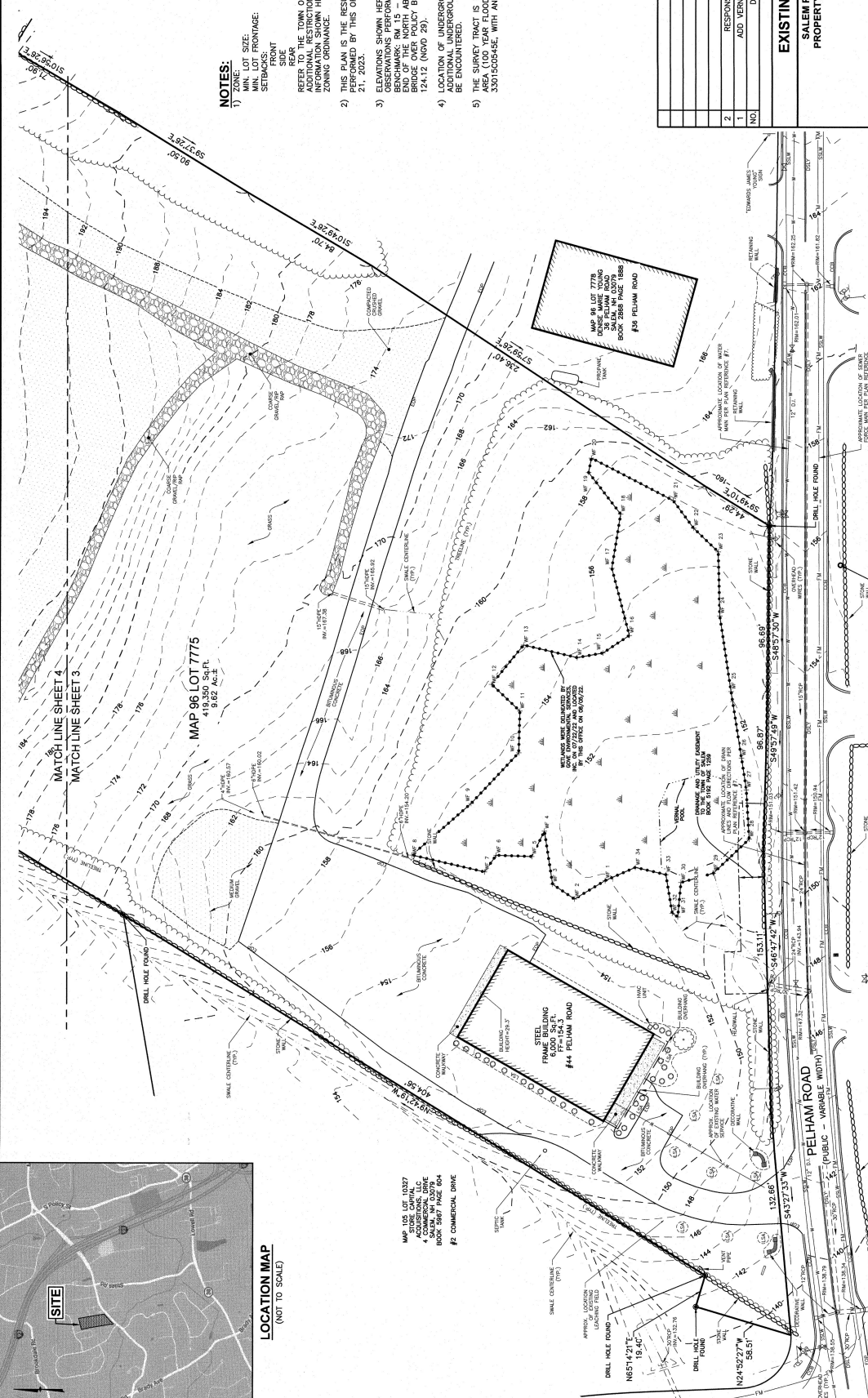
We thank you in advance for your consideration of this request. If you have any questions or need additional information, please feel free to contact me at 603-766-5238 or by email at cyork@gpinet.com.

Sincerely,

GREENMAN-PEDERSEN, INC.



Christopher M. York, P.E.
Project Manager



- 1) ZONE: RURAL/INDUSTRIAL DISTRICT (RUR/I)
- 2) MIN. LOT SIZE: 25,000 S.F. 34 F.L.
- 3) MIN. FRONT YARD SETBACK: 125/300 F.L.
- 4) MIN. FRONT SETBACK: 30/50 F.L.
- 5) MIN. REAR SETBACK: 30/40 F.L.
- 6) REFER TO THE TOWN OF SALEM ZONING ORDINANCE FOR VERIFICATION.
- 7) THE ZONING INFORMATION SHOWN HEREON IS BASED ON A REVIEW OF THE SALEM ZONING ORDINANCE.
- 8) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY CONDUCTED ON JULY 28, 2022.
- 9) ELEVATIONS SHOWN HEREON ARE BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON 08/09/2022.
- 10) BENCHMARK RM 15 - DISK STAMPED "F-2" LOCATED IN THE WEST CORNER OF THE BUILDING.
- 11) BRIDGE OVER POLCY BROOK NEAR ROCKINGHAM PARK ELEVATION = 124.12 (NGD 92).
- 12) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. INDICATED UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED.
- 13) THE SURVEY POINT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA. THE SURVEY POINT IS LOCATED IN A SPECIAL FLOOD NUMBER 3301-10005-048, WITH AN EFFECTIVE DATE OF MARCH 17, 2005.

2		RESPONSE TO COMMENTS	CMV	8/16/23	
1		ADD VERNAL POOL LOCATION	NID	4/24/23	
NO.		DESCRIPTION	BY	DATE	
					REVISIONS

SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

PREPARED FOR:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810

Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

Engineering
Design
Planning
Construction Management

GPINET.COM



SCALE: 1" = 30'

<p>STATE OF NEW YORK OFFICE OF THE SECRETARY OF STATE DIVISION OF RECORDS & COMMUNICATIONS</p> <p>RECEIVED JUN 10 2023 SECRETARY'S OFFICE ALBANY, NY</p>	OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 38 PELHAM RD., SUITE, NH BOKE 6669 PAGE 1519	SALEM PLANNING BOARD APPROVAL
	ZONE RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)	
DESIGNED BY:	DWG. NAME: PROJECT No. AKC 22001-30 SV 22001-30	SHEET No. 3 OF 25
CSS		
 8/17/2023		

PLAN REFERENCES:
ROCKINGHAM COUNTY REGISTRY OF DEEDS

1) "PLOT PLAN" PREPARED BY PAUL W. ZARNOWSKI;
SCALE: 1"=200'; DATED: SEPTEMBER 20, 2011.

2) SCALE: 1"=200';
3) PLAN D-3789;
4) PLAN D-20453;
5) PLAN D-15861;
6) PLAN D-15180;
7) PLAN C-10266

"UTILITY PLANS" PREPARED BY STANTEC; SCALE: 1"=20';
DATED: JANUARY 24, 2012.

7) "UTILITY PLANS" PREPARED BY STANTEC; SCALE: 1"=20';
DATED: JANUARY 24, 2012.

0 30 60 100

SCALE: 1" = 30'

PROPERTY LINE
ABUTTER PROPERTY LINE

	WATER
	FIRE

⑤ ROOF DRAIN
⑥ CLEANOUT

WIRE FENCE ——— X ———
CONTOUR ELEVATION ——— 90 ———

STANTEC; SC

AN D-15160
AN D-15160
AN C-10266

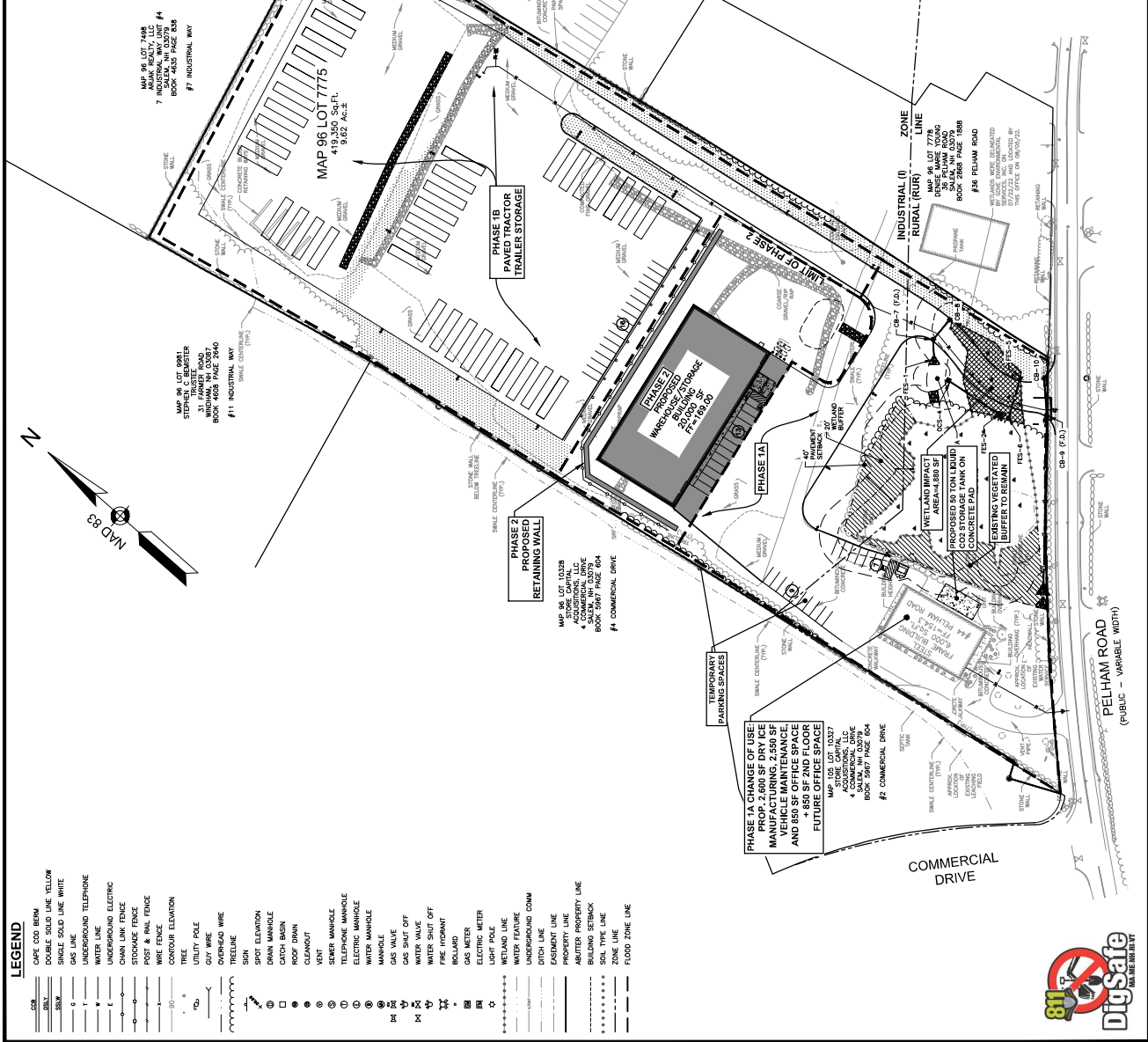
\\Projects\\



TABLE OF ZONING REGULATIONS - SALEM, NH		
ZONE: RURAL DISTRICT (RUR) & INDUSTRIAL DISTRICT (I)		
DESCRIPTION	REQUIRED	PROVIDED
MINIMUM LOT AREA	25,000 SF OR 0.57 AC. (RUR) OR 1.0 AC. (I)	0.57 AC.
MINIMUM FRONT YARD SETBACK	30' (RUR) OR 40' (I)	40' (I)
MINIMUM SIDE YARD SETBACK	10' (RUR) OR 15' (I)	15' (I)
MINIMUM REAR YARD SETBACK	10' (RUR) OR 15' (I)	15' (I)
MINIMUM NUMBER PARKING SPACES	1 SPACE PER 1,000 SF OF FLOOR AREA FOR FIRST 10,000 SF, AND 1 SPACE PER 2,000 SF OF FLOOR AREA FOR REMAINING FLOOR AREA	21 SPACES
MAXIMUM BUILDING COVERAGE	30%	30%
MAXIMUM BUILDING HEIGHT	35' OR 3 STORIES (I) DISTRICT	35'

NOTES:

- 1) A CONDITIONAL USE PERMIT WAS GRANTED FROM THE PLANNING BOARD FOR THE PROPOSED 20,000 SF WAREHOUSE AND 850 SF OFFICE SPACE.



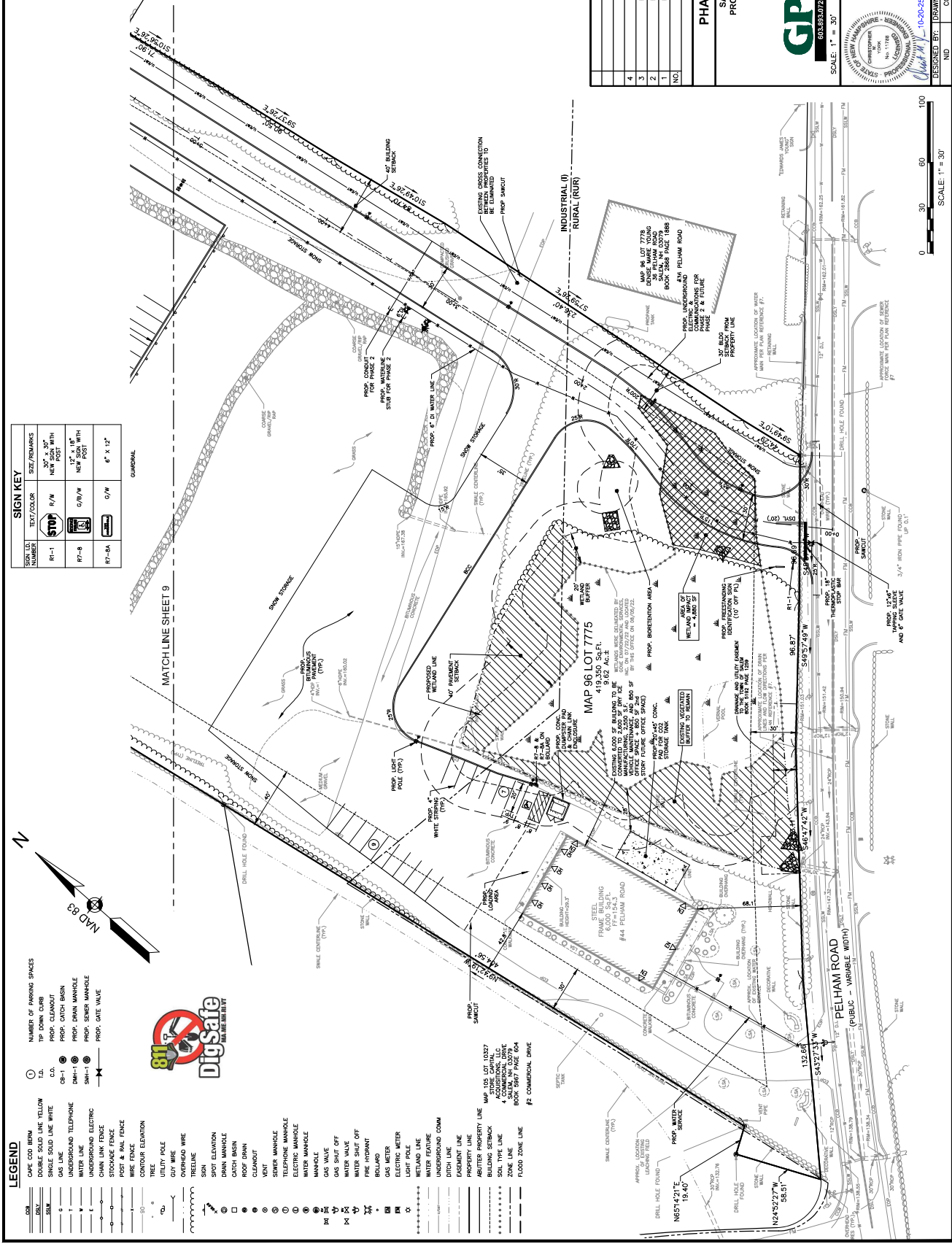
PHASE PLAN		
SALEM PROPERTY MAP 98 - LOT 7775		
PROPERTY ADDRESS: 44 PELHAM ROAD		
RECEIVED FOR:		
SURAJ REALTY		
345 RIVER ROAD		
ANDOVER, MA 01810		
GREENMAN-PEDERSEN, INC.		
44 SILEAS ROAD		
Salem, NH 03079		
DATE: APRIL 3, 2023		
SCALE: 1" = 60'		
OWNER OF RECORD		
YOUNG LAND HOLDINGS, LLC		
36 PELHAM RD, SALEM, NH		
BOOK 6089 PAGE 1819		
SALEM PLANNING BOARD		
APPROVAL		
ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)		
DESIGNED BY: DRAWN/CHECKED BY: PROJECT NO.: SHEET NO.:		
NEX-2200130 NEX-2200130 6 OF 25		



LOCATION MAP
(NOT TO SCALE)

NOTES:

1) SEE SHEET 2 FOR SITE AND UTILITY NOTES.



SIGN KEY		
SIGN ID	TEXT/COLOR	SIZE/REMARKS
RI-1	R/W	30" x 30" NEW SIGN WITH POST
RI-2	R/W	12" x 18" NEW SIGN WITH POST
RI-3	R/W	6" x 12"

LEGEND

- CAPE COD BERM
- DOUBLE SOLID LINE YELLOW
- SINGLE SOLID LINE WHITE
- GAS LINE
- UNDERGROUND TELEPHONE
- UNDERGROUND ELECTRIC
- CHURN LINK FENCE
- STOCKADE FENCE
- POST & RAIL FENCE
- WIRE FENCE
- CONTOUR ELEVATION
- THREAT POLE
- CHURN LINK FENCE
- OVERHEAD WIRE
- TREELINE
- SPOT ELEVATION
- DRAIN MANHOLE
- CATCH BASIN
- CONCRETE
- VENT
- SEWER MANHOLE
- TELEPHONE MANHOLE
- ELECTRIC MANHOLE
- WATER MANHOLE
- MANHOLE
- GAS SILE OFF
- WATER VALVE
- WATER SHUT OFF
- FIRE HYDRANT
- BOLLARD
- GAS METER
- ELECTRIC METER
- WATER METER
- WATER FEATURE
- UNDERGROUND COAM
- DITCH LINE
- EASEMENT LINE
- PROPERTY LINE
- ADJUTER PROPERTY LINE
- BUILDING CORNER
- ADJUTER CORNER
- 4' COMMERCIAL DRIVE
- BOOK 5867 PAGE 604
- #2 COMMERCIAL DRIVE

NO.	DESCRIPTION	DATE
1	ISSUE	10/20/25
2	RESPONSE TO COMMENTS	4/15/25
3	RESPONSE TO COMMENTS	7/15/25
4	RESPONSE TO COMMENTS	8/15/25
5	RESPONSE TO COMMENTS	8/15/25
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99	RESPONSE TO COMMENTS	8/15/25
100	RESPONSE TO COMMENTS	8/15/25

PHASE 1 - SITE & UTILITY PLAN

SALEM PROPERTY MAP 98 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

PREPARED FOR:
SURA REALTY
345 RIVER ROAD
ANDOVER, MA 01810

Greenman-Pedersen, Inc.
44 Siles Road
Suite One
Salem, NH 03079

603.893.5720
GPI.NET.COM

DATE: APRIL 3, 2023

SCALE: 1" = 30'

OWNER OF RECORD
YOUNG LAND HOLDINGS, LLC
36 PELHAM RD, SALEM, NH
BOOK 6069 PAGE 1819

SALEM PLANNING BOARD
APPROVAL

ZONE: RURAL DISTRICT (RUP), INDUSTRIAL DISTRICT (I)

DESIGNED BY: DRAWN/CHECKED: PROJECT NO.: SHEET NO.:
ND 2200130-SP-PH1 NEX-2200130 8 OF 25

VSCO₂ & N₂O

VERTICAL BULK STORAGE SYSTEMS

Our VSCO₂ & N₂O Series of Bulk Carbon Dioxide and Nitrous Oxide Storage Tanks are engineered for the efficient storage supply of carbon dioxide and nitrous oxide. For maximum lifetime thermal efficiency, the VSCO₂ and N₂O systems are manufactured with an all-welded outer container to contain our proprietary Composite Super Insulation™ system and superior vacuum technology.

VACUUM-JACKETED COMPOSITE vs. FOAM INSULATION

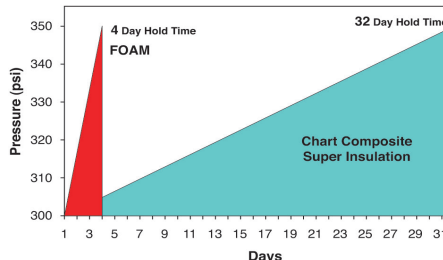
- An ultra-low heat leak – eliminating the need for a costly refrigeration system in most applications.
- No costly down time to refurbish water-soaked or deteriorated foam insulation.
- Lowest lifecycle costs for bulk CO₂ & N₂O storage
- Hold time is 8 times longer than new foam designs

PRODUCT HIGHLIGHTS

- Stainless steel inner vessel and piping eliminates dry ice safety concerns & complies with food grade standards
- Inner vessel designed and built to ASME Section VIII, Div. 1 pressure vessel code
- Oxygen cleaned inner vessel and piping per CGA S4.1
- Internal top head cleaning baffle for internal cleaning with external system eliminates need for manway
- CGA fill and return fittings with drain valves standard on all models
- Analog & digital (telemetry ready) liquid level gauges available with flexible stainless steel connecting lines
- Pressure builder and vaporizer systems available – see applications brochure P/N 2111520 for details
- Backed by a five-year vacuum warranty
- Optional internal vapor condensing coil available – see applications brochure P/N 2111520 for details
- Optional refrigeration system for condensing coil available
- Long-life urethane paint system



Thermal Performance - VSCO₂
Vacuum Jacketed vs. Foam CO₂ Tanks

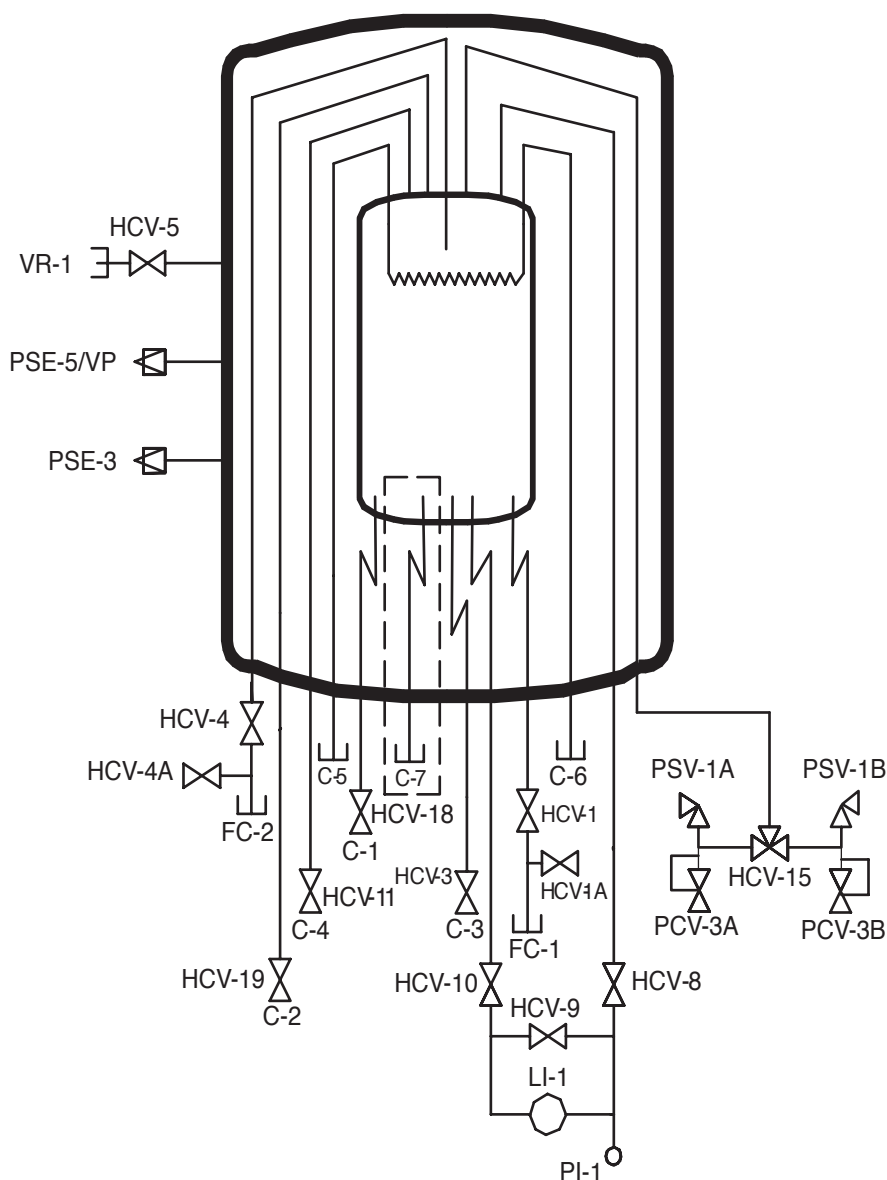


VSCO₂ & N₂O

VERTICAL BULK STORAGE SYSTEMS

Model	CO ₂				NO ₂				MAWP*		Diameter		Height		Weight**		NER %/day in CO ₂ /NO ₂
	Gross Capacity Ton	Gross Capacity Tonne	Net Capacity Ton	Net Capacity Tonne	Gross Capacity Ton	Gross Capacity Tonne	Net Capacity Ton	Net Capacity Tonne	(psig)	(bar)	in	mm	in	mm	(lbs)	(kg)	
6 Ton	6.9	6.3	6.6	6.0	6.6	6.0	6.3	5.7	350	24.1	66	1,727	196	4969	7,400	3,357	.15
14 Ton	13.2	12.0	12.6	11.4	12.9	11.7	12.3	11.2	350	24.1	86	2,184	228	5791	13,700	6,214	.08
30 Ton	30.7	27.8	29.1	26.4	29.3	26.6	27.9	25.3	350	24.1	114	2,900	291	7391	31,700	14,379	.05
50 Ton	47.7	43.3	45.4	41.1	45.6	41.4	43.4	39.3	350	24.1	114	2,900	406	10,312	44,300	20,094	.04

*MAWP - Maximum Allowable Working Pressure. **Weights are for ASME design. (NER) = Nominal Evaporation Rate



NOMENCLATURE	
Tag	Description
C-1	CONNECTION, AUXILIARY LIQUID
C-2	CONNECTION, AUXILIARY VAPOR
C-3	CONNECTION, PB LIQUID
C-4	CONNECTION, PB VAPOR
FC-1	CONNECTION, FILL
FC-2	CONNECTION, VAPOR RETURN/FULL TRYCOCK
HCV-1	VALVE, BOTTOM FILL
HCV-1A	VALVE, DRAIN
HCV-3	VALVE, PB LIQUID
HCV-4	VALVE, VAPOR RETURN/FILL TRYCOCK
HCV-4A	VALVE, DRAIN
HCV-5	VALVE, VACUUM GAUGE TUBE
HCV-8	VALVE, LI-1 VAPOR PHASE
HCV-9	VALVE, LI-1 EQUALIZATION
HCV-10	VALVE, LI-LIQUID PHASE
HCV-11	VALVE, PB VAPOR
HCV-15	VALVE, SAFETY RELIEF SELECTOR
HCV-18	VALVE, AUXILIARY LIQUID
HCV-19	VALVE, AUXILIARY VAPOR
LI-1	LEVEL INDICATOR, INNER VESSEL
PI-1	PRESSURE INDICATOR, INNER VESSEL
PCV-3A	PRESSURE CONTROL VALVE, ECON VENT
PCV-3B	PRESSURE CONTROL VALVE, ECON VENT
PSE-3	PRESSURE SAFETY ELEMENT, OUTER VESSEL
PSE-5/VP	PRESSURE SAFETY ELEMENT, OTR VES., VAC PORT
PSV-1A	PRESSURE SAFETY VALVE, INNER VESSEL
PSV-1B	PRESSURE SAFETY VALVE, INNER VESSEL
VR-1	VACUUM READOUT, OUTER VESSEL
REFRIGERATION OPTION	
C-5	CONNECTION, AUXILIARY REFRIGERATION
C-6	CONNECTION, AUXILIARY REFRIGERATION
DASHED LINE REPRESENTS ADDITIONAL LINE (STANDARD ON 30/50 TON ONLY)	
C-7	CONNECTION, SECONDARY AUXILIARY LIQUID

Auxiliary refrigeration valves on HCV-1A and HCV-4A not included in C-5 and C-6 optional N₂O service.

Chart Inc.
U.S. : 1-800-400-4683
Worldwide: 1-952-243-8800



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PN 10813996
www.chartindustries.com

PROPOSED SITE DEVELOPMENT PLANS

for
SALEM PROPERTY MAP 96 - LOT 7775
44 PELHAM ROAD
SALEM, NEW HAMPSHIRE

Prepared for:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810

SALEM PLANNING BOARD

ON SEPTEMBER 26, 2023 THE SALEM PLANNING BOARD VOTED TO APPROVE THIS SITE PLAN SUBJECT TO THE FOLLOWING CONDITIONS:

PRIOR TO BUILDING PERMIT FOR PHASE 1:

- SUBMIT ENGINEERING APPROVAL;
- PAY FOR OUTSIDE INSPECTIONS PER DIRECTION OF ENGINEERING DIVISION;
- SUBMIT STATE PERMITS (AOT, WETLANDS BUREAU);

PRIOR TO OCCUPANCY:

- PAY ROAD (\$12,360) AND PUBLIC SAFETY (\$10,095) IMPACT FEES;
- PROVIDE CERTIFIED AS-BUILT SITE PLAN;
- CONSTRUCT ALL SITE IMPROVEMENTS (BUILDING, LOCATION, DIMENSIONS, AND SETBACKS, SITE GRADING, UTILITIES, ROAD WORK, DRAINAGE, LANDSCAPING, LIGHTING, PARKING SPACES, SIGNAGE, WETLAND/FLOODPLAIN MITIGATION AREAS) IN ACCORDANCE WITH APPROVED PLAN;

OTHER:

- NOTE VARIANCE, WAIVER, AND CONDITIONAL USE PERMIT FOR WETLAND IMPACT ON PLAN;
- RECEIVE PLANNING BOARD APPROVAL OF SIGN DETAIL PRIOR TO ISSUANCE OF SIGN PERMIT;
- RECEIVE PLANNING BOARD APPROVAL FOR ELEVATIONS PRIOR TO BUILDING PERMIT FOR PHASE 2 (WAREHOUSE STORAGE BUILDING);
- TRUCK TRAFFIC SHALL BE RESTRICTED TO EASTERLY DRIVE;
- VEGETATION, LANDSCAPING AND SIGNAGE SHALL KEPT LOW TO THE GROUND OR SETBACK SUFFICIENTLY FROM PELLHAM ROAD TO ENSURE ADEQUATE SIGHT DISTANCE;
- ALL REPRESENTATIONS MADE BY APPLICANT OR AGENTS AND ALL NOTES ON PLANS ARE INCORPORATED AS PART OF APPROVAL.

STATE PERMITS

TYPE	PERMIT NUMBER	APPROVED
NHDES STANDARD DREDGE & FILL	2023-01045	10/10/23
NHDES ALTERATION OF TERRAIN	AoT-2494	12/1/23

9	REVISE SHEETS 6, 8-11, 13-16, TT PLAN	CMY	10/20/25
8	REVISE SHEETS 10, 12, & 22	CMY	5/30/25
7	REVISE SHEETS 1-2, 8-14, 17-18, 22-24	CMY	4/15/25
6	REVISE SHEET 23	CMY	11/29/23
5	REVISE SHEETS 2, 10, 12-13, 21, 23-24	CMY	10/23/23
4	REVISE SHEETS 10-14, 18, 21, 23 & 24	CMY	10/3/23
3	REVISE SHEETS 6, 8, 10, 13 & 15	NID	9/5/23

NO.	DESCRIPTION	BY	DATE
REVISIONS			

TITLE SHEET

SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

PREPARED FOR:

SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810

GPI
Engineering
Design
Planning
Construction Management

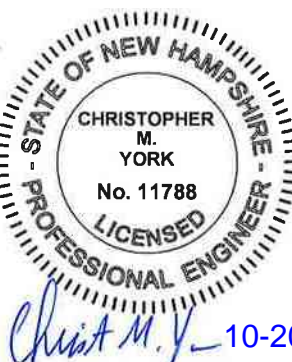
603.893.0720

GPINET.COM

Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

NOT TO SCALE

DATE: APRIL 3, 2023



OWNER OF RECORD
YOUNG LAND HOLDINGS, LLC.
36 PELHAM RD, SALEM, NH
BOOK 6069 PAGE 1819

SALEM PLANNING BOARD
APPROVAL

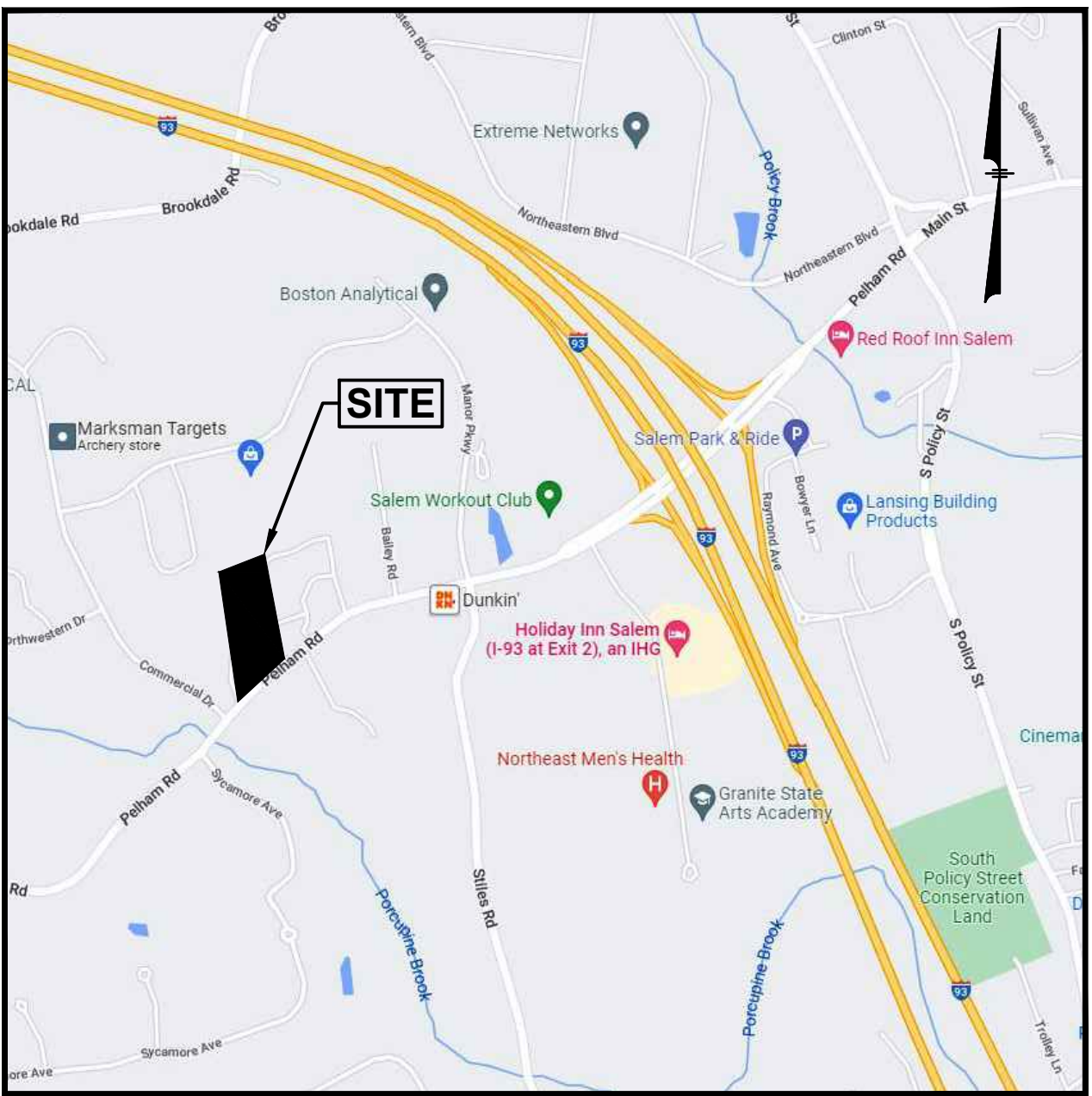
ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_CVR	NEX-2200130	1 OF 25

INDEX TO DRAWINGS

- TITLE SHEET
- GENERAL NOTES
- EXISTING CONDITIONS PLAN
- SOIL SURVEY
- PHASE PLAN
- DEMOLITION PLAN
- PHASE 1 SITE & UTILITY PLAN
- PHASE 1 GRADING & DRAINAGE PLAN
- DRIVEWAY PROFILE & DRAINAGE SCHEDULE
- PHASE 1 EROSION & SEDIMENT CONTROL PLAN
- PHASE 1 LANDSCAPE PLAN
- PHASE 2 SITE & UTILITY PLAN
- PHASE 2 GRADING, DRAINAGE & EROSION CONTROL PLAN
- PHASE 2 LANDSCAPE PLAN
- DETAIL SHEET
- SIGHT DISTANCE PLAN & PROFILE
- 1 OF 1. TRUCK TURN PLAN
- 1 OF 2. LIGHTING PLAN (LO-157585A)
- 2 OF 2. LIGHTING PLAN (LO-157585B)

LOCATION MAP (NOT TO SCALE)



PLEASE REPORT OBSERVATIONS OF RARE TURTLES

The NH Fish & Game Department is requesting
observations of the following turtle species

Turtles may be attracted to disturbed ground during nesting season (May 15th – June 30th)

Turtles are most active from April 15th - October 15th



Blanding's turtle (State Endangered)

Large, dark/black domed shell
with lighter speckles.
Distinct yellow throat/chin.
Aquatic but often moves on land.



Spotted turtle (State Threatened)

Small, mostly aquatic with
black or dark brown with
yellow spots.
Fairly flat shell compared
to Blanding's turtle.
Spots vary in color and
number.

Fig 1401.03 (a) No person shall take or possess a spotted turtle
(*Clemmys guttata*)...Blanding's turtle (*Emydoidea blandingii*)...or
any egg or part thereof.

Report sightings immediately to NHFG Wildlife Division at 603-271-2461 (M-F 8-4) or
to NHFG Wildlife Biologist Melissa Winters 603-479-1129 (cell) anytime.

Please report promptly, noting specific location and date – Photographs strongly encouraged

F:\Projects\NEX-2200130 - Salem, NH - Suraj Realty\CAD Files\2200130_DET.dwg NOTES 4/15/25 3:46pm cnyrk

SITE NOTES:

- 1) EXISTING BOUNDARY AND PLANIMETRIC INFORMATION AS SHOWN IS THE RESULT OF AN ACTUAL FIELD SURVEY BY THIS OFFICE.
- 2) TAX MAP 96 LOT 7775
- 3) ZONING DISTRICT: RURAL DISTRICT AND INDUSTRIAL DISTRICT
- 4) LOT AREA = 419.350 Sq.Ft.
= 9.92 Ac.±
- 5) EXISTING USE: 6,000 SF STORAGE BARN USED FOR "PRIVATE USE"

PROPOSED USE: EXISTING STORAGE BARN TO REMAIN AND CHANGE USE TO 2,500 SF OFFICE USE AND 3,500 SF WAREHOUSE/STORAGE USE. A 20,000 SF WAREHOUSE/STORAGE BUILDING TO BE CONSTRUCTED AND PAVED OUTDOOR STORAGE AREAS.
- 5) ALL BUILDINGS AND SITE CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 1990, AS AMENDED.
- 6) THE LOCATIONS OF EXISTING SUBSURFACE UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM AVAILABLE RECORD DRAWINGS AND ARE NOT WARRANTED TO BE CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SUBSURFACE UTILITIES PRIOR TO PERFORMING ANY WORK.
- 7) WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- 8) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 811 PRIOR TO ANY EXCAVATION.
- 9) ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF SALEM AND THE STATE OF NEW HAMPSHIRE.
- 10) THE SURVEY TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33015C0545E, WITH AN EFFECTIVE DATE OF MARCH 17, 2005.
- 11) ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND THE STANDARD CONSTRUCTION DRAWINGS AS SUPPLIED BY THE DEVELOPER.
- 12) ANY PROPOSED SIGNS WILL REQUIRE A PERMIT PRIOR TO INSTALLATION.
- 13) PROPOSED SNOW STORAGE AREAS ARE LOCATED AS SHOWN. ANY EXCESS SNOW TO BE TRUCKED OFF-SITE.
- 14) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY GREENMAN-PEDERSEN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THEIR WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- 15) AN EXISTING STORAGE BARN AND DRIVEWAY WERE ALLOWED BY VARIANCE GRANTED ON JUNE 7, 2011 FOR PRIVATE USE ONLY. A VARIANCE WAS GRANTED ON SEPTEMBER 6, 2022 BY THE ZONING BOARD OF ADJUSTMENT FROM ARTICLE 490 SECTION 302.5 TO PERMIT THE EXISTING BARN AND THE PROPOSED DRIVEWAY TO BE USED FOR A COMMERCIAL/INDUSTRIAL USE WITHIN THE RURAL DISTRICT.
- 16) A CONDITIONAL USE PERMIT WAS GRANTED FROM THE PLANNING BOARD PER ARTICLE 490 SECTION 706.1 TO ALLOW A 4,880 SF WETLAND IMPACT AND WORK WITHIN THE WETLAND BUFFERS.
- 17) A VARIANCE WAS GRANTED FROM THE ZONING BOARD OF ADJUSTMENT ON SEPTEMBER 6, 2022 TO PERMIT A PROPOSED COMMERCIAL DRIVEWAY AND AN EXISTING STORAGE BARN AND DRIVEWAY ALLOWED BY VARIANCE GRANTED ON JUNE 7, 2011 FOR PRIVATE USE ONLY. TO BE USED FOR COMMERCIAL WAREHOUSE/STORAGE PURPOSES. A NON-PERMITTED USE IN THE RURAL DISTRICT.
- 18) REFER TO SUBSURFACE SEWAGE DISPOSAL SYSTEM PLANS FOR PHASE 2 SEPTIC SYSTEM CONNECTION.
- 19) IN PHASE 2, ALL ROOF TOP MECHANICAL UNITS SHALL BE SCREENED.

GRADING & DRAINAGE NOTES:

- 1) ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR, AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN. THE UNDERGROUND DETENTION SYSTEM SHALL HAVE WATER TIGHT (WT) JOINTS MEETING ASTM D3212 SPECIFICATIONS.
- 2) ALL ROOF AND CANOPY DRAIN PIPE SHALL BE 6" PVC (SDR-35), EXCEPT WITHIN 10' OF A BUILDING FOUNDATION WHERE CAST IRON PIPE SHALL BE USED. MIN. SLOPE=1%.
- 3) ELEVATIONS ARE BASED ON NGVD29 DATUM.
- 4) ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- 5) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND COORDINATED WITH THE APPROPRIATE LOCAL UTILITY COMPANY.
- 6) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COME FROM THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 7) ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL SERVICES AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
- 8) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (DIAL 811) PRIOR TO COMMENCING ANY EXCAVATION.
- 9) THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE EXCEEDS ONE ACRE (ACTUAL DISTURBANCE = 320,000 SF±). THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTION OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE; OR ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
- 10) ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL MUNICIPAL SERVICES.
- 11) ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO NHDOT AND THE TOWN MUNICIPAL SERVICES, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- 12) ALL ADA ACCESSIBLE WALKWAYS CANNOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE. RAMPS CANNOT EXCEED 8.33% RUNNING SLOPE AND 2% CROSS SLOPE, AND ACCESSIBLE PARKING STALLS AND ACCESS AISLES CANNOT EXCEED 2% SLOPE IN ANY DIRECTION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 13) SEE SITE & UTILITY PLAN FOR DETAILED UTILITY LAYOUT.
- 14) ALL PROPOSED CATCH BASINS SHALL HAVE 4" SUMPS AND OUTLETS EQUIPPED WITH "ELIMINATOR" OIL HOODS OR APPROVED EQUAL.
- 15) ALL PIPE DATA IS CALCULATED TO CENTER OF STRUCTURE, TYP.
- 16) CONTRACTOR SHALL REFER TO THE OPERATION & MAINTENANCE (O&M) MANUAL FOR STORMWATER MANAGEMENT SYSTEMS & SITE MAINTENANCE DURING AND AFTER CONSTRUCTION.
- 17) CONTRACTOR SHALL INSTALL RISER STRUCTURES AT EACH CORNER OF UNDERGROUND DETENTION SYSTEMS AND CLEANOUTS AT EACH END OF EACH ROW TO PROVIDE ACCESS POINTS FOR CLEANING AND MAINTENANCE.
- TOTAL RISERS PROPOSED = 8
- TOTAL CLEANOUTS PROPOSED = 36

UTILITY NOTES:

- 1) ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED.
- 2) ALL WATER PIPE SHALL BE COPPER (TYPE K), UNLESS OTHERWISE NOTED.
- 3) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND COORDINATED WITH THE APPROPRIATE LOCAL UTILITY COMPANY.
- 4) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES.
- 5) ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL SERVICES AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
- 6) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 811 PRIOR TO ANY EXCAVATION.
- 7) ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO SALEM MUNICIPAL SERVICES SPECIFICATIONS.
- 8) THIS SITE IS SERVED BY MUNICIPAL WATER AND PRIVATE SEPTIC SYSTEM.
- 9) ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE UNDERGROUND AND INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS.
- 10) ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL MUNICIPAL SERVICES.
- 11) SEE GRADING & DRAINAGE PLAN FOR DETAILED DRAINAGE INFORMATION.
- 12) REFER TO DETAIL SHEETS FOR ALL UTILITY AND DRAINAGE STRUCTURE DETAILS AND ADDITIONAL INFORMATION.
- 13) REFER TO SEPTIC SYSTEM PLANS FOR THE PROPOSED SEPTIC CONNECTION FOR THE 20,000 SF WAREHOUSE PROPOSED IN PHASE 2.

SALEM FIRE DEPARTMENT NOTES:

- 1) EACH BUILDING SHALL BE PROVIDED THROUGHOUT WITH AN AUTOMATIC FIRE ALARM SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH SALEM FIRE DEPARTMENT REGULATIONS.
- 2) THE PROPOSED BUILDING SHALL BE PROVIDED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH SALEM FIRE DEPARTMENT RULES AND REGULATIONS.
- 3) ALL SITE AND CONSTRUCTION PLANS MAY BE REVIEWED BY A THIRD PARTY CONSULTANT OF THE TOWNS CHOOSING. ALL COST ASSOCIATED WITH THIRD PARTY REVIEWS AND INSPECTION SHALL BE PAID BY THE DEVELOPER.
- 4) FIRE HYDRANT AND REQUIRED FLOW REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE 2015 EDITION AND SALEM WATER DEPARTMENT REGULATIONS. FLOW CALCULATIONS AND BUILDING CONSTRUCTION CLASSIFICATION SHALL BE INCLUDED WITH THE SITE PLAN.
- 5) PLANS FOR CONSTRUCTION OF BUILDINGS AND FIRE PROTECTION SYSTEMS SHALL BE SUBMITTED TO THE SALEM FIRE DEPARTMENT AND RELEASED FOR CONSTRUCTION PRIOR TO STARTING WORK. ALL CONTRACTORS INSTALLING FIRE PROTECTION SYSTEMS SHALL HOLD A CERTIFICATE OF FITNESS FROM THE SALEM FIRE DEPARTMENT.
- 6) ALL UNDERGROUND WATER MAINS SERVING SPRINKLER OR STANDPIPE SYSTEM SHALL BE FLUSHED IN ACCORDANCE WITH NFPA 24 AND SHALL BE WITNESSED BY SALEM FIRE DEPARTMENT PERSONNEL.

SALEM MUNICIPAL SERVICES DEPARTMENT NOTES:

- 1) REQUIRED METERING AND BACKFLOW PREVENTION DEVICES WILL BE INSTALLED ON WATER SERVICES. THESE DEVICES WILL BE LOCATED AT THE POINT SERVICE LINES ENTER THE BUILDING. SERVICE LINES ARE NOT ALLOWED TO RUN THROUGH THE BUILDING, UNDER FLOORS, OVERHEAD OR OTHERWISE.
- 2) ALL EXISTING WATER AND SEWER SERVICES FOR BUILDINGS TO BE RAZED MUST BE CUT AND CAPPED PRIOR TO A RAZE PERMIT BEING ISSUED.

NEW HAMPSHIRE FISH AND GAME RECOMMENDED PERMIT CONDITIONS:

- 1) BLANDING'S TURTLE (STATE ENDANGERED) AND SPOTTED TURTLE (STATE THREATENED) OCCUR WITHIN THE VICINITY OF THE PROJECT AREA. ALL OPERATORS AND PERSONNEL WORKING ON OR ENTERING THE SITE SHALL BE MADE AWARE OF THE POTENTIAL PRESENCE OF THESE SPECIES AND SHALL BE PROVIDED FLYERS THAT HELP TO IDENTIFY THESE SPECIES, ALONG WITH NHFG CONTACT INFORMATION. SEE PLAN SHEET 1.
- 2) RARE SPECIES INFORMATION (E.G. IDENTIFICATION, OBSERVATION AND REPORTING OF OBSERVATIONS, WHEN TO CONTACT NHFG IMMEDIATELY AND NHFG CONTACT INFORMATION) SHALL BE COMMUNICATED DURING MORNING TAILGATE MEETINGS PRIOR TO WORK COMMENCEMENT.
- 3) TURTLES MAY BE ATTRACTED TO DISTURBED GROUND DURING NESTING SEASON. TURTLE NESTING SEASON OCCURS APPROXIMATELY MAY 15TH - JUNE 30TH. ALL TURTLE SPECIES NESTS ARE PROTECTED BY NH LAWS. IF A NEST IS OBSERVED OR SUSPECTED, OPERATORS SHALL CONTACT MELISSA WINTERS (603-479-1129) OR JOSH MCGOVEY (978-578-0802) AT NHFG IMMEDIATELY FOR FURTHER CONSULTATION. THE NEST OR SUSPECTED NEST SHALL BE MARKED (SURROUNDING ROPED OFF OR COME BUFFER DEPLOYED) AND AVOIDED; THIS SHALL BE COMMUNICATED TO ALL PERSONNEL ONSITE. SITE ACTIVITIES SHALL NOT OCCUR IN THE AREA SURROUNDING THE NEST OR SUSPECTED NEST UNTIL FURTHER GUIDANCE IS PROVIDED BY NHFG.
- 4) ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, WITH THE EXCEPTION OF TURF REINFORCEMENT MATS, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, INLET PROTECTION, CHECK DAMS, AND SEDIMENT TRAPS SHALL NOT CONTAIN PLASTIC, OR MULTIFILAMENT OR MONOFILAMENT POLYPROPYLENE NETTINGS OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8 INCHES. SEE PLAN SHEET 21.
- 5) ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES ON THE PROJECT SITE SHALL BE REPORTED IMMEDIATELY TO THE NHFG NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHFGREVIEW@WILDLIFE.NH.GOV WITH THE EMAIL SUBJECT LINE CONTAINING THE NH# DATACHECK TOOL RESULTS LETTER ASSIGNED NUMBER, THE PROJECT NAME, AND THE TERM WILDLIFE SPECIES OBSERVATION.
- 6) PHOTOGRAPHS OF THE OBSERVED SPECIES AND NEARBY ELEMENTS OF HABITAT OR AREAS OF LAND DISTURBANCE SHALL BE PROVIDED TO NHFG IN DIGITAL FORMAT AT THE ABOVE EMAIL ADDRESS FOR VERIFICATION, AS FEASIBLE.
- 7) IN THE EVENT A THREATENED OR ENDANGERED SPECIES IS OBSERVED ON THE PROJECT SITE DURING THE TERM OF THE PERMIT, THE SPECIES SHALL NOT BE DISTURBED, HANDLED, OR HARMED IN ANY WAY PRIOR TO CONSULTATION WITH NHFG AND IMPLEMENTATION OF CORRECTIVE ACTIONS RECOMMENDED BY NHFG.
a) SITE OPERATORS SHALL BE ALLOWED TO RELOCATE WILDLIFE ENCOUNTERED IF DISCOVERED SHALL BE RELOCATED IN CLOSE PROXIMITY TO THE CAPTURE LOCATION BUT OUTSIDE OF THE WORK ZONE AND IN THE DIRECTION THE INDIVIDUAL WAS HEADING. NHFG SHALL BE CONTACTED IMMEDIATELY IF THIS ACTION OCCURS.
b) THE NHFG, INCLUDING ITS EMPLOYEES AND AUTHORIZED AGENTS, SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

EROSION CONTROL NOTES:

- 1) THE EROSION CONTROL PROCEDURES SHALL CONFORM TO THE NH STORMWATER MANUAL, VOLUME 3, EROSION & SEDIMENT CONTROLS DURING CONSTRUCTION, DECEMBER 2008, OR LATEST EDITION.
- 2) DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME AS APPROVED BY THE ENGINEER. LAND SHOULD NOT BE LEFT EXPOSED DURING THE WINTER MONTHS.
- 3) LIMIT OF MAXIMUM AREA OF EXPOSED SOIL AT ANY ONE TIME TO LESS THAN 5 ACRES. THE EXPOSED AREA THAT IS BEING ACTIVELY WORKED DURING WINTER IS TO BE LESS THAN 3 ACRES DURING THE WINTER SEASON.
- 4) ALL PERMANENT STORM WATER STRUCTURES SHALL BE STABILIZED PRIOR TO DIRECTING FLOW INTO THEM. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
A) BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
B) A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
C) A MINIMUM OF 85 PERCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
D) OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- 5) SEDIMENT CONTROL FENCE SHALL BE INSTALLED AND MAINTAINED DURING AND AFTER DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER AND FROM LAND UNDERGOING DEVELOPMENT. WHERE POSSIBLE, NATURAL DRAINAGE WAYS SHOULD BE UTILIZED AND LEFT OPEN TO REMOVE EXCESS SURFACE WATER. SEDIMENT CONTROL FENCE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
- 6) ALL DISTURBED AREAS AND SIDE SLOPES WHICH ARE FINISHED GRADED, WITH NO FURTHER CONSTRUCTION TO TAKE PLACE, SHALL BE LOAMED AND SEEDED WITHIN 72 HOURS AFTER FINAL GRADING. A MINIMUM OF 4" OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. THE SEED MIX SHALL BE AS DESIGNATED BELOW.
- 7) ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION. THE MAXIMUM LENGTH OF TIME FOR THE EXPOSURE OF DISTURBED SOILS SHALL BE 45 DAYS. HAY OR STRAW MULCH SHALL BE APPLIED TO ALL FRESHLY SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE. BALES SHALL BE UNSPOOLED, AIR DRIED, AND FREE FROM WEED, SEEDS AND ANY COARSE MATERIAL.
- 8) DURING GRADING OPERATIONS INSTALL SEDIMENT CONTROL FENCE ALONG TOE OF SLOPE OF FILL AREAS WHERE SHOWN. BARRIERS ARE TO BE MAINTAINED UNTIL DISTURBED AREAS ARE PAVED OR GRASSED.
- 9) THE FILL MATERIAL SHALL BE OF APPROVED SOIL TYPE FREE FROM STUMPS, ROOTS, WOOD, ETC. TO BE PLACED IN 12" LIFTS OR AS SPECIFIED. BULLDOZERS, TRUCKS, TRACTORS, OR ROLLERS MAY BE USED FOR COMPACTION BY ROUTING THE EQUIPMENT TO ALL AREAS OR EACH LAYER.

TEMPORARY EROSION CONTROL MEASURES:

- 1) THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
- 2) SEDIMENT CONTROL FENCE SHALL BE INSTALLED AS REQUIRED. FENCE IS TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
- 3) BAIED HAY AND MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
- 4) FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
- 5) STOCKPILED MATERIALS SHALL BE PLACED ONLY IN AREAS SHOWN ON THE PLANS. STOCKPILES SHALL BE PROTECTED BY SEDIMENT CONTROL FENCING AND SEEDED TO PREVENT EROSION. THESE MEASURES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
- 6) TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC) MUST BE USED AS NECESSARY UNTIL AREAS ARE STABILIZED.
- 7) ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA.
- 8) SEED MIX SHALL BE EQUAL PARTS OF RED FESCUE (CREEPING), KENTUCKY BLUE GRASS, REDTOP, PERENNIAL RYEGRASS.
- 9) AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED.
- 10) PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- 11) ALL CATCH BASIN INLETS WILL BE PROTECTED WITH INLET PROTECTION.
- 12) ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AND CLEANED AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- 13) ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.
- 14) TO PREVENT TRACKING OF SEDIMENT ONTO THE EXISTING ROADS, ALL CONSTRUCTION TRAFFIC CAN ONLY EXIT THE SITE OVER THE GRAVEL CONSTRUCTION EXITS SHOWN ON THIS PLAN.

WINTER STABILIZATION NOTES:

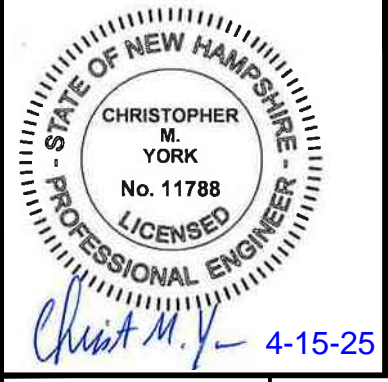

MAINTENANCE REQUIREMENTS:
MAINTENANCE MEASURES SHOULD CONTINUE AS NEEDED THROUGHOUT CONSTRUCTION, INCLUDING THE OVER-WINTER PERIOD. AFTER EACH RAINFALL, SNOWSTORM, OR PERIOD OF THAWING AND RUNOFF, THE SITE CONTRACTOR SHOULD CONDUCT AN INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUING FUNCTION.
FOR ANY AREA STABILIZED BY TEMPORARY OR PERMANENT SEEDING PRIOR TO THE ONSET OF THE WINTER SEASON, THE CONTRACTOR SHOULD CONDUCT AN INSPECTION IN THE SPRING TO ASCERTAIN THE CONDITION OF VEGETATION COVER, AND REPAIR ANY DAMAGE AREAS OR BARE SPOTS AND RESEED AS REQUIRED TO ACHIEVE AN ESTABLISHED VEGETATIVE COVER (AT LEAST 85% OF AREA VEGETATED WITH HEALTHY, VIGOROUS GROWTH).
SPECIFICATIONS:
TO ADEQUATELY PROTECT WATER QUALITY DURING COLD WEATHER AND DURING SPRING RUNOFF, THE FOLLOWING STABILIZATION TECHNIQUES SHOULD BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15TH THROUGH MAY 15TH.
1) THE AREA OF EXPOSED, UNSTABILIZED SOIL SHOULD BE LIMITED TO ONE ACRE AND SHOULD BE PROTECTED AGAINST EROSION BY THE METHODS DESCRIBED IN THIS SECTION PRIOR TO ANY THAW OR SPRING MELT EVENT. SUBJECT TO APPLICABLE REGULATIONS, THE ALLOWABLE AREA OF EXPOSED SOIL MAY BE INCREASED IF ACTIVITIES ARE CONDUCTED ACCORDING TO A WINTER CONSTRUCTION PLAN, DEVELOPED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF NEW HAMPSHIRE OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL AS CERTIFIED BY THE CPSPSC COUNCIL OF ENVIROCERT INTERNATIONAL, INC.
2) STABILIZATION AS FOLLOWS SHOULD BE COMPLETED WITHIN A DAY OF ESTABLISHING THE GRADE THAT IS FINAL OR THAT OTHERWISE WILL EXIST FOR MORE THAN 5 DAYS:
A. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHOULD BE SEEDED AND COVERED WITH 3 TO 4 TONS OF HAY OR STRAW MULCH PER ACRE SECURED WITH ANCHORED NETTING, OR 2 INCHES OF EROSION CONTROL MIX (SEE DESCRIPTION OF EROSION CONTROL MIX BERMS FOR MATERIAL SPECIFICATION).
B. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF GREATER THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHOULD BE SEEDED AND COVERED WITH A PROPERLY INSTALLED AND ANCHORED EROSION CONTROL BLANKET OR WITH A MINIMUM 4 INCH THICKNESS OF EROSION CONTROL MIX, UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. NOTE THAT COMPOST BLANKETS SHOULD NOT EXCEED 2 INCHES IN THICKNESS OR THEY MAY OVERHEAT.
3) ALL STONE-COVERED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
4) INSTALLATION OF ANCHORED HAY MULCH OR EROSION CONTROL MIX SHOULD NOT OCCUR OVER SNOW OF GREATER THAN ONE INCH IN DEPTH.
5) ALL MULCH APPLIED DURING WINTER SHOULD BE ANCHORED (E.G., BY NETTING, TRACKING, WOOD CELLULOSE FIBER).
6) STOCKPILES OF SOIL MATERIALS SHOULD BE MULCHED FOR OVER WINTER. PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A FOUR-INCH LAYER OF EROSION CONTROL MIX. MULCHING SHOULD BE DONE WITHIN 24 HOURS OF STOCKING, AND RE-ESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL. NO SOIL STOCKPILE SHOULD BE PLACED (EVEN COVERED WITH MULCH) WITHIN 100 FEET FROM ANY WETLAND OR OTHER WATER RESOURCE AREA.
7) FROZEN MATERIALS, (E.G., FROST LAYER THAT IS REMOVED DURING WINTER CONSTRUCTION), SHOULD BE STOCKPILED SEPARATELY AND IN A LOCATION THAT IS AWAY FROM ANY AREA NEEDING TO BE PROTECTED. STOCKPILES OF FROZEN MATERIAL CAN MELT IN THE SPRING AND BECOME UNWORKABLE AND DIFFICULT TO TRANSPORT DUE TO THE HIGH MOISTURE CONTENT IN THE SOIL.
8) INSTALLATION OF EROSION CONTROL BLANKETS SHOULD NOT OCCUR OVER SNOW OF GREATER THAN ONE INCH IN DEPTH OR ON FROZEN GROUND.
9) ALL GRASS-LINED DITCHES AND CHANNELS SHOULD BE CONSTRUCTED AND STABILIZED BY SEPTEMBER 1. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHOULD BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS, AS DETERMINED BY A QUALIFIED PROFESSIONAL ENGINEER OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL AS CERTIFIED BY THE CPSPSC COUNCIL OF ENVIROCERT INTERNATIONAL, INC. IF A STONE LINING IS NECESSARY, THE CONTRACTOR MAY NEED TO RE-GRADE THE DITCH AS REQUIRED TO PROVIDE ADEQUATE CROSS-SECTION AFTER ALLOWING FOR PLACEMENT OF THE STONE.
10) ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
11) AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.
12) SEDIMENT BARRIERS THAT ARE INSTALLED DURING FROZEN CONDITIONS SHOULD CONSIST OF EROSION CONTROL MIX BERMS, OR CONTINUOUS CONTAINED BERMS, SILT FENCES AND HAY BALES SHOULD NOT BE INSTALLED WHEN FROZEN CONDITIONS PREVENT PROPER EMBEDMENT OF THESE BARRIERS.

CONSTRUCTION SEQUENCE:

- 1) SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY ON-SITE CONSTRUCTION AS SHOWN. ADDITIONAL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL.
- 2) CONSTRUCT TEMPORARY STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THE PLANS.
- 3) REMOVE AND STOCKPILE SOIL AS REQUIRED. STOCKPILE SHALL BE SURROUNDED WITH SEDIMENT CONTROL FENCING TO PREVENT EROSION.
- 4) INSTALL DRAINAGE INFRASTRUCTURE.
- 5) CONSTRUCT DRIVEWAYS. INSTALL UNDERGROUND UTILITIES AND PERFORM SITE GRADING.
- 6) BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED OR MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
- 7) DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SEDIMENT CONTROL FENCES, HAYBALES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING. AT A MINIMUM, INSPECT EROSION CONTROLS WEEKLY AND AFTER EVERY 1/2" OF RAINFALL.
- 8) BEGIN EXCAVATION FOR AND CONSTRUCTION OF BUILDINGS.
- 9) FINISH PAVING ALL DRIVES AND PARKING AREAS. CLEAN ALL DRAINAGE STRUCTURES.
- 10) COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 11) AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDED AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.
- 12) THE CONTRACTOR AND DEVELOPER MUST MANAGE THE PROJECT TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

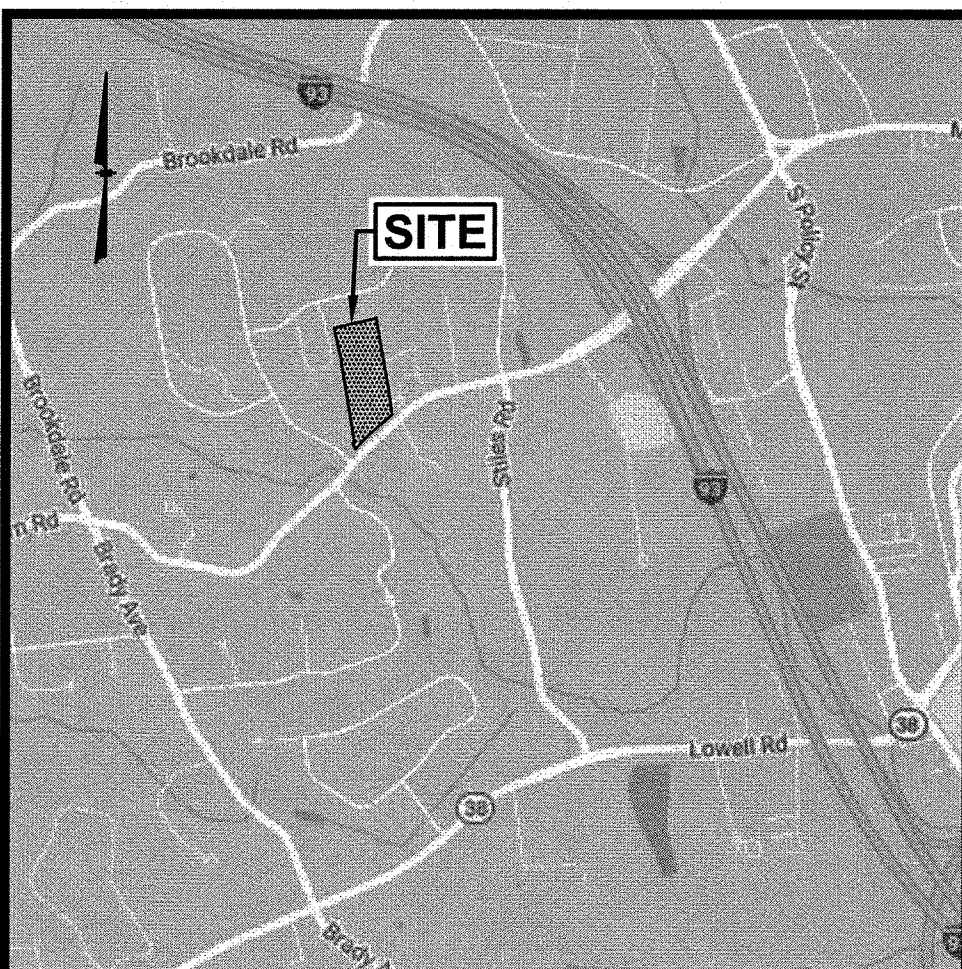
BLASTING BMP NOTES:

THE FOLLOWING BLAST HOLE LOADING PRACTICES SHALL BE IMPLEMENTED:
A) THE DRILLER SHALL MAINTAIN DRILLING LOGS TO DOCUMENT:
1) THE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED;
AND
2) GROUNDWATER CONDITIONS;
B) THE DRILLER SHALL COMMUNICATE THE CONTENTS OF THE DRILLING LOGS DIRECTLY TO THE BLASTER;
C) EXPLOSIVE PRODUCTS SHALL BE MANAGED ON SITE SUCH THAT THEY ARE:
1) USED IN THE BOREHOLE;
2) RETURNED TO THE DELIVERY VEHICLE; OR
3) PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL;
D) SPILLAGE AROUND THE BOREHOLE SHALL BE:
1) PLACED IN THE BOREHOLE; OR
2) CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL.
E) LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND NOT LEFT IN THE BLAST HOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED;
F) LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT; AND
G) EXPLOSIVES SHALL BE LOADED IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES FOR PRIMING, STEMMING, DECKING AND COLUMN RISE TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION.
EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE:
A) APPROPRIATE FOR SITE CONDITIONS AND SAFE BLAST EXECUTION; AND
B) HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT.
INDUSTRY-STANDARD PRACTICES SHALL BE IMPLEMENTED TO PREVENT MISFIRES.
MUCK AND ROCK MANAGEMENT:
A) FOR PURPOSES OF THIS PART, THE FOLLOWING DEFINITIONS APPLY:
1) "BLASTED MATERIAL" MEANS ALL OF THE EARTH MATERIAL LOOSENED AS A RESULT OF THE BLASTING;
2) "MUCK" MEANS THE BLASTED MATERIAL REMAINING AFTER THE ROCKS HAVE BEEN REMOVED; AND
3) "ROCKS" MEANS THE LARGEST PIECES OF BLASTED MATERIAL THAT ARE SEPARATED FROM THE MUCK FOR USE ELSEWHERE, INCLUDING FOR FEEDSTOCK OF A ROCK CRUSHING OPERATION.
B) MUCK SHALL BE REMOVED FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE.
C) ROCKS SHALL BE MANAGED SO AS TO PREVENT WATER SUPPLY WELLS OR SURFACE WATERS FROM BEING CONTAMINATED BY RUNOFF.
SPILL PREVENTION MEASURES AND SPILL MITIGATION
A) FUEL AND OTHER REGULATED SUBSTANCES SHALL BE MANAGED AS REQUIRED BY ENV-WQ 401.04.
B) PERSONNEL WORKING AT THE BLAST SITE SHALL BE TRAINED IN HOW TO RESPOND TO A SPILL OF THE REGULATED SUBSTANCES BEING USED AT THE SITE.
FUELING AND MAINTENANCE OF CONSTRUCTION EQUIPMENT
A) IF ANY CONSTRUCTION EQUIPMENT, INCLUDING BUT NOT LIMITED TO EARTHMOVING, EXCAVATION, AND BORING EQUIPMENT, WILL BE FUELED FROM A TANK TRUCK OR OTHER CONTAINER THAT IS MOVED AROUND THE SITE, THE FOLLOWING SHALL APPLY:
1) PORTABLE CONTAINMENT EQUIPMENT THAT IS SIZED TO CONTAIN THE MOST LIKELY VOLUME OF FUEL TO BE SPILLED DURING A FUEL TRANSFER SHALL BE USED, WHERE THE MOST LIKELY VOLUME TO BE SPILLED IS DETERMINED BASED ON THE FUEL TRANSFER RATE, THE AMOUNT OF FUEL BEING TRANSFERRED, THE DISTANCE BETWEEN THE HOSE NOZZLE AND PUMP SHUT OFF SWITCH, AND THE RESPONSE TIME OF PERSONNEL AND EQUIPMENT AVAILABLE AT THE FACILITY;
2) THE CONTAINMENT EQUIPMENT SHALL BE POSITIONED TO CATCH ANY FUEL SPILLS DUE TO OVERRILLING THE EQUIPMENT AND ANY OTHER SPILLS THAT MIGHT OCCUR AT OR NEAR THE FUEL FILLER PORT TO THAT EQUIPMENT;
3) THE TYPE OF CONTAINMENT EQUIPMENT USED AND ITS POSITIONING AND USE SHALL ACCOUNT FOR ALL OF THE DRIP POINTS ASSOCIATED WITH THE FUEL FILLING PORT AND THE HOSE FROM THE FUEL DELIVERY TRUCK; AND
4) PERSONNEL SHALL NOT LEAVE THE IMMEDIATE AREA WHILE FUEL IS BEING TRANSFERRED, TO ENSURE THAT ANY SPILLS WILL BE OF LIMITED VOLUME.
B) IF THE SITE WILL HAVE A FIXED LOCATION FOR FUELING CONSTRUCTION EQUIPMENT, THE FOLLOWING SHALL APPLY:
1) ALL FUEL CONTAINERS, INCLUDING BUT NOT LIMITED TO SKID-MOUNTED TANKS, DRUMS, AND FIVE GALLON CANS, SHALL HAVE SECONDARY CONTAINMENT THAT:
A. IS CAPABLE OF CONTAINING 110% OF THE VOLUME OF THE LARGEST FUEL STORAGE CONTAINER; AND
B. HAS AN IMPERVIOUS FLOOR;
2) SECONDARY CONTAINMENT FOR TANKS MAY COMPRISE A METAL, PLASTIC, POLYMER OR PRECAST CONCRETE VAULT PROVIDING 110 PERCENT OF THE VOLUME OF THE LARGEST FUEL STORAGE CONTAINER.
3) FOR FUEL CONTAINERS, SECONDARY CONTAINMENT MAY COMPRISE CONTAINMENT PALLETS; NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES 89 ENV-WQ 1500
4) THE AREA WHERE FUEL IS TRANSFERRED SHALL BE A FLAT, IMPERVIOUS AREA THAT:
A. IS ADJACENT TO THE FUEL CONTAINER(S); AND
B. EXTENDS BEYOND THE FULL REACH, OR LENGTH, OF THE FUEL HOSE; AND
5) SECONDARY CONTAINMENT AREAS MAY BE IN THE FORM OF A BASIN THAT IS:
A. SLOPED DOWN TO A CENTRAL LOW POINT OR BERMED ALONG THE PERIMETER.
B. LINED WITH A CONTINUOUS SHEET OF 20 MIL OR THICKER POLYMER MATERIAL OR APPROPRIATE GEOMEMBRANE LINER; AND
C. BACKFILLED WITH AT LEAST 6 INCHES OF SAND.

5	ADD VARIANCE NOTE	CMY	4/15/25	
4	ADDRESS AOT COMMENTS	CMY	10/23/23	
3	ADDRESS AOT COMMENTS	CMY	10/3/23	
2	RESPONSE TO COMMENTS	NID	9/5/23	
1	RESPONSE TO COMMENTS	CMY	8/16/23	
NO.	DESCRIPTION	BY	DATE	
REVISIONS				
GENERAL NOTES				
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD				
PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810				
Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079				
SCALE: NONE		DATE: APRIL 3, 2023		
		OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD., SALEM, NH BOOK 6069 PAGE 1819		
		SALEM PLANNING BOARD APPROVAL		
ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)				
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_DET	NEX-2200130	2 OF 25

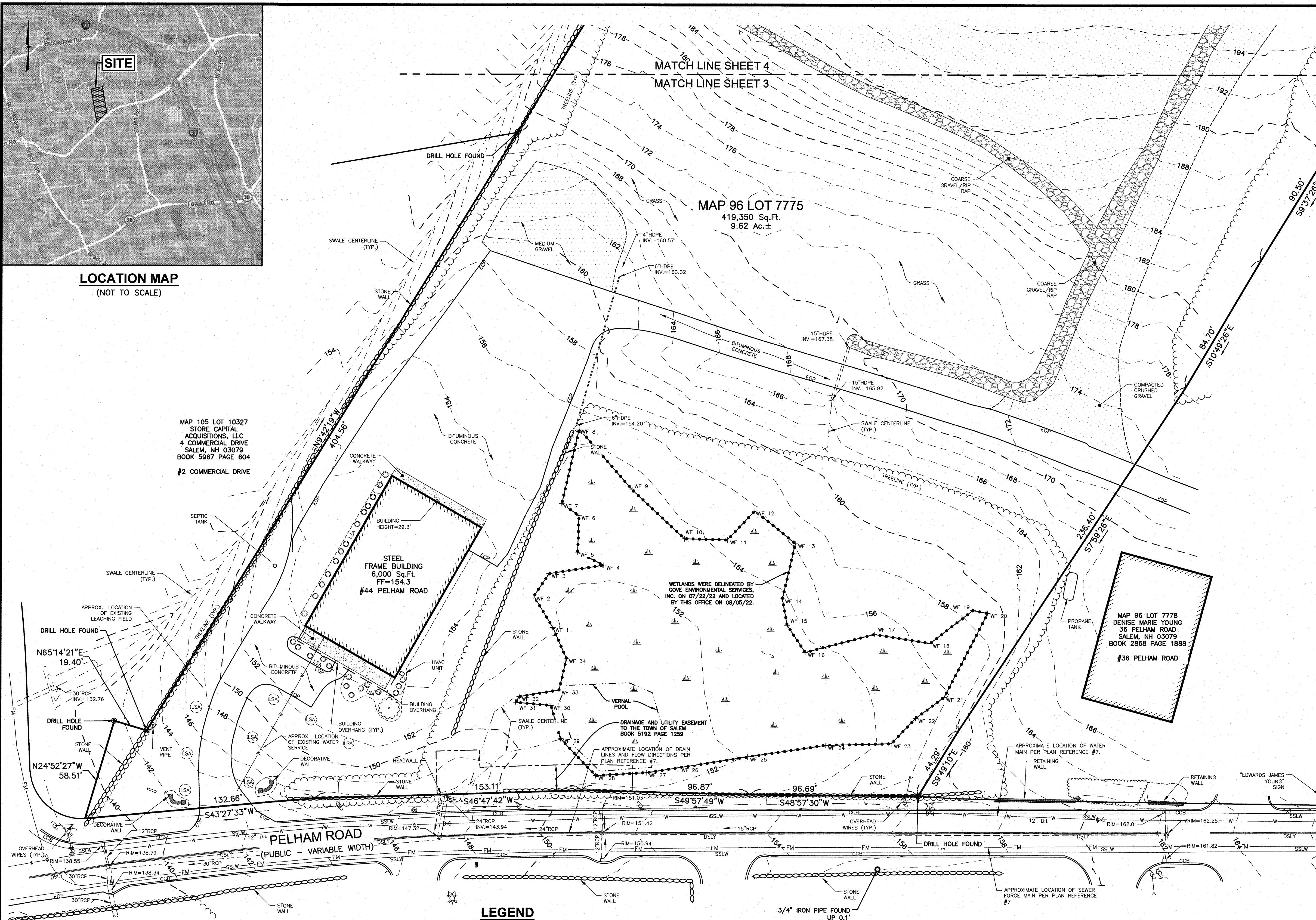
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LOCATION MAP
(NOT TO SCALE)

MAP 105 LOT 10327
STORE CAPITAL
ACQUISITIONS, LLC
4 COMMERCIAL DRIVE
SALEM, NH 03079
BOOK 5967 PAGE 604
#2 COMMERCIAL DRIVE



LEGEND

CCB	CAPE COD BERM	○	TREE	○	VENT	---	BOLLARD
DSLW	DOUBLE SOLID LINE YELLOW	⊙	UTILITY POLE	⊙	SEWER MANHOLE	GAS METER
SSLW	SINGLE SOLID LINE WHITE	⊙	GUY WIRE	⊙	TELEPHONE MANHOLE	---	ELECTRIC METER
G	GAS LINE	⊙	OVERHEAD WIRE	⊙	ELECTRIC MANHOLE	---	LIGHT POLE
T	UNDERGROUND TELEPHONE	⊙	TREELINE	⊙	WATER MANHOLE	---	WETLAND LINE
W	WATER LINE	⊙	SIGN	⊙	MANHOLE	---	WATER FEATURE
E	UNDERGROUND ELECTRIC	⊙	SPOT ELEVATION	⊙	GAS VALVE	---	UNDERGROUND COMM
○	CHAIN LINK FENCE	⊙	DRAIN MANHOLE	⊙	GAS SHUT OFF	---	DITCH LINE
---	STOCKADE FENCE	⊙	CATCH BASIN	⊙	WATER VALVE	---	EASEMENT LINE
---	POST & RAIL FENCE	⊙	ROOF DRAIN	⊙	WATER SHUT OFF	---	PROPERTY LINE
x	WIRE FENCE	⊙	CLEANOUT	⊙	FIRE HYDRANT	---	ABUTTER PROPERTY LINE
---	CONTOUR ELEVATION	⊙					

PLAN REFERENCES:

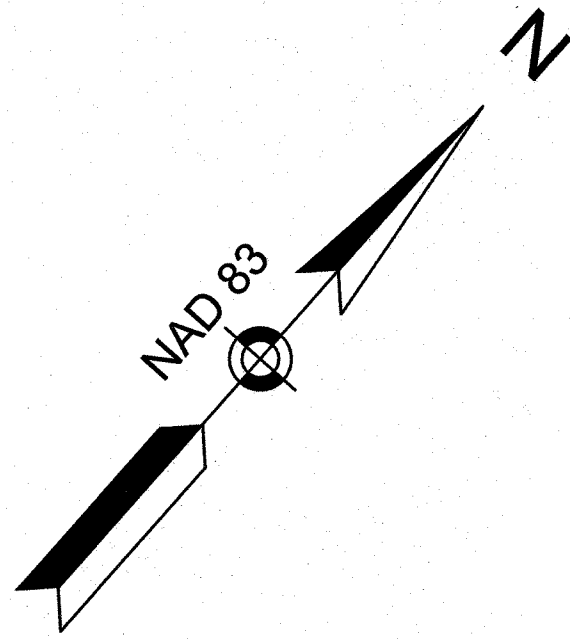
ROCKINGHAM COUNTY REGISTRY OF DEEDS

- "PLOT PLAN" PREPARED BY PAUL W. ZARNOWSKI; SCALE:1"=200'; DATED: SEPTEMBER 20, 2011.
- PLAN D-37810
- PLAN D-20453
- PLAN D-15861
- PLAN D-15160
- PLAN C-10266
- "UTILITY PLANS" PREPARED BY STANTEC; SCALE:1"=20'; DATED: JANUARY 24, 2012.

NOTES:

- ZONE: RURAL/INDUSTRIAL DISTRICT (RUR)/(I)
MIN. LOT SIZE: 25,000/N.R. Sq.Ft.
MIN. LOT FRONTAGE: 125/300 Ft.
SETBACKS:
FRONT 30/50 Ft.
SIDE 15/40 Ft.
REAR 30/40 Ft.
REFER TO THE TOWN OF SALEM ZONING ORDINANCE FOR VERIFICATION, ADDITIONAL RESTRICTIONS AND PERMITTED USES. THE ZONING INFORMATION SHOWN HEREON IS BASED ON A REVIEW OF THE SALEM ZONING ORDINANCE.
- THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN JULY 26, 2022 AND FEBRUARY 21, 2023.
- ELEVATIONS SHOWN HEREON ARE BASED ON NGVD29 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JULY 26, 2022. BENCHMARK: RM 15 - DISK STAMPED 'F-2' LOCATED IN THE WEST END OF THE NORTH ABUTMENT OF THE BOSTON & MAINE RAILROAD BRIDGE OVER POLICY BROOK NEAR ROCKINGHAM PARK. ELEVATION = 124.12 (NGVD 29).
- LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED.
- THE SURVEY TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33015C0545E, WITH AN EFFECTIVE DATE OF MARCH 17, 2005.

2	RESPONSE TO COMMENTS	CMY	8/16/23
1	ADD VERNAL POOL LOCATION	NID	4/24/23
NO.	DESCRIPTION	BY	DATE
REVISIONS			
EXISTING CONDITIONS PLAN			
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD			
PREPARED FOR: SURA J REALTY 345 RIVER ROAD ANDOVER, MA 01810			
GPI Engineering Design Planning Construction Management 603.893.0720 GPINET.COM			
Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079			
SCALE: 1" = 30' DATE: APRIL 3, 2023			
OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819		SALEM PLANNING BOARD APPROVAL	
ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)			
DESIGNED BY: CSS	DRAWN/CHECKED AKC	DWG. NAME 2200130_SV	PROJECT No. NEX-2200130
		SHEET No. 3 OF 25	



MAP 96 LOT 7498
ARJAK REALTY, LLC
7 INDUSTRIAL WAY UNIT #4
SALEM, NH 03079
BOOK 4635 PAGE 838
#7 INDUSTRIAL WAY

MAP 96 LOT 9981
STEPHEN C. BEMISTER
TRUSTEE
31 FARMER ROAD
WINDHAM, NH 03087
BOOK 4608 PAGE 2640
#11 INDUSTRIAL WAY

MAP 96 LOT 7446
YOUNG LAND HOLDINGS, LLC
36 PELHAM ROAD
SALEM, NH 03079
BOOK 6069 PAGE 1817
#34 PELHAM ROAD

MAP 96 LOT 10328
STORE CAPITAL
ACQUISITIONS, LLC
4 COMMERCIAL DRIVE
SALEM, NH 03079
BOOK 5967 PAGE 604
#4 COMMERCIAL DRIVE

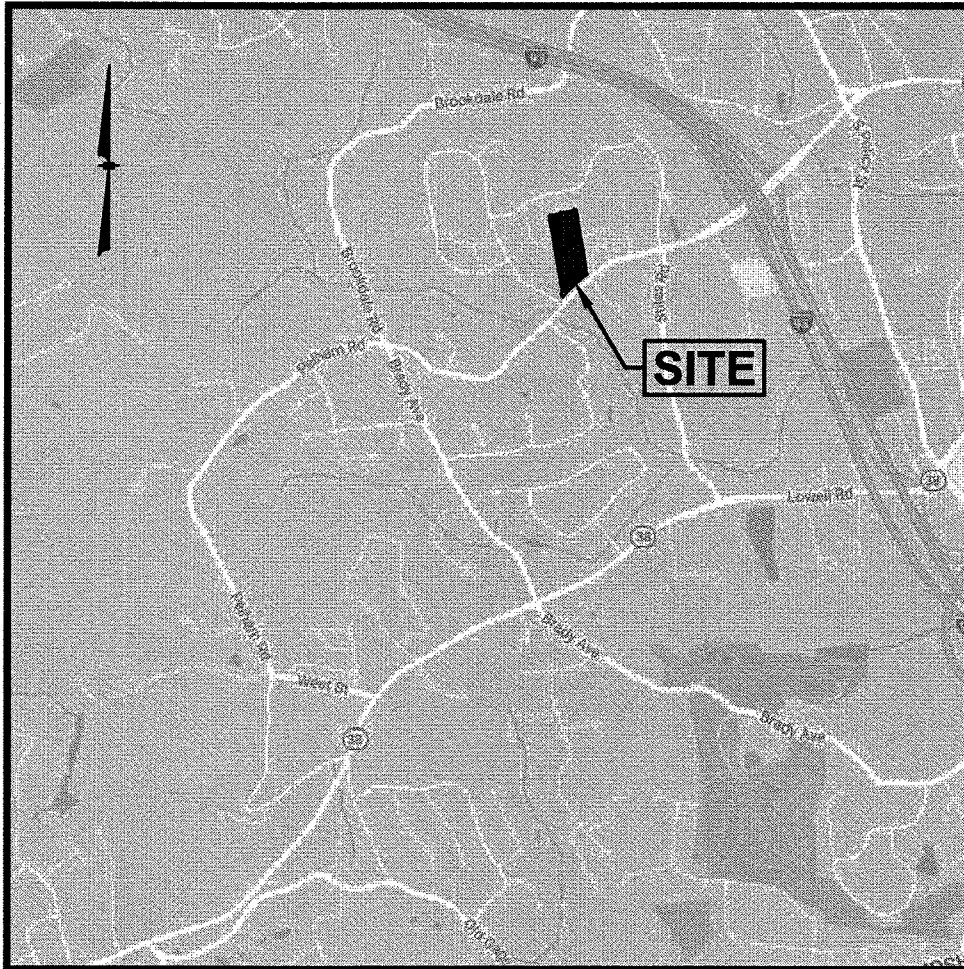
MAP 96 LOT 7775
419,350 Sq.Ft.
9.62 Ac.±

MATCH LINE SHEET 4
MATCH LINE SHEET 3

0 30 60 100
SCALE: 1" = 30'

1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE
REVISIONS			
EXISTING CONDITIONS PLAN			
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810			
GPI 603.893.0720 GPINET.COM		Engineering Design Planning Construction Management Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079	
SCALE: 1" = 30'		DATE: APRIL 3, 2023	
		OWNER OF RECORD YOUNG LAND HOLDINGS, LLC 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819	
		SALEM PLANNING BOARD APPROVAL	
ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
CSS	AKC	2200130_SV	NEX-2200130
		SHEET No.	4 OF 25

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LOCATION MAP
(NOT TO SCALE)

SOIL LEGEND

- WETLAND LINE
- 361BH SOIL TYPE DESIGNATION
- SOIL BOUNDARY

LEGEND

- CCB CAPE COD BERM
- DSLY DOUBLE SOLID LINE YELLOW
- SSLW SINGLE SOLID LINE WHITE
- G GAS LINE
- T UNDERGROUND TELEPHONE
- W WATER LINE
- E UNDERGROUND ELECTRIC
- CHAIN LINK FENCE
- STOCKADE FENCE
- POST & RAIL FENCE
- WIRE FENCE
- 90 CONTOUR ELEVATION
- TREE
- UTILITY POLE
- GUY WIRE
- OVERHEAD WIRE
- TREELINE
- SIGN
- SPOT ELEVATION
- DRAIN MANHOLE
- CATCH BASIN
- ROOF DRAIN
- CLEANOUT
- VENT
- SEWER MANHOLE
- TELEPHONE MANHOLE
- ELECTRIC MANHOLE
- WATER MANHOLE
- MANHOLE
- GAS VALVE
- GAS SHUT OFF
- WATER VALVE
- WATER SHUT OFF
- FIRE HYDRANT
- BOLLARD
- GAS METER
- ELECTRIC METER
- LIGHT POLE
- WETLAND LINE
- WATER FEATURE
- UNDERGROUND COMM
- DITCH LINE
- EASEMENT LINE
- PROPERTY LINE
- ABUTTER PROPERTY LINE
- BUILDING SETBACK
- SOIL TYPE LINE
- ZONE LINE
- FLOOD ZONE LINE

SITE SPECIFIC SOIL MAP LEGEND

MAP UNIT SYMBOL	MAP UNIT NAME	HISS SYMBOL	HYDROLOGIC SOIL GROUP
163	CHARLTON, EXTREMELY STONY	227	B
444	NEWFIELDS SANDY LOAM	321	B
514	LEICESTER SANDY LOAM	521	C
915	DEERFIELD VARIANT (SWPD)	411	C
100B/DCABB	UDORTHENTS, WET SUBSTRATUM	481	C
299A/DAABB	UDORTHENTS, SMOOTHED	361	B
400D/DAABB	UDORTHENTS, GRAVELLY	361	B

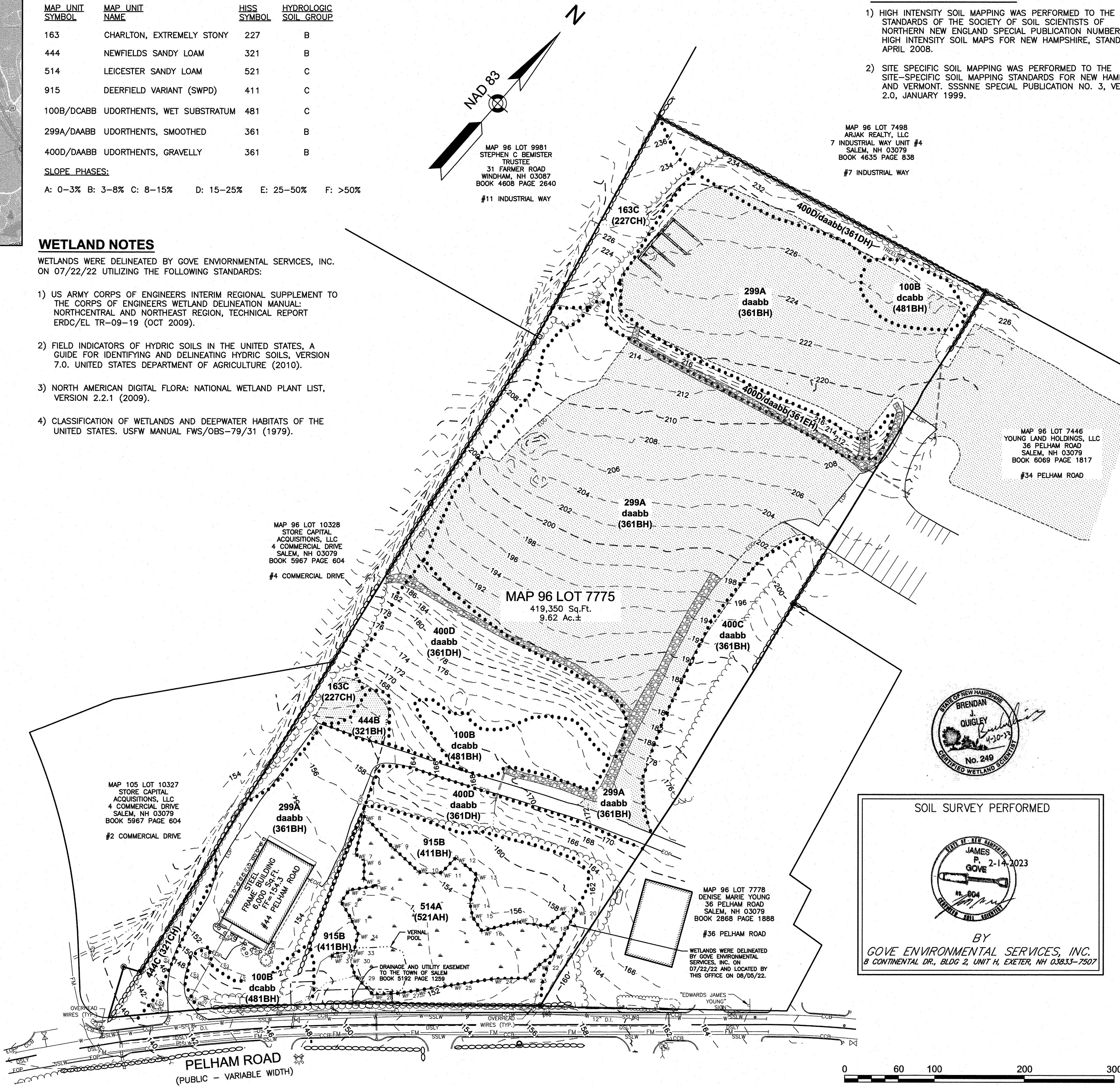
SLOPE PHASES:

A: 0-3% B: 3-8% C: 8-15% D: 15-25% E: 25-50% F: >50%

WETLAND NOTES

WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. ON 07/22/22 UTILIZING THE FOLLOWING STANDARDS:

- 1) US ARMY CORPS OF ENGINEERS INTERIM REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERDC/EL TR-09-19 (OCT 2009).
- 2) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2010).
- 3) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.2.1 (2009).
- 4) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFW MANUAL FWS/OBS-79/31 (1979).

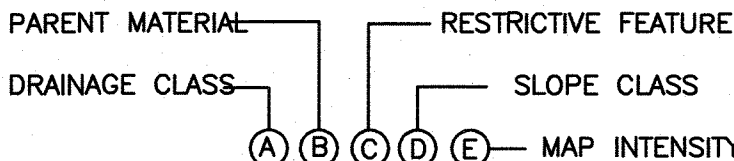


SOIL MAPPING NOTES

- 1) HIGH INTENSITY SOIL MAPPING WAS PERFORMED TO THE STANDARDS OF THE SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND SPECIAL PUBLICATION NUMBER 1, HIGH INTENSITY SOIL MAPS FOR NEW HAMPSHIRE, STANDARDS, APRIL 2008.
- 2) SITE SPECIFIC SOIL MAPPING WAS PERFORMED TO THE SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT. SSSNE SPECIAL PUBLICATION NO. 3, VERSION 2.0, JANUARY 1999.

KEY TO SOIL TYPES

THE SOIL TYPES ARE DEFINED BY SOIL CHARACTERISTICS; AND DESIGNATED WITH A FIVE PART SYMBOL.



SYMBOL: A DRAINAGE CLASS

- 1- EXCESSIVELY DRAINED
- 2- WELL DRAINED
- 3- MODERATELY WELL DRAINED
- 4- SOMEWHAT POORLY DRAINED
- 5- POORLY DRAINED
- 6- VERY POORLY DRAINED
- 7- NOT DETERMINABLE (TO BE USED ONLY WITH SYMBOL B-6)

SYMBOL: B PARENT MATERIAL

- 1- GLACIOFLUVIAL DEPOSITS (OUTWASH/TERRACES OF SAND OR SAND AND GRAVEL).
- 2- GLACIAL TILL MATERIAL (ACTIVE ICE) MARINE OR GLACIOLACUSTRINE DEPOSITS (3,4 OR 5)
- 3- VERY FINE SAND AND SILT DEPOSITS (GLACIAL LAKES)
- 4- LOAMY/SANDY OVER SILT/CLAY DEPOSITS
- 5- SILT AND CLAY DEPOSITS (OCEAN WATERS)
- 6- EXCAVATED, REGRADED OR FILLED (SEE CONNOTATIVE SOIL LEGEND)
- 7- ALLUVIAL DEPOSITS (FLOOD PLAINS)
- 8- ORGANIC MATERIALS - FRESH WATER BOGS, ETC.
- 9- ORGANIC MATERIALS - TIDAL MARSH

SYMBOL: C RESTRICTIVE FEATURES (IF MORE THAN ONE APPLIES, LIST THE MOST RESTRICTIVE)

- 1- NONE
- 2- BOULDERS, WITH MORE THAN 15% OF THE SURFACE COVERED WITH BOULDERS (LARGER THAN 24 INCHES IN DIAMETER).
- 3- MINERAL RESTRICTIVE LAYER(S) ARE PRESENT IN THE SOIL PROFILE LESS THAN 40 INCHES BELOW THE SOIL SURFACE - SUCH AS HARD PAN, PLATY STRUCTURE AND CLAYEY TEXTURE. FOR EXAMPLES OF SOIL CHARACTERISTICS THAT QUALIFY FOR RESTRICTIVE LAYER, SEE SOIL MANUAL FOR SITE EVALUATIONS IN NEW HAMPSHIRE, 2ND ED. PAGE 3-17, FIGURE 3-14.
- 4- BEDROCK PRESENT IN THE SOIL PROFILE 0-20 INCHES BELOW THE SOIL SURFACE (BEDROCK IS EITHER A LITHIC OR A PARALITHIC CONTACT - SEE USER NOTE: SOIL TAXONOMY).
- 5- SUBJECT TO FLOODING.
- 6- DOES NOT MEET FILL STANDARDS (SEE ADDENDUM - STANDARDS FOR FILL MATERIAL) (ONLY TO BE USED WITH SYMBOL B-6).
- 7- BEDROCK PRESENT IN THE SOIL PROFILE 20 TO 40 INCHES BELOW THE SOIL SURFACE. (BEDROCK IS EITHER LITHIC OR PARALITHIC CONTACT; SEE SOIL TAXONOMY).
- 8- AREAS WHERE DEPTH TO BEDROCK IS SO VARIABLE THAT A SINGLE SOIL TYPE CANNOT BE APPLIED, WILL BE MAPPED AS A COMPLEX OF SOIL TYPES AND WILL HAVE A SYMBOL C OF 8.

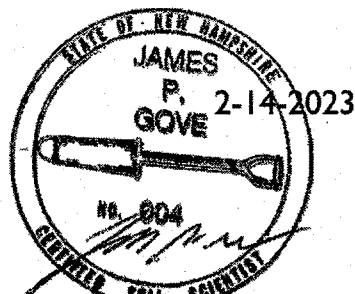
SYMBOL: D SLOPE CLASS

- B- 0% TO 8%
- C- 8% TO 15%
- D- 15% TO 25%
- E- 25% +

SYMBOL: E HIGH INTENSITY SOIL MAP IDENTIFIER - H.



SOIL SURVEY PERFORMED



BY
GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DR., BLDG 2, UNIT H, EXETER, NH 03833-7507

0 60 100 200 300
SCALE: 1" = 60'

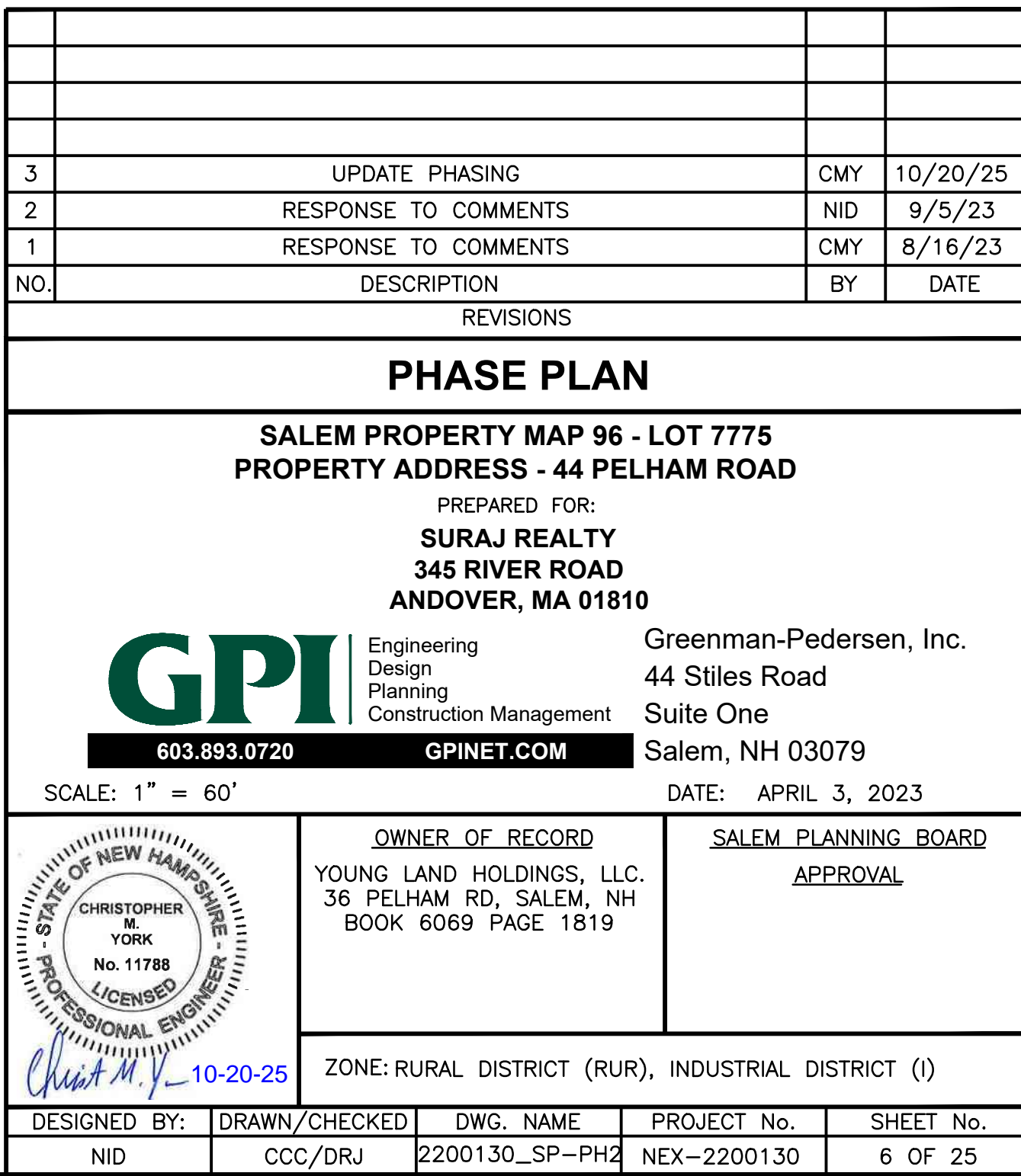
2	RESPONSE TO COMMENTS	CMY	8/16/23
1	ADD VERNAL POOL LOCATION	NID	4/24/23
NO.	DESCRIPTION	BY	DATE
REVISIONS			
SOIL SURVEY MAP			
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD			
PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810			
GPI 603.893.0720		Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079 GPI.NET.COM	
SCALE: 1" = 60'		DATE: APRIL 3, 2023	
OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819		SALEM PLANNING BOARD APPROVAL	
ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
CSS	AJC	2200130_SV	NEX-2200130
		SHEET No.	5 OF 25

	CAPE COD BERM
	DOUBLE SOLID LINE YELLOW
	SINGLE SOLID LINE WHITE
	GAS LINE
	UNDERGROUND TELEPHONE
	WATER LINE
	UNDERGROUND ELECTRIC
	CHAIN LINK FENCE
	STOCKADE FENCE
	POST & RAIL FENCE
	WIRE FENCE
	CONTOUR ELEVATION
	TREE
	UTILITY POLE
	GUY WIRE
	OVERHEAD WIRE
	TREELINE
	SIGN
	SPOT ELEVATION
	DRAIN MANHOLE
	CATCH BASIN
	ROOF DRAIN
	CLEANOUT
	VENT
	SEWER MANHOLE
	TELEPHONE MANHOLE
	ELECTRIC MANHOLE
	WATER MANHOLE
	MANHOLE
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	ABUTTER PROPERTY LINE
	BUILDING SETBACK
	SOIL TYPE LINE
	ZONE LINE
	FLOOD ZONE LINE

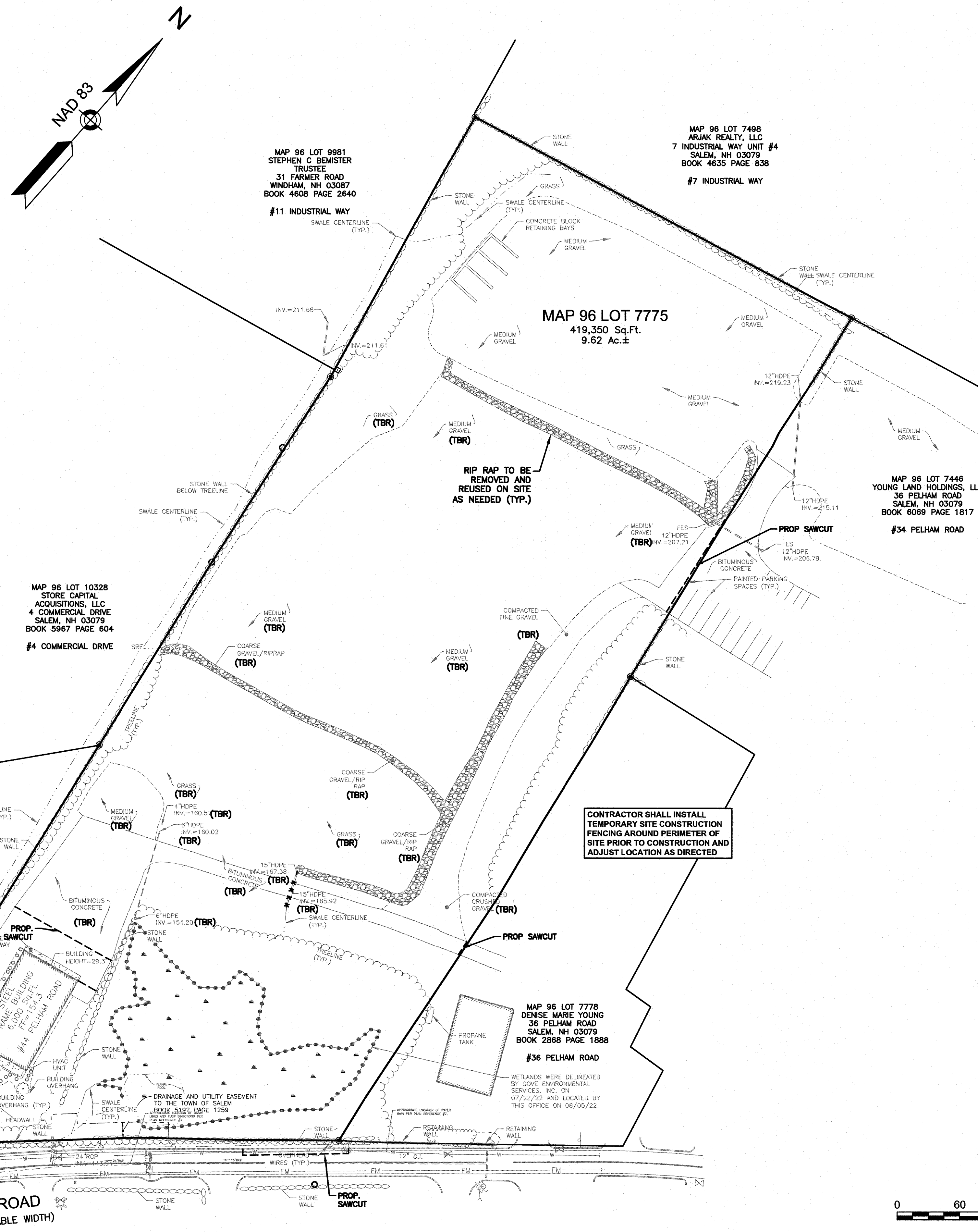
A map of the area around Brookdate Rd and I-93. The map shows Brookdate Rd running horizontally across the top. I-93 runs vertically on the right side. I-30 runs horizontally at the bottom. Brookdate Rd intersects with Busby Ave and Lowell Rd. A hatched area labeled 'SITE' is located between Brookdate Rd and Busby Ave. A north arrow is in the top left corner.

NOTES:

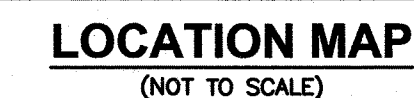
1) A CONDITIONAL USE PERMIT WAS GRANTED FROM THE PLANNING BOARD PER SECTION 490-706.1 TO ALLOW A 4,880 SF WETLAND IMPACT AND WORK WITHIN THE WETLAND BUFFERS.




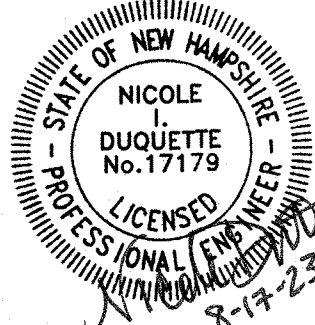
CCB	CAPE COD BERM
DSLY	DOUBLE SOLID LINE YELLOW
SSLLW	SINGLE SOLID LINE WHITE
G	GAS LINE
T	UNDERGROUND TELEPHONE
W	WATER LINE
E	UNDERGROUND ELECTRIC
	CHAIN LINK FENCE
	STOCKADE FENCE
	POST & RAIL FENCE
X	WIRE FENCE
90	CONTOUR ELEVATION
•	TREE
	UTILITY POLE
	GUY WIRE
	OVERHEAD WIRE
	TREELINE
	SIGN
1-3456	SPOT ELEVATION
①	DRAIN MANHOLE
□	CATCH BASIN
⊗	ROOF DRAIN
⊗	CLEANOUT
⊙	VENT
⊙	SEWER MANHOLE
①	TELEPHONE MANHOLE
⊖	ELECTRIC MANHOLE
⊖	WATER MANHOLE
⊖	MANHOLE
	GAS VALVE
	GAS SHUT OFF
	WATER VALVE
	WATER SHUT OFF
	FIRE HYDRANT
	BOLLARD
	GAS METER
	ELECTRIC METER
☆	LIGHT POLE
	WETLAND LINE
	WATER FEATURE
1/541	UNDERGROUND COMM
	DITCH LINE
	EASEMENT LINE
	PROPERTY LINE
	ABUTTER PROPERTY LINE
	BUILDING SETBACK
	SOIL TYPE LINE
	ZONE LINE
	FLOOD ZONE LINE
TBR	TO BE REMOVED
- * * * * *	TO BE REMOVED



- 1) ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN STRICT ACCORDANCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR TO INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL PLAN PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
- 2) CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT INJURY, DAMAGE TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
- 3) REFRAIN FROM USING EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
- 4) CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED FACILITIES WITHOUT THE PRIOR WRITTEN PERMISSION OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATIVE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
- 5) USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURE AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
- 6) ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- 7) COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS LAYERS NOT EXCEEDING 18 INCHES IN LOCAL DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 90% OPTIMUM DENSITY, GRADE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
- 8) REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SUBSTANCES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENTS.
- 9) PROTECT EXISTING DRAINAGE SYSTEM(S) AS NECESSARY TO PREVENT SEDIMENT FROM ENTERING DURING CONSTRUCTION. SEE DETAIL SHEETS FOR EROSION CONTROL DEVICES.
- 10) ALL WORK WITHIN ROADWAY RIGHT-OF-WAYS SHALL CONFORM TO TOWN STANDARDS.
- 11) THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
- 12) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY DIG SAFE (DAL 811) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER DEPARTMENT TO MARK OUT THEIR UTILITIES.
- 13) NOTES ON THIS PLAN THAT READ "TBR" REPRESENT FEATURES TO BE REMOVED. ANY FEATURES NOT LABELED "TBR" OR "TO BE REMOVED" SHALL BE CONSIDERED EXISTING TO REMAIN.
- 14) SEE LANDSCAPE PLAN FOR LIMITS OF CLEARING AND GRUBBING. AFTER CLEARING, STRIP AND STOCKPILE TOP SOIL PER LANDSCAPE PLAN, IF APPLICABLE.



SEE GENERAL NOTES FOR CONSTRUCTION SEQUENCE AND TEMPORARY EROSION CONTROL MEASURES, SEE EROSION & SEDIMENT CONTROL PLAN FOR LOCATION OF EROSION CONTROL DEVICES. SEE LANDSCAPE PLAN FOR LIMITS OF CLEARING.

1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE
REVISIONS			
DEMOLITION PLAN			
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD			
PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810			
		Greenman-Pedersen, Inc. 44 Stiles Road Suite One	
603.893.0720		GPINET.COM	
SCALE: 1" = 60'		DATE: APRIL 3, 2023	
 NICOLE DUQUETTE No. 17179 LICENSED PROFESSIONAL ENGINEER STATE OF NEW HAMPSHIRE 8-17-23	<u>OWNER OF RECORD</u> YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819		<u>SALEM PLANNING BOARD</u> <u>APPROVAL</u>
	ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)		
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
NID	CCC/DRJ	2200130_SP-PH1	NFX-2200130
			SHEET No.
			7 OF 25



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LEGEND

CCB	CAPE COD BERM
DSLY	DOUBLE SOLID LINE YELLOW
SSLW	SINGLE SOLID LINE WHITE
G	GAS LINE
T	UNDERGROUND TELEPHONE
W	WATER LINE
E	UNDERGROUND ELECTRIC
CL	CHAIN LINK FENCE
ST	STOCKADE FENCE
PR	POST & RAIL FENCE
WF	WIRE FENCE
90	CONTOUR ELEVATION
T	TREE
UP	UTILITY POLE
GW	GUY WIRE
OW	OVERHEAD WIRE
TL	TREELINE
S	SIGN
SE	SPOT ELEVATION
DM	DRAIN MANHOLE
CB	CATCH BASIN
RD	ROOF DRAIN
CN	CLEANOUT
V	VENT
SM	SEWER MANHOLE
TM	TELEPHONE MANHOLE
EM	ELECTRIC MANHOLE
WM	WATER MANHOLE
M	MANHOLE
GV	GAS VALVE
GS	GAS SHUT OFF
WS	WATER VALVE
WSH	WATER SHUT OFF
FD	FIRE HYDRANT
B	BOLLARD
GM	GAS METER
EM	ELECTRIC METER
LP	LIGHT POLE
WL	WETLAND LINE
WF	WATER FEATURE
UC	UNDERGROUND COMM
DL	DITCH LINE
EL	EASEMENT LINE
PL	PROPERTY LINE
APL	ABUTTER PROPERTY LINE
BS	BUILDING SETBACK
SL	SOIL TYPE LINE
ZL	ZONE LINE
FL	FLOOD ZONE LINE



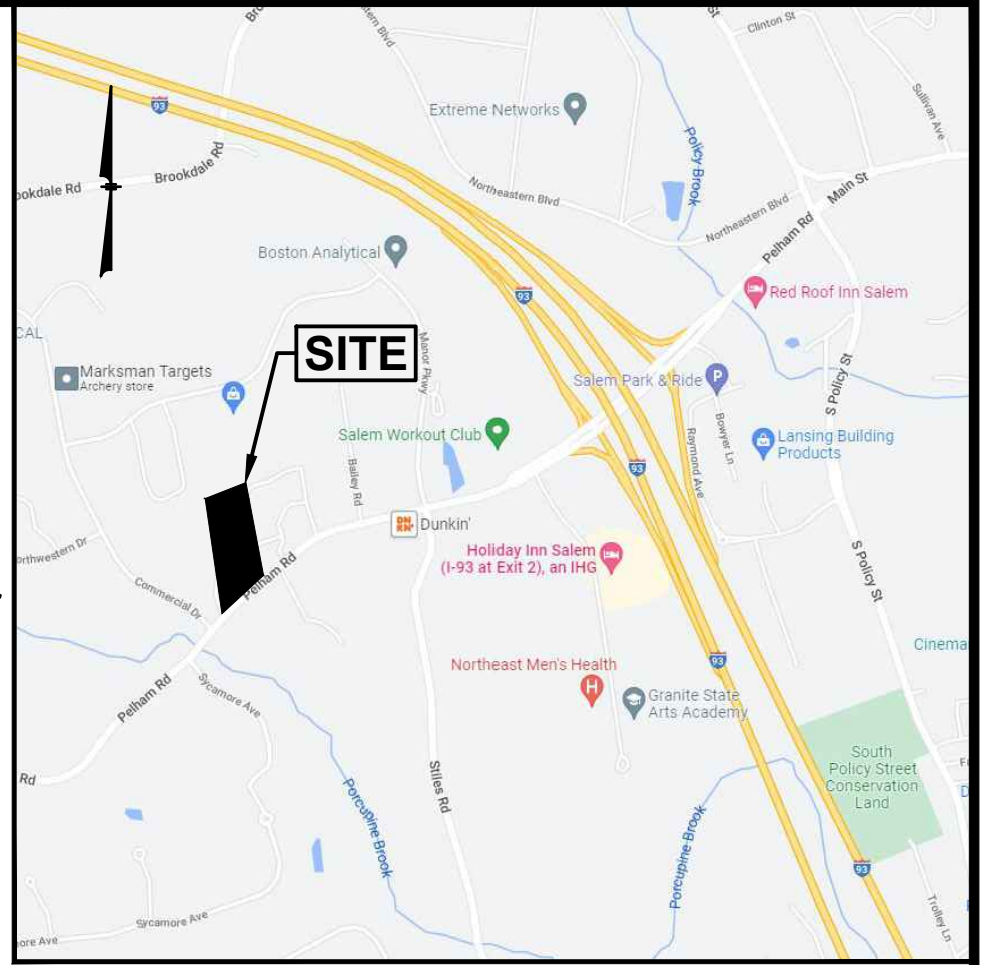
MAP 105 LOT 10327
STORE, CAPITAL
ACQUISITIONS, LLC
4 COMMERCIAL DRIVE
SALEM, NH 03079
BOOK 5967 PAGE 604
#2 COMMERCIAL DRIVE

①	NUMBER OF PARKING SPACES
T.D.	TIP DOWN CURB
C.O.	PROP. CLEANOUT
CB-1	PROP. CATCH BASIN
DMH-1	PROP. DRAIN MANHOLE
SMH-1	PROP. SEWER MANHOLE
✕	PROP. GATE VALVE

SIGN KEY		
SIGN I.D. NUMBER	TEXT/COLOR	SIZE/REMARKS
R1-1	STOP R/W	30" x 30" NEW SIGN WITH POST
R7-8	G/B/W	12" x 18" NEW SIGN WITH POST
R7-8A	G/W	6" x 12"

GUARDRAIL

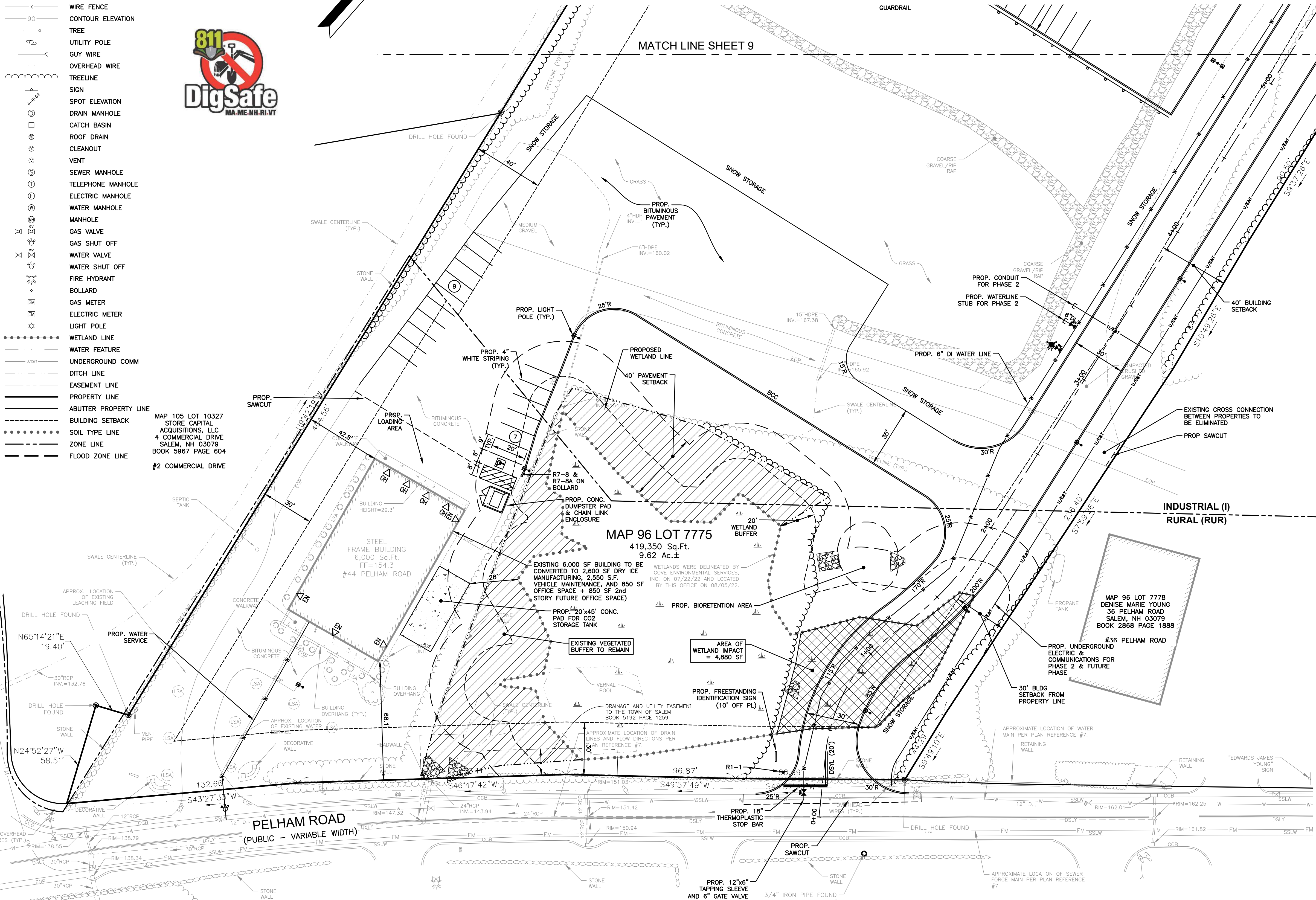
MATCH LINE SHEET 9



LOCATION MAP
(NOT TO SCALE)

NOTES:

1) SEE SHEET 2 FOR SITE AND UTILITY NOTES.



INDUSTRIAL (I)
RURAL (RUR)

NO.	DESCRIPTION	BY	DATE
4	MISC REVS.	CMY	10/20/25
3	RESPONSE TO COMMENTS	CMY	4/15/25
2	RESPONSE TO COMMENTS	NID	9/5/23
1	RESPONSE TO COMMENTS	CMY	8/16/23

PHASE 1 - SITE & UTILITY PLAN

SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

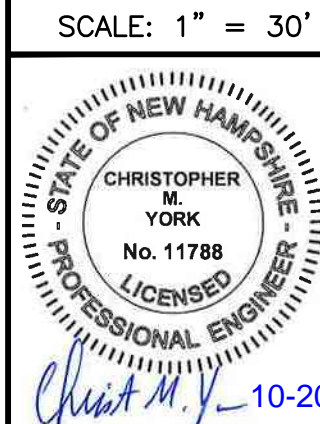
PREPARED FOR:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810

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Engineering
Design
Planning
Construction Management

603.893.0720

Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

DATE: APRIL 3, 2023



OWNER OF RECORD
YOUNG LAND HOLDINGS, LLC.
36 PELHAM RD, SALEM, NH
BOOK 6069 PAGE 1819

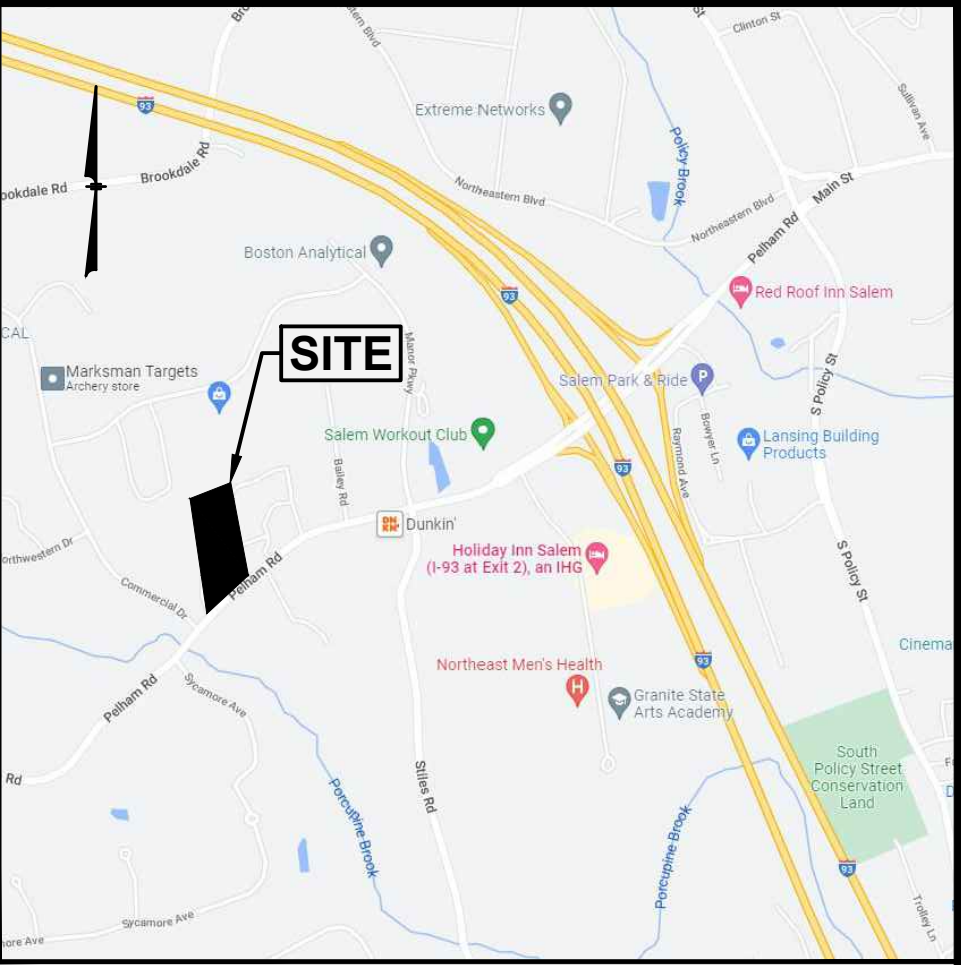
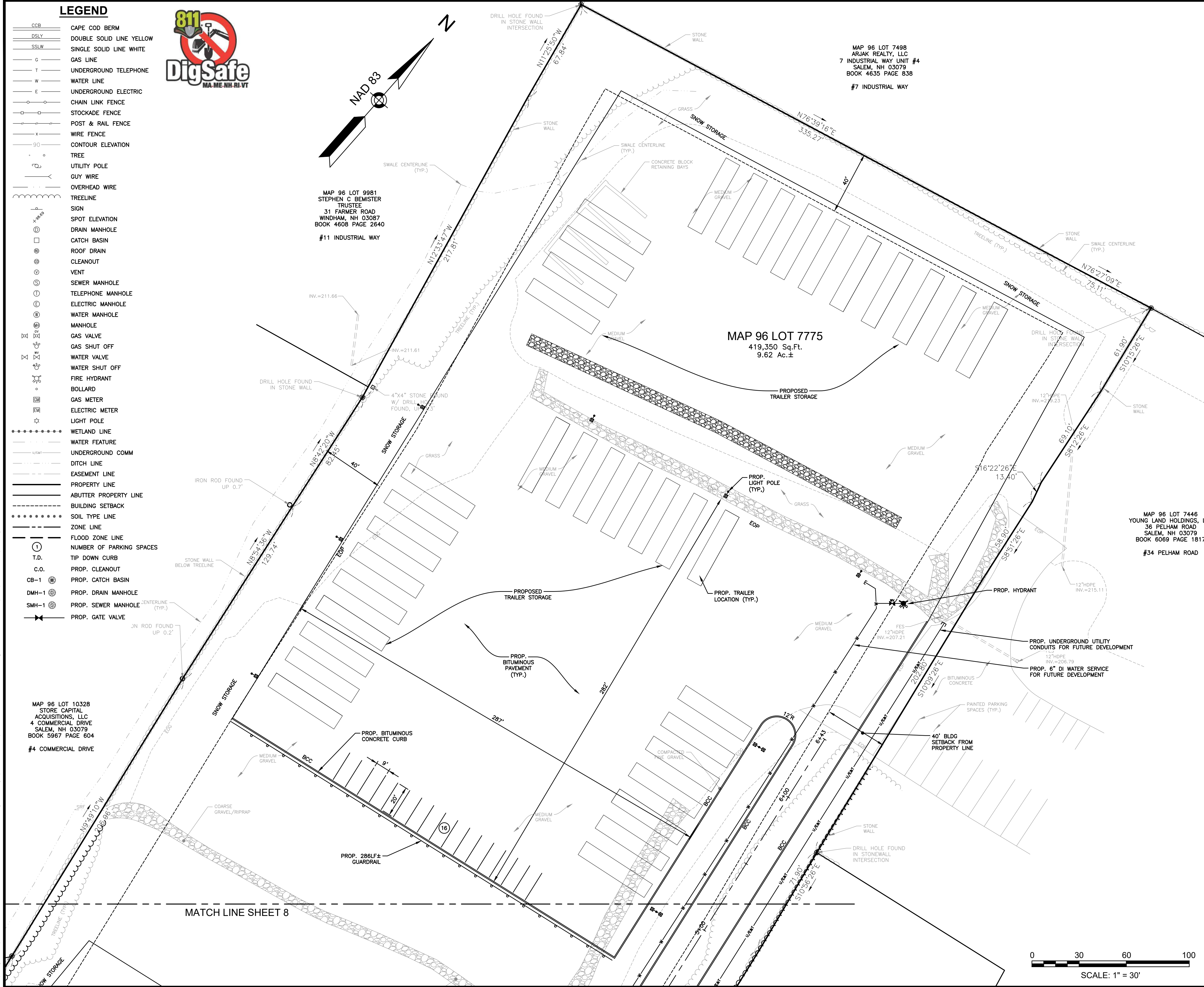
SALEM PLANNING BOARD
APPROVAL

ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_SP-PH1	NEX-2200130	8 OF 25



0 30 60 100
SCALE: 1" = 30'

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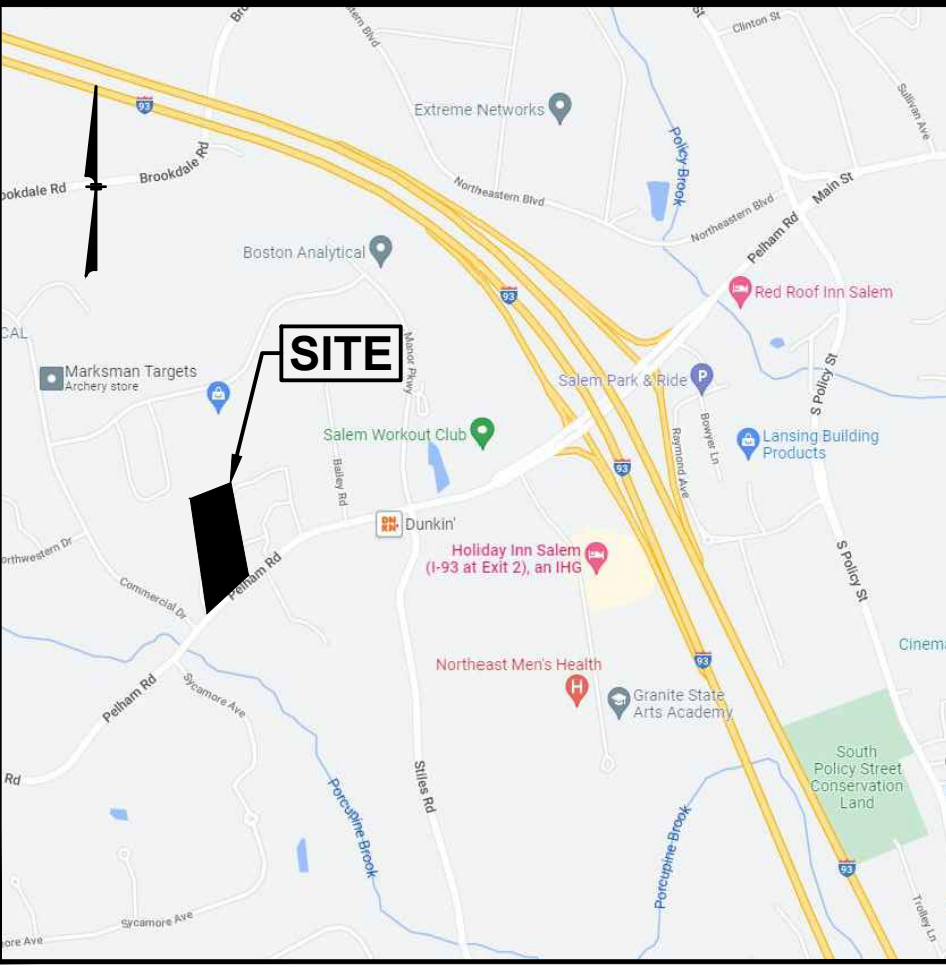
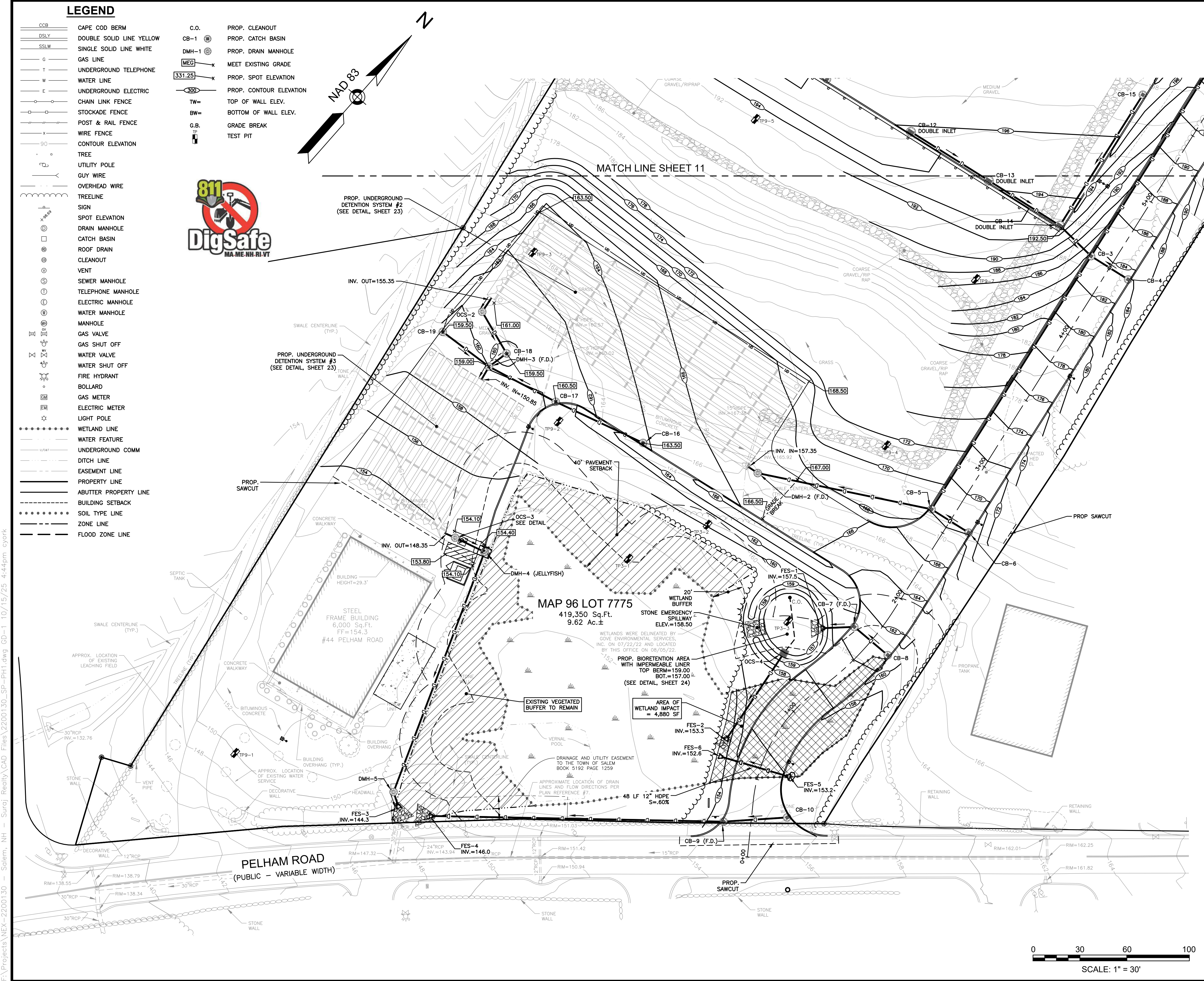


LOCATION MAP
(NOT TO SCALE)

NOTES:
1) SEE SHEET 2 FOR SITE AND UTILITY NOTES.

3	MISC REVS.	CMY	10/20/25
2	RESPONSE TO COMMENTS	CMY	4/15/25
1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE
REVISIONS			
PHASE 1 - SITE & UTILITY PLAN			
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD			
PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810			
 603.893.0720 GPI.NET.COM		Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079	
SCALE: 1" = 30'		DATE: APRIL 3, 2023	
 Christ M. York 10-20-25		OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819	SALEM PLANNING BOARD APPROVAL
ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
NID	CCC/DRJ	2200130_SP-PH1	NEX-2200130
		SHEET No.	9 OF 25

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LOCATION MAP
(NOT TO SCALE)

NOTES:
1) SEE SHEET 2 FOR GRADING & DRAINAGE NOTES.
2) SEE SHEET 12 FOR DRAINAGE STRUCTURE AND PIPE SCHEDULES.

8	MISC REVS.	CMY	10/20/25
7	RESPONSE TO COMMENTS	CMY	5/30/25
6	RESPONSE TO COMMENTS	CMY	4/30/25
5	RESPONSE TO COMMENTS	CMY	4/15/25
4	ADDRESS AOT COMMENTS	CMY	10/23/23
3	ADDRESS AOT COMMENTS	CMY	10/3/23
2	RESPONSE TO COMMENTS	NID	9/5/23
NO.	DESCRIPTION	BY	DATE

PHASE 1 - GRADING & DRAINAGE PLAN

SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

PREPARED FOR:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810

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Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

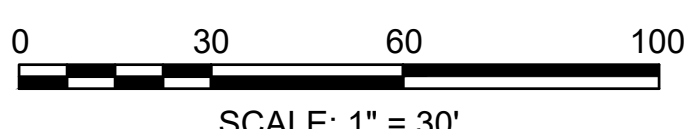
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DATE: APRIL 3, 2023

OWNER OF RECORD
YOUNG LAND HOLDINGS, LLC.
36 PELHAM RD., SALEM, NH
BOOK 6069 PAGE 1819

SALEM PLANNING BOARD
APPROVAL

ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)

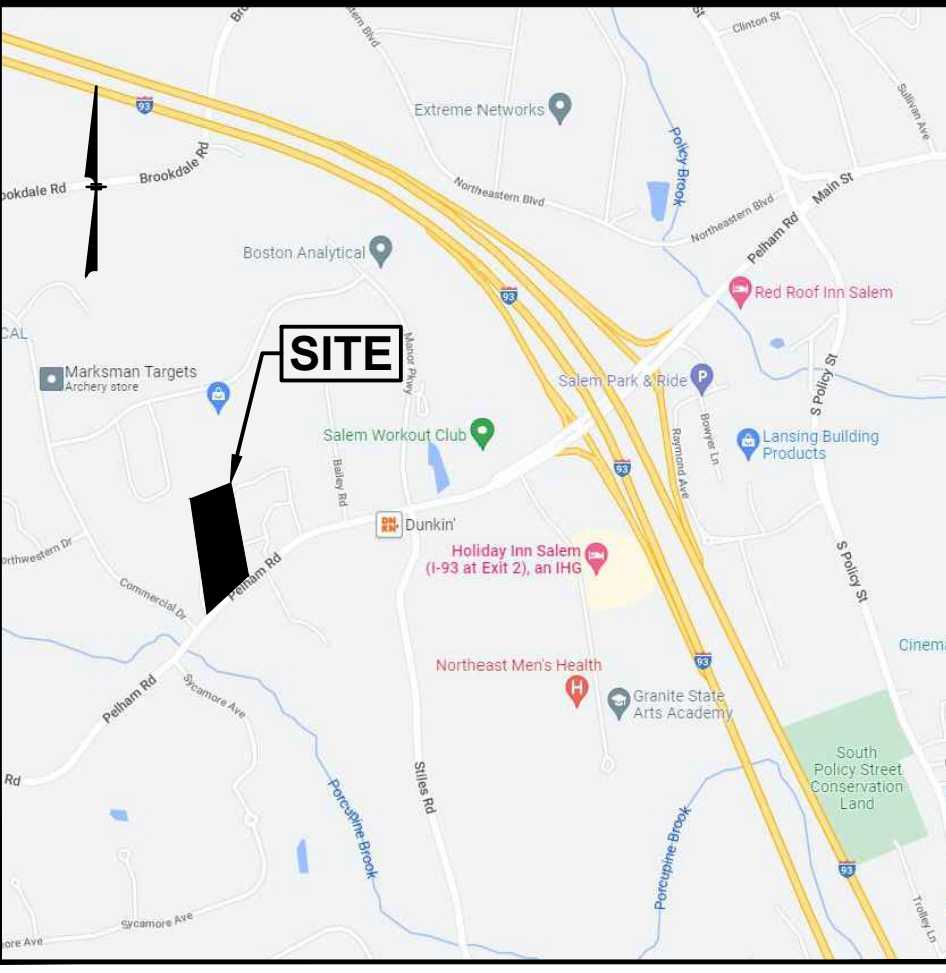
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DWG. NAME: 2200130_SP-PH1
PROJECT No.: NEX-2200130
SHEET No.: 10 OF 25



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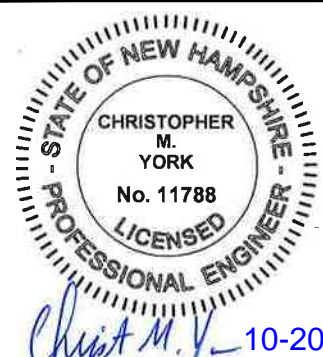
- LEGEND**
- CCB CAPE COD BERM
 - DSLY DOUBLE SOLID LINE YELLOW
 - SSLW SINGLE SOLID LINE WHITE
 - G GAS LINE
 - T UNDERGROUND TELEPHONE
 - W WATER LINE
 - E UNDERGROUND ELECTRIC
 - CLF CHAIN LINK FENCE
 - SF STOCKADE FENCE
 - PRF POST & RAIL FENCE
 - WF WIRE FENCE
 - CE CONTOUR ELEVATION
 - TREE
 - UP UTILITY POLE
 - GW GUY WIRE
 - OW OVERHEAD WIRE
 - TL TREELINE
 - SIGN
 - SE SPOT ELEVATION
 - DM DRAIN MANHOLE
 - CB CATCH BASIN
 - RD ROOF DRAIN
 - CL CLEANOUT
 - V VENT
 - SM SEWER MANHOLE
 - TM TELEPHONE MANHOLE
 - EM ELECTRIC MANHOLE
 - WM WATER MANHOLE
 - M MANHOLE
 - GV GAS VALVE
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 - WSS WATER SHUT OFF
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 - SL SOIL TYPE LINE
 - ZL ZONE LINE
 - FL FLOOD ZONE LINE

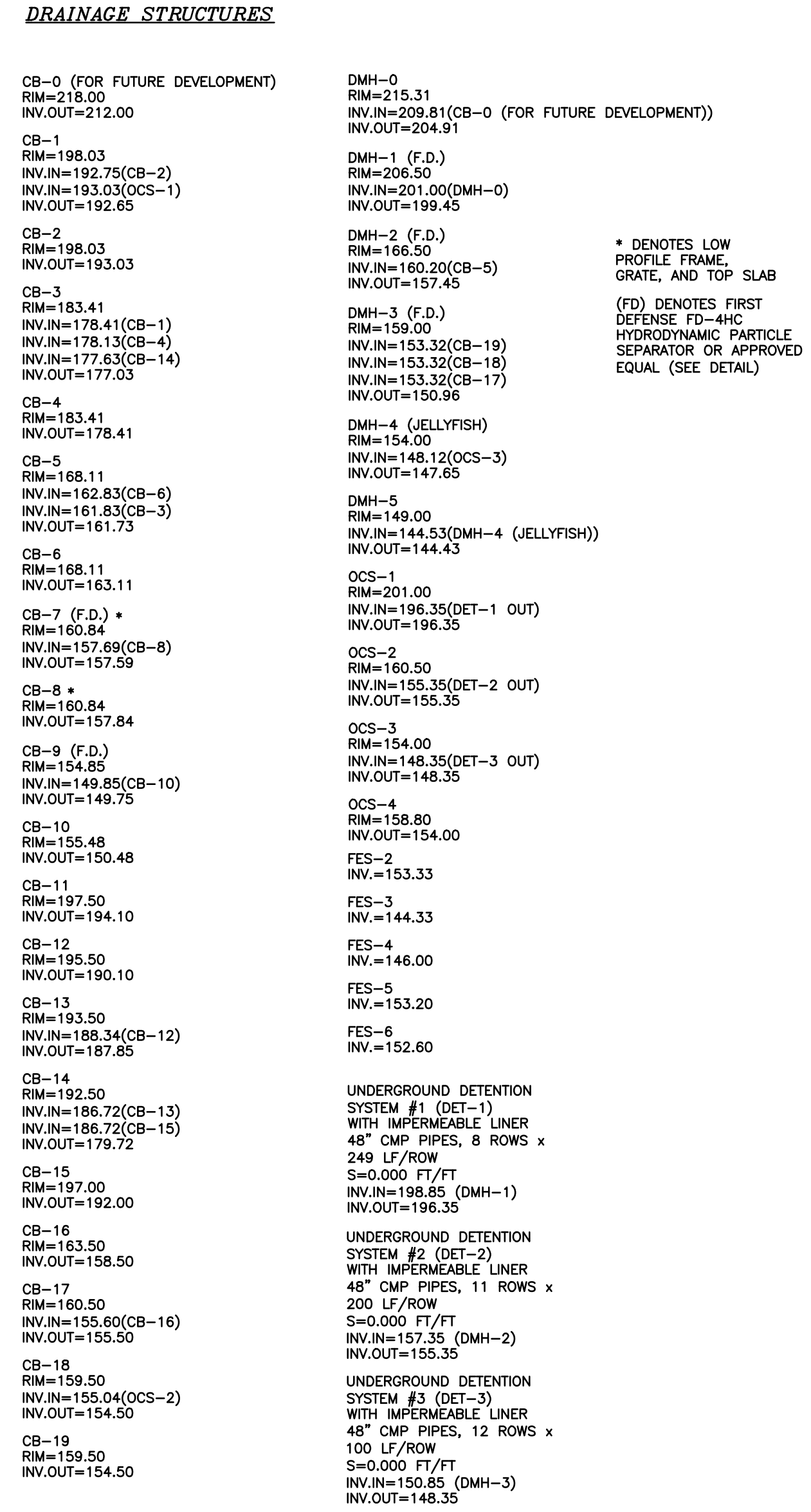


LOCATION MAP
(NOT TO SCALE)

NOTES:

- SEE SHEET 2 FOR GRADING & DRAINAGE NOTES.
- SEE SHEET 12 FOR DRAINAGE STRUCTURE AND PIPE SCHEDULES.

6	MISC REVS.	CMY	10/20/25
5	RESPONSE TO COMMENTS	CMY	4/30/25
4	RESPONSE TO COMMENTS	CMY	4/15/25
3	ADDRESS AOT COMMENTS	CMY	10/23/23
2	ADDRESS AOT COMMENTS	CMY	10/3/23
1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE
REVISIONS			
PHASE 1 - GRADING & DRAINAGE PLAN			
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD			
PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810			
 603.893.0720 GPI.NET.COM		Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079	
SCALE: 1" = 30'		DATE: APRIL 3, 2023	
	OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 306 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819		SALEM PLANNING BOARD APPROVAL
	ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)		
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
NID	CCC/DRJ	2200130_SP-PH1	NEX-2200130
			SHEET No. 11 OF 25



DRIVEWAY PROFILE

SCALE: 1"=30'H/6'V

<i>DRAINAGE PIPE SCHEDULE</i>					
FROM: STRUCTURE NUMBER	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FEET)	SLOPE OF PIPE (FT./FT.)	TO: STRUCTURE NUMBER
DET-1 OUT	12	HDPE	15	0.000	OCS-1
DET-2 OUT	12	HDPE	11	0.000	OCS-2
DET-3 OUT	12	HDPE	7	0.000	OCS-3
DMH-0	18	HDPE	51	0.077	DMH-1 (F.D.)
DMH-1 (F.D.)	18	HDPE	14	0.043	DET-1 IN
DMH-2 (F.D.)	24	HDPE	7	0.014	DET-2 IN
DMH-3 (F.D.)	18	HDPE	10	0.011	DET-3 IN
DMH-4 (JELLYFISH)	12	HDPE	164	0.019	DMH-5
DMH-5	12	HDPE	11	0.010	FES-3
FES-5	12	HDPE	47	0.013	FES-6
OCS-1	12	HDPE	37	0.089	CB-1
OCS-2	12	HDPE	31	0.010	CB-18
OCS-3	12	HDPE	21	0.011	DMH-4 (JELLYFISH)
OCS-4	12	HDPE	67	0.010	FES-2



SCALE: 1" = 30' (H)
1" = 6' (V)

DRIVEWAY PROFILE & DRAINAGE SCHEDULE

PREPARED FOR:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810


Engineering
Design
Planning
Construction Management

Engineering
Design
Training
Construction Management
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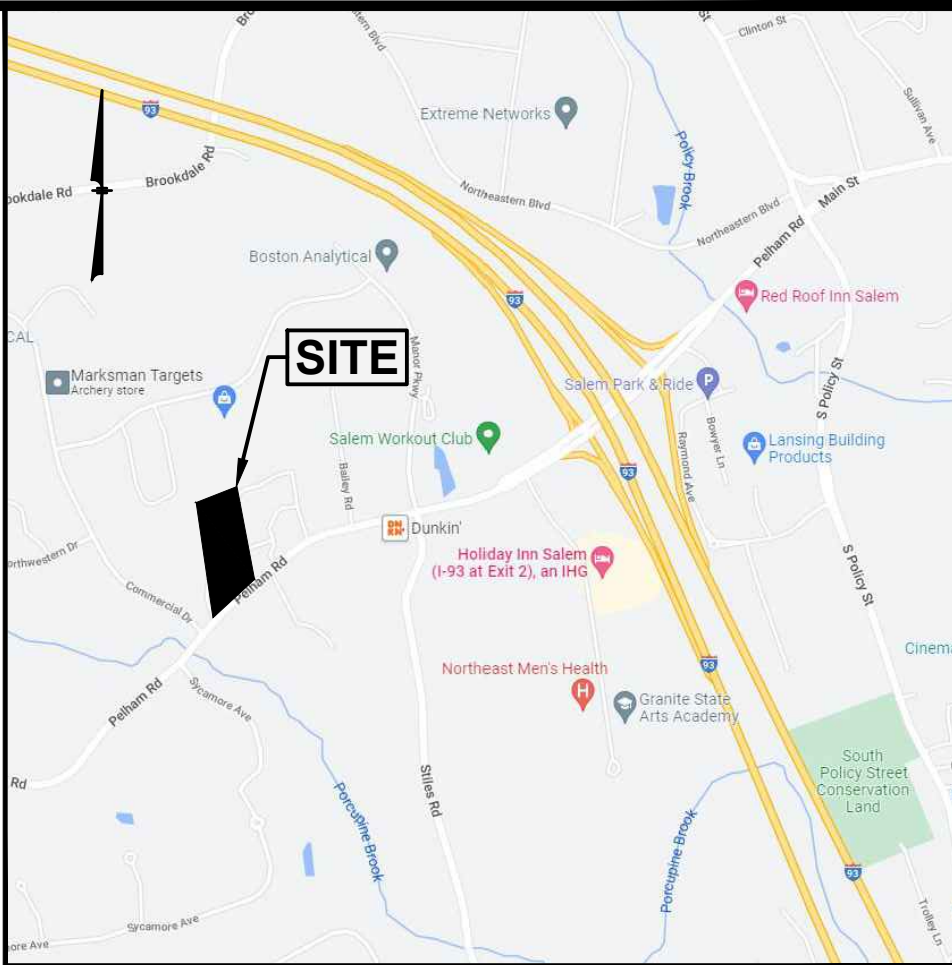
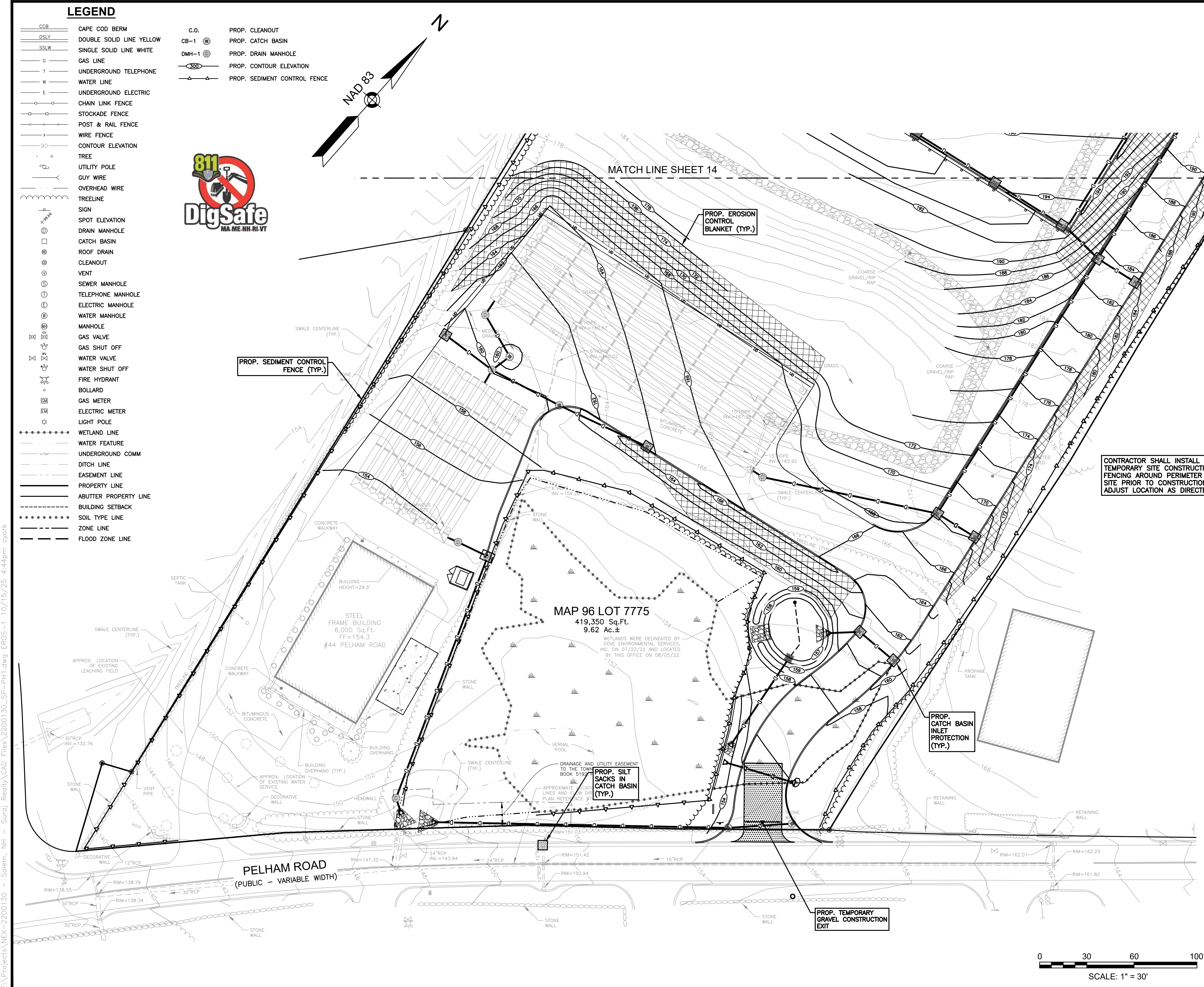
Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

GPINET.COM Salem, NH 03079

DATE: APRIL 3, 2023

	<u>OWNER OF RECORD</u> YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819		<u>SALEM PLANNING BOARD</u> <u>APPROVAL</u>	
	ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)			
DESIGNED BY:	DRAWN/CHECKED:	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_SP-PH1	NEX-2200130	12 OF 25

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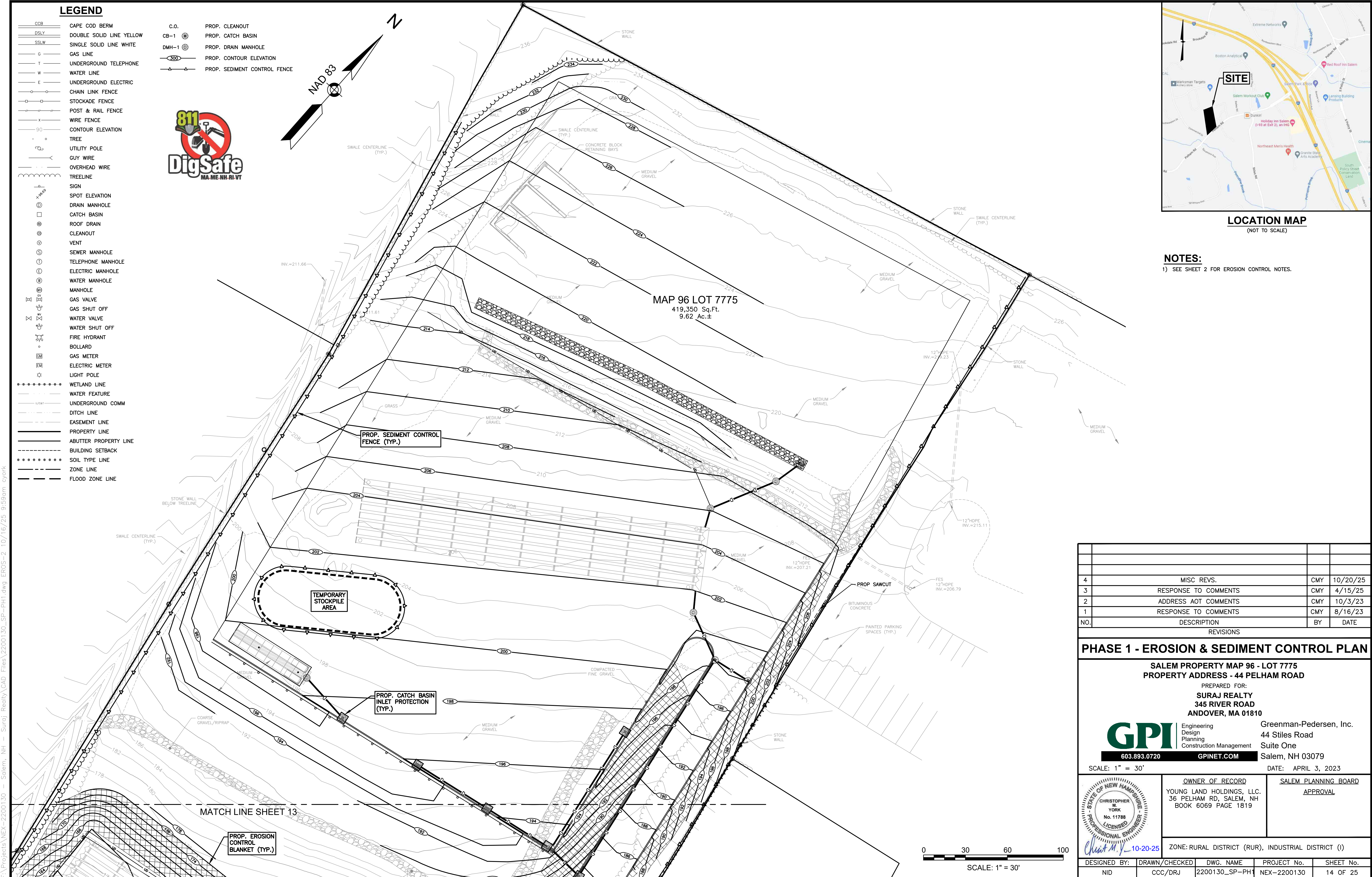


LOCATION MAP
(NOT TO SCALE)

NOTES:
1) SEE SHEET 2 FOR EROSION CONTROL NOTES.

5	MISC REVS.	CMY	10/20/25
4	RESPONSE TO COMMENTS	CMY	4/15/25
3	ADDRESS AOT COMMENTS	CMY	10/3/23
2	RESPONSE TO COMMENTS	NID	9/5/23
1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE
REVISIONS			
PHASE 1 - EROSION & SEDIMENT CONTROL PLAN			
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810			
GPI 603.893.0720 GPI.NET.COM		Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079	
SCALE: 1" = 30'		DATE: APRIL 3, 2023	
OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819		SALEM PLANNING BOARD APPROVAL	
ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
NID	CCC/DRJ	2200130_SP-PH1	NEX-2200130
		SHEET No.	13 OF 25

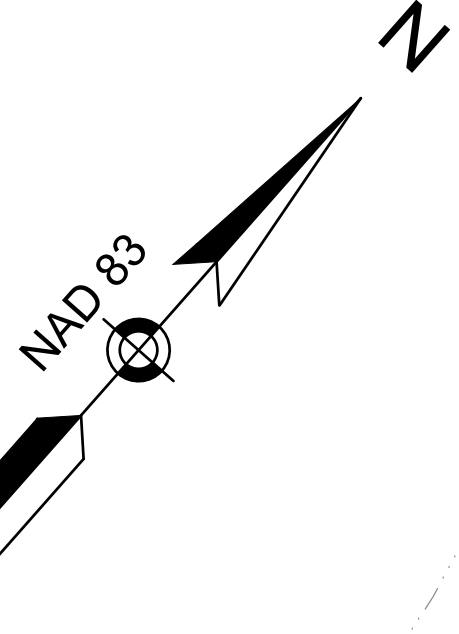
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LEGEND

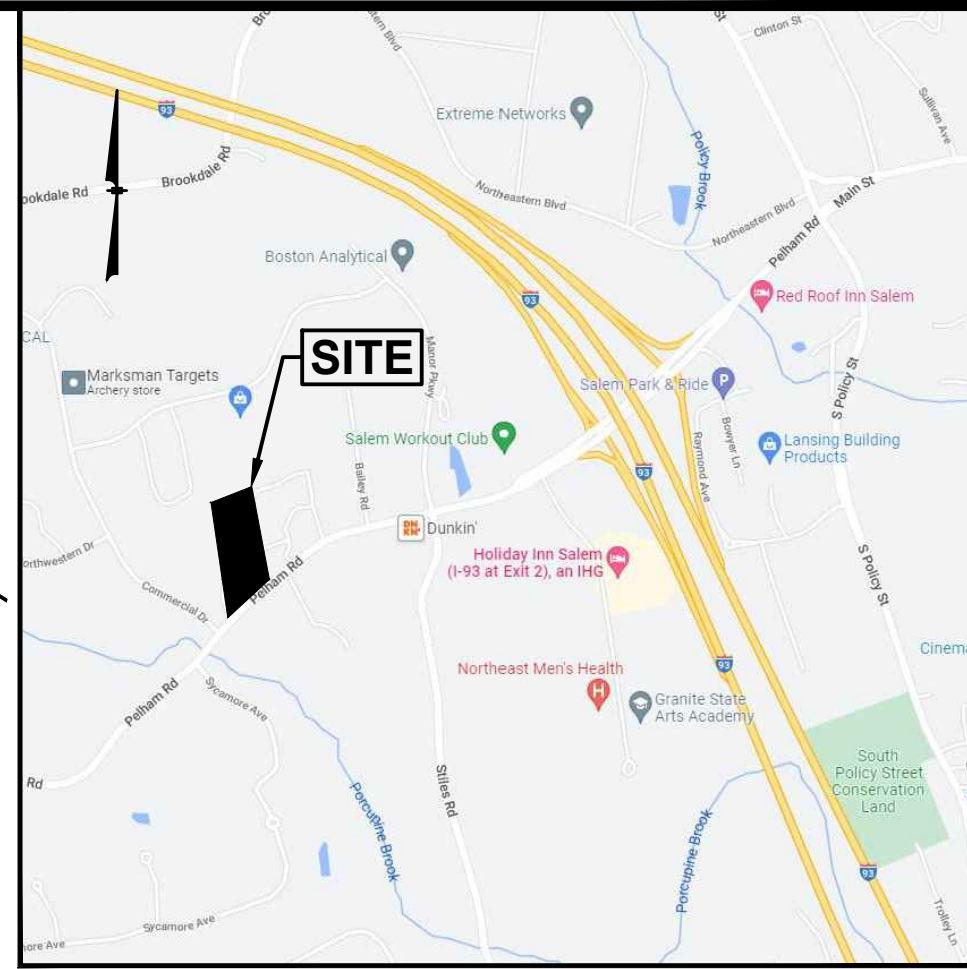
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DSLY	DOUBLE SOLID LINE YELLOW
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EL	EASEMENT LINE
PL	PROPERTY LINE
APL	ABUTTER PROPERTY LINE
BSL	BUILDING SETBACK
SL	SOIL TYPE LINE
ZL	ZONE LINE
FL	FLOOD ZONE LINE



PHASE 1 PLANTING SCHEDULE					
PLANT	QNTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALL. SIZE	REMARKS
TREES					
AR	4	ACER RUBRUM "OCTOBER GLORY"	OCTOBER GLORY RED MAPLE	2 1/2"-3" CAL. B&B	
SHRUBS					
RE	12	RHODODENDRON "ENGLISH ROSEUM"	ENGLISH ROSEUM RHODODENDRON	3 GAL., 2'-3' HT.	6' O.C.
IV	16	ILEX VERTICILLATA	COMMON WINTERBERRY (FEMALE)	3 GAL., 3'-4' HT.	8' O.C.
IV	3	ILEX VERTICILLATA	COMMON WINTERBERRY (MALE)	3 GAL., 3'-4' HT.	8' O.C.
VC	26	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	3 GAL., 2'-3' HT.	6' O.C.
VD	15	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	3 GAL., 3'-4' HT.	8' O.C.
XX PLANT DESIGNATION					
PROP. LOAM AND SEED (SEE NOTES)					

NOTES:

- ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERYMEN, INC.).
- A 4" DIA. TREE RING WITH 3" AGED PINE BARK MULCH SHALL BE INSTALLED AT BASE OF ALL TREES IN LAWN AREAS.
- THE CONTRACTOR SHALL PROVIDE TESTING OF SOILS IN PLANTING LOCATIONS. THE CONTRACTOR SHALL PROVIDE TEST RESULTS AND RECOMMENDATIONS AS NECESSARY FOR SOIL AMENDMENT TO THE ENGINEER FOR THE APPROVAL OF THE SUBSOIL.
- ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH SEED AS INDICATED ON PLANS.
- ALL SHRUB AND TREE AREAS SHALL RECEIVE 6" PH CORRECTED TOPSOIL. AFTER TOPSOIL IS SPREAD EVENLY OVER ENTIRE AREA, ALL CLOUDS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED.



LOCATION MAP (NOT TO SCALE)

- NEW ENGLAND WETMIX SHALL CONTAIN THE FOLLOWING SPECIES: FOX SEDGE (CAREX VULPINOIDEA), LURID SEDGE (CAREX LURIDA), BLUNT BROOM SEDGE (CAREX SCOPARIA), BLUE VERVAIN (VERBENA HASTATA), FOWL BLUEGRASS (POA LUPULISTRIS), HOP SEDGE (CAREX LUPULINA), GREEN BULRUSH (SCIRPUS ATROVIRENS), CREEPING SPIKE RUSH (ELEOCHARIS PALUSTRIS), FRINGED SEDGE (CAREX CRINITA), SOFT RUSH (JUNCUS EFFUSUS), SPOTTED JOE PYE WEED (EUPATORIUM MACULATUM), RATTLESNAKE GRASS (GLYCERIA CANADENSIS), SWAMP ASTER (ASTER PUNICEUS), BLUEFLAG (IRIS VERSICOLOR), SWAMP MILKWEED (ASCLEPIAS INCARNATA), SQUARE STEMMED MONKEY FLOWER (MIMULUS RINGENS).
- NEW ENGLAND NATIVE WARM SEASON GRASS MIX SHALL CONTAIN THE FOLLOWING SPECIES: LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), BIG BLUESTEM (ANDROPOGON GERARDII), VIRGINIA WILD RYE (ELYMUS VIRGINICUS), INDIAN GRASS (SORGHASTRUM NUTANS), RED FESCUE (FESTUCA RUBRA), SWITCH GRASS (PANICUM VIRGATUM).
- APPLICATION OF GRASS SEED, FERTILIZERS AND STRAW MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:
LIMESTONE: 100 LBS./1,000 SQUARE FEET.
FERTILIZER: 500 LBS/ACRE OF 10-20-20 OR 1000 LBS/ACRE OF 5-10-10.
STRAW MULCH: APPROXIMATELY 3 TONS/ACRE
NEW ENGLAND NATIVE WARM SEASON GRASS MIX: 23 LBS/ACRE
SEED MIX (SLOPES LESS THAN 4:1) LBS/ACRE
CREEPING RED FESCUE 20
TALL FESCUE 15
PERENNIAL RYEGRASS 5
REDTOP 42
SLOPE MIX (SLOPES GREATER THAN 4:1) LBS/ACRE
CREEPING RED FESCUE 20
TALL FESCUE 20
BIRDSFOOT TREEFOIL 8
48
- FOR TEMPORARY EROSION CONTROL NOTES, SEE SHEET 2.
- NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE STRAW MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 3 TONS PER ACRE.
- ANY CHANGES IN PLANT LOCATIONS OR TYPES SHALL BE APPROVED BY THE DEVELOPER, LANDOWNER AND TOWN PRIOR TO INSTALLATION.
- CLEAR AND GRUB (TO LIMITS REQUIRED ON GRADING PLAN) TO REMOVE VEGETATION, TREES, ROCKS, DEBRIS, ROOTS, ETC. STUMPS SHALL BE REMOVED AND DISPOSED OF OFF SITE IN ACCORDANCE WITH STATE REGULATIONS. AFTER CLEARING, STRIP AND STOCKPILE ALL ON-SITE TOPSOIL FOR REUSE TO THE MAXIMUM EXTENT POSSIBLE.
- FOR SEED AREAS USE EXISTING TOPSOIL, IF AVAILABLE, FOR A 4" DEPTH AND TOP DRESS WITH 2" OF SCREENED TOPSOIL. UNLESS OTHERWISE NOTED ON PLAN, ALL LOAM OR TOPSOIL IMPORTED OR RE-UTILIZED FROM ON SITE SHALL BE TESTED AND AMENDED AS DIRECTED BY DEVELOPER TO MEET MINIMUM REQUIREMENTS.
- PLANTINGS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER WRITTEN ACCEPTANCE BY THE DEVELOPER.
- EXPOSED SOILS SHALL BE SEED OR STRAW MULCHED WITHIN 72 HOURS OF FINAL GRADING.
- ALL WORK SHALL BE COORDINATED WITH APPLICABLE EPA NPDES/SWPPP PERMIT WORK AS REQUIRED.

3	MISC REVS.	CMY	10/20/25
2	RESPONSE TO COMMENTS	NID	9/5/23
1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE

PHASE 1 - LANDSCAPE PLAN

SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

PREPARED FOR:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810



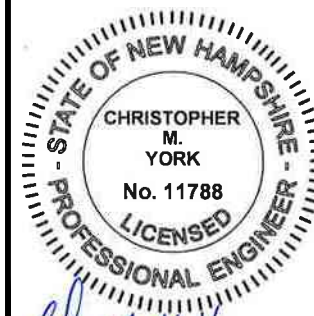
603.893.0720

GPINET.COM

Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

SCALE: 1" = 30'

DATE: APRIL 3, 2023



OWNER OF RECORD
YOUNG LAND HOLDINGS, LLC.
36 PELHAM RD., SALEM, NH
BOOK 6069 PAGE 1819

SALEM PLANNING BOARD
APPROVAL

ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_SP-PH1	NEX-2200130	15 OF 25

MATCH LINE SHEET 16

MAP 96 LOT 7775
419,350 Sq.Ft.
9.62 Ac.±

WETLANDS WERE DELINEATED BY
COVE ENVIRONMENTAL SERVICES,
INC. ON 07/22/22 AND LOCATED
BY THIS OFFICE ON 08/05/22.

EXISTING VEGETATED
BUFFER TO REMAIN

AREA OF
WETLAND IMPACT
= 4,880 SF

DRAINAGE AND UTILITY EASEMENT
TO THE TOWN OF SALEM
BOOK 5192 PAGE 1259

PROP. 6" LOAM AND
HYDROSEED ALL
DISTURBED AREAS (TYP.)

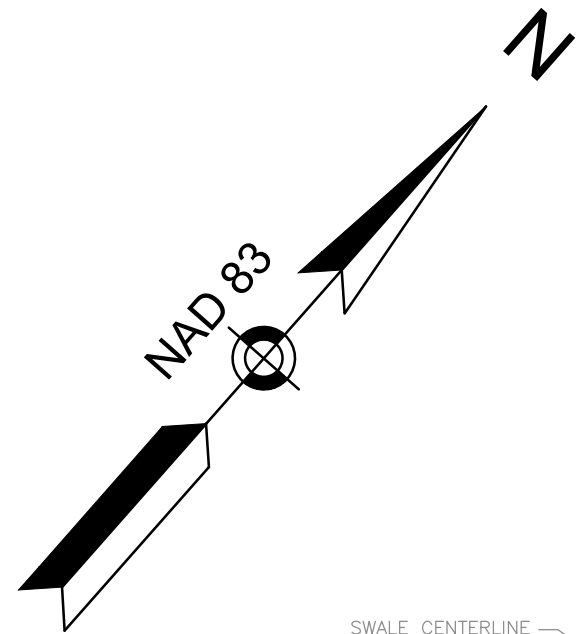
"EDWARDS, JAMES YOUNG" SIGN

0 30 60 100
SCALE: 1" = 30'

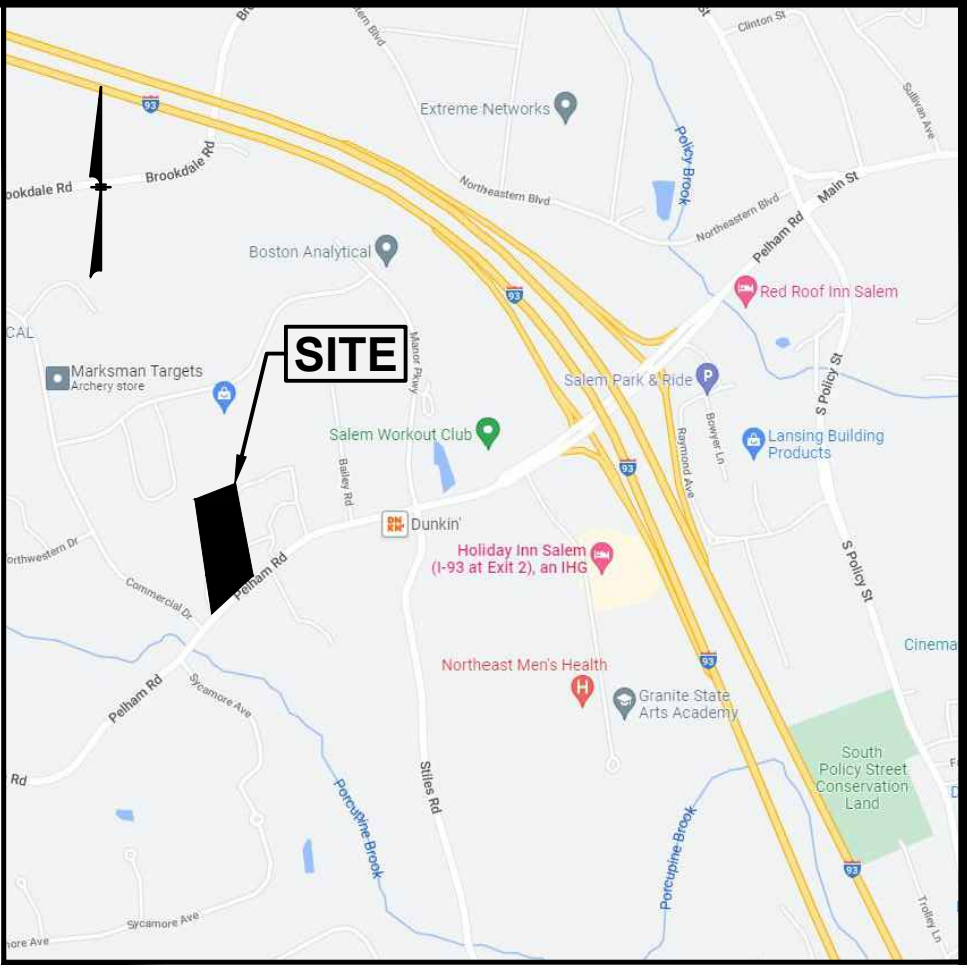
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LEGEND

- CCB CAPE COD BERM
DSLY DOUBLE SOLID LINE YELLOW
SSLW SINGLE SOLID LINE WHITE
G GAS LINE
T UNDERGROUND TELEPHONE
W WATER LINE
E UNDERGROUND ELECTRIC
CHAIN LINK FENCE
STOCKADE FENCE
POST & RAIL FENCE
WIRE FENCE
90 CONTOUR ELEVATION
TREE
UTILITY POLE
GUY WIRE
OVERHEAD WIRE
TREELINE
SIGN
SPOT ELEVATION
DRAIN MANHOLE
CATCH BASIN
ROOF DRAIN
CLEANOUT
VENT
SEWER MANHOLE
TELEPHONE MANHOLE
ELECTRIC MANHOLE
WATER MANHOLE
MANHOLE
GAS VALVE
GAS SHUT OFF
WATER VALVE
WATER SHUT OFF
FIRE HYDRANT
BOLLARD
GAS METER
ELECTRIC METER
LIGHT POLE
WETLAND LINE
WATER FEATURE
UNDERGROUND COMM
DITCH LINE
EASEMENT LINE
PROPERTY LINE
ABUTTER PROPERTY LINE
BUILDING SETBACK
SOIL TYPE LINE
ZONE LINE
FLOOD ZONE LINE

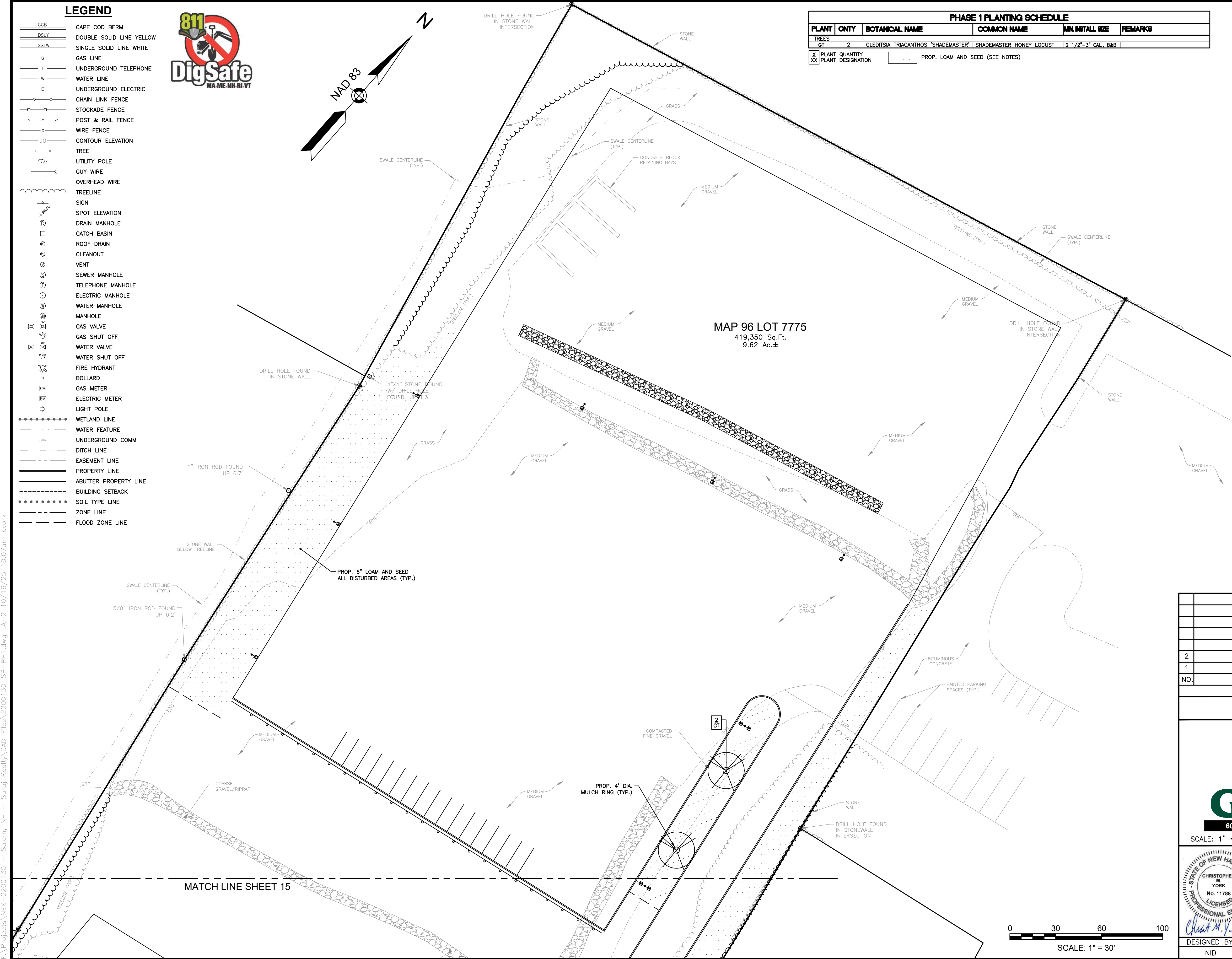



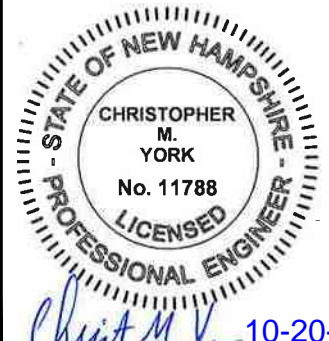
PHASE 1 PLANTING SCHEDULE				
PLANT	QNTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALL SIZE
TREES	2	GLEDTISIA TRIACANTHOS	SHADEMASTER	2 1/2"-3" CAL., B&B
GT			SHADEMASTER HONEY LOCUST	
X	PLANT QUANTITY			
XX	PLANT DESIGNATION			



LOCATION MAP
(NOT TO SCALE)

MAP 96 LOT 7775
419,350 Sq.Ft.
9.62 Ac.±

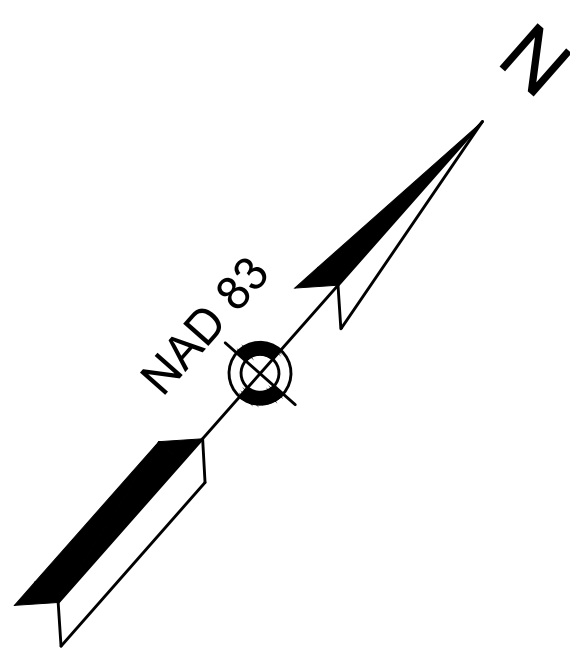


2	MISC REVS.	CMY	10/20/25
1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE
REVISIONS			
PHASE 1 - LANDSCAPE PLAN			
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810			
 603.893.0720 GPI.NET.COM		Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079	
SCALE: 1" = 30'		DATE: APRIL 3, 2023	
 10-20-25		OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819	
DESIGNED BY: NID		DRAWN/CHECKED: CCC/DRJ	
DWG. NAME: 2200130_SP-PH1		PROJECT No.: NEX-2200130	
SHEET No.: 16 OF 25		ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)	

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LEGEND

CCB	CAPE COD BERM
DSLY	DOUBLE SOLID LINE YELLOW
SSLW	SINGLE SOLID LINE WHITE
G	GAS LINE
T	UNDERGROUND TELEPHONE
W	WATER LINE
E	UNDERGROUND ELECTRIC
CL	CHAIN LINK FENCE
ST	STOCKADE FENCE
PF	POST & RAIL FENCE
WF	WIRE FENCE
90	CONTOUR ELEVATION
T	TREE
UP	UTILITY POLE
GW	GUY WIRE
OW	OVERHEAD WIRE
TL	TREELINE
S	SIGN
SE	SPOT ELEVATION
DM	DRAIN MANHOLE
CB	CATCH BASIN
RD	ROOF DRAIN
CN	CLEANOUT
V	VENT
SMH	SEWER MANHOLE
TMH	TELEPHONE MANHOLE
WMH	WATER MANHOLE
M	MANHOLE
GV	GAS VALVE
GS	GAS SHUT OFF
WS	WATER VALVE
WSO	WATER SHUT OFF
FH	FIRE HYDRANT
B	BOLLARD
GM	GAS METER
EM	ELECTRIC METER
LP	LIGHT POLE
WL	WETLAND LINE
WF	WATER FEATURE
UCC	UNDERGROUND COMM
D	DITCH LINE
E	EASEMENT LINE
P	PROPERTY LINE
AP	ABUTTER PROPERTY LINE
BS	BUILDING SETBACK
SL	SOIL TYPE LINE
Z	ZONE LINE
FZ	FLOOD ZONE LINE
PS	NUMBER OF PARKING SPACES
TD	TIP DOWN CURB
CO	C.O.
CB-1	PROP. CLEANOUT
DMH-1	PROP. DRAIN MANHOLE
SMH-1	PROP. SEWER MANHOLE
GV	PROP. GATE VALVE



MAP 96 LOT 10328
STORE CAPITAL
ACQUISITIONS, LLC
4 COMMERCIAL DRIVE
SALEM, NH 03079
BOOK 5967 PAGE 604
#4 COMMERCIAL DRIVE

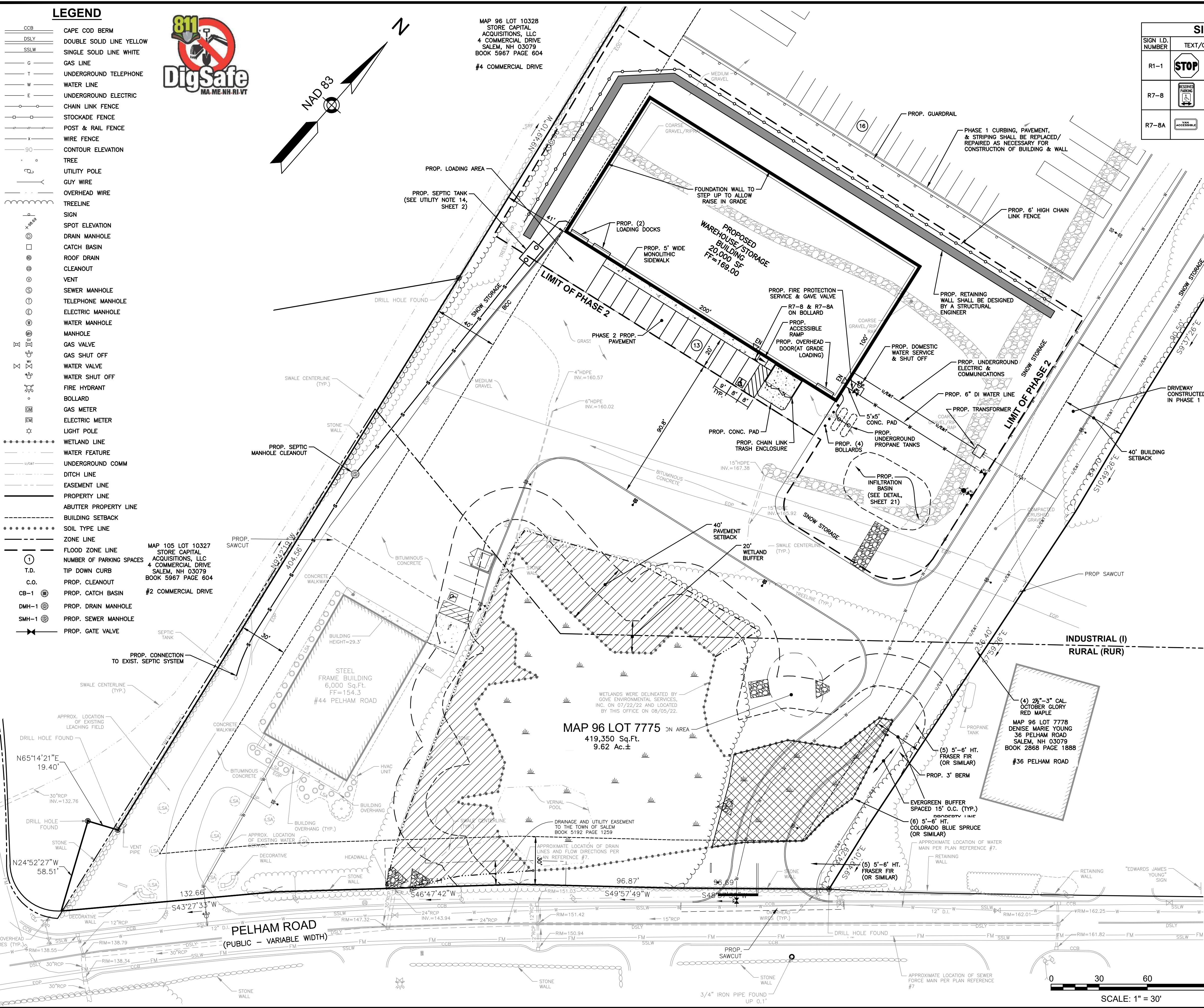
SIGN KEY		
SIGN I.D. NUMBER	TEXT/COLOR	SIZE/REMARKS
R1-1	R/W	30" x 30" NEW SIGN WITH POST
R7-8	G/B/W	12" x 18" NEW SIGN WITH POST
R7-8A	G/W	6" x 12"



LOCATION MAP
(NOT TO SCALE)

NOTES:

1) SEE SHEET 2 FOR SITE AND UTILITY NOTES.



2	RESPONSE TO COMMENTS	CMY	4/15/25
1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE

REVISIONS

PHASE 2 - SITE & UTILITY PLAN

SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

PREPARED FOR:

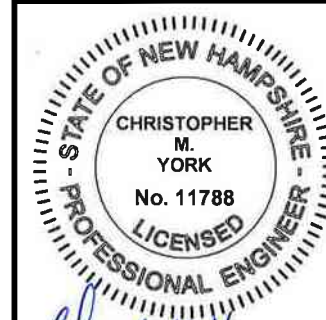
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810



Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

SCALE: 1" = 30'

DATE: APRIL 3, 2023



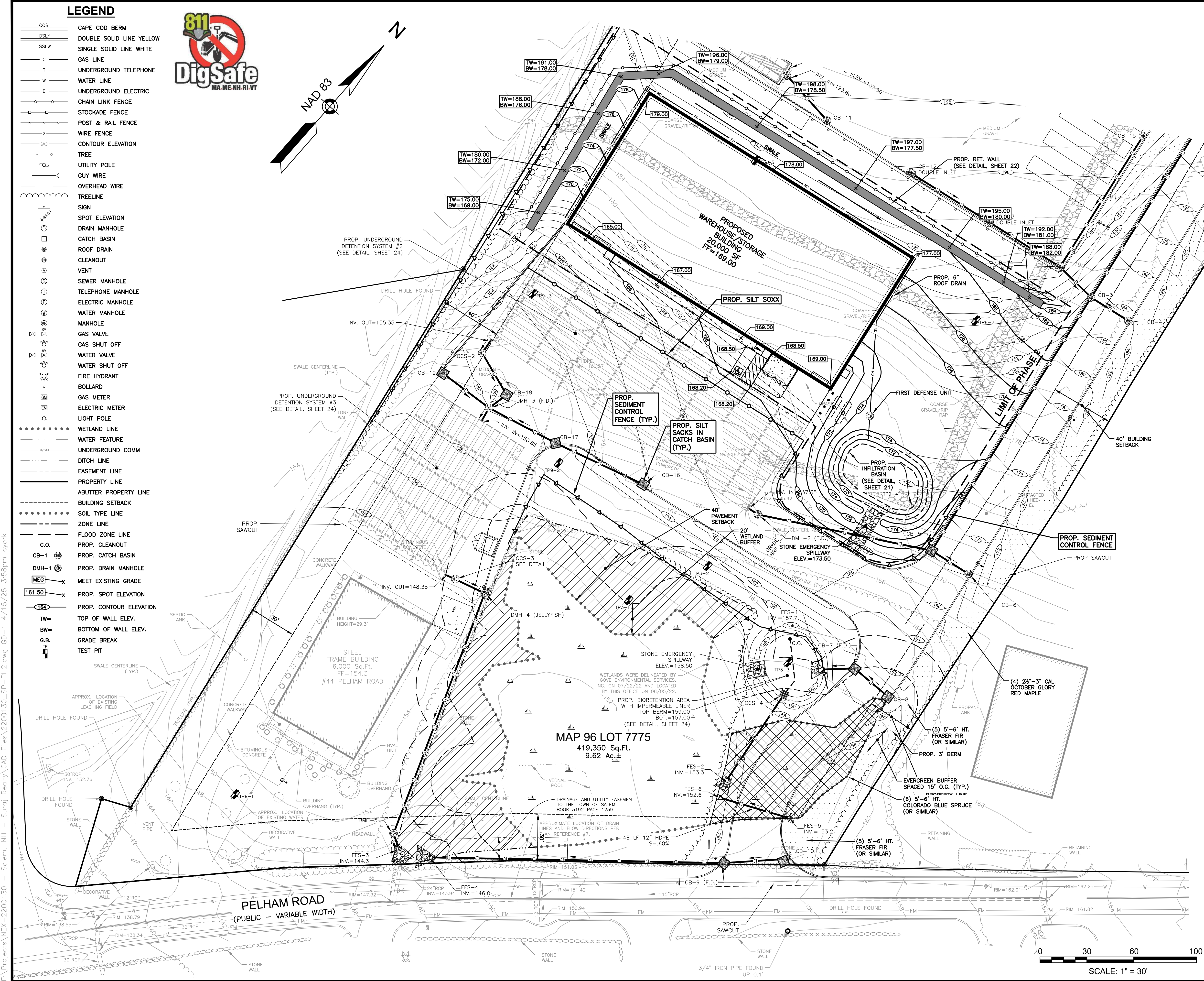
OWNER OF RECORD
YOUNG LAND HOLDINGS, LLC
36 PELHAM RD, SALEM, NH
BOOK 6069 PAGE 1819

SALEM PLANNING BOARD
APPROVAL

ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_SP-PH2	NEX-2200130	17 OF 25

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- LEGEND**
- CCB CAPE COD BERM
 - DSLY DOUBLE SOLID LINE YELLOW
 - SSLW SINGLE SOLID LINE WHITE
 - G GAS LINE
 - T UNDERGROUND TELEPHONE
 - W WATER LINE
 - E UNDERGROUND ELECTRIC
 - CL CHAIN LINK FENCE
 - ST STOCKADE FENCE
 - PR POST & RAIL FENCE
 - WI WIRE FENCE
 - 90 CONTOUR ELEVATION
 - TR TREE
 - UP UTILITY POLE
 - GW GUY WIRE
 - OW OVERHEAD WIRE
 - TL TREELINE
 - SG SIGN
 - SE SPOT ELEVATION
 - DMH DRAIN MANHOLE
 - CB CATCH BASIN
 - RD ROOF DRAIN
 - CLN CLEANOUT
 - VENT VENT
 - SM SEWER MANHOLE
 - TM TELEPHONE MANHOLE
 - EM ELECTRIC MANHOLE
 - WM WATER MANHOLE
 - MANH MANHOLE
 - GV GAS VALVE
 - GS GAS SHUT OFF
 - WV WATER VALVE
 - WS WATER SHUT OFF
 - FH FIRE HYDRANT
 - BOLL BOLLARD
 - GM GAS METER
 - EM ELECTRIC METER
 - LP LIGHT POLE
 - WL WETLAND LINE
 - WF WATER FEATURE
 - UG UNDERGROUND COMM
 - DL DITCH LINE
 - EL EASEMENT LINE
 - PL PROPERTY LINE
 - APL ABUTTER PROPERTY LINE
 - BSL BUILDING SETBACK
 - SLT SOIL TYPE LINE
 - ZN ZONE LINE
 - FZL FLOOD ZONE LINE
 - PC PROP. CLEANOUT
 - CB-1 PROP. CATCH BASIN
 - DMH-1 PROP. DRAIN MANHOLE
 - MEC MEET EXISTING GRADE
 - 161.50 PROP. SPOT ELEVATION
 - 164 PROP. CONTOUR ELEVATION
 - TW= TOP OF WALL ELEV.
 - BW= BOTTOM OF WALL ELEV.
 - G.B. GRADE BREAK
 - TP TEST PIT



NOTES:
1) SEE SHEET 2 FOR GRADING, DRAINAGE AND EROSION CONTROL NOTES.

3	RESPONSE TO COMMENTS	CMY	4/15/25
2	ADDRESS AOT COMMENTS	CMY	10/3/23
1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE

PHASE 2 - GRADING, DRAINAGE & EROSION CONTROL PLAN

SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

PREPARED FOR:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810

GPI Engineering Design Planning Construction Management
603.893.0720 GPINET.COM

Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

SCALE: 1" = 30' DATE: APRIL 3, 2023

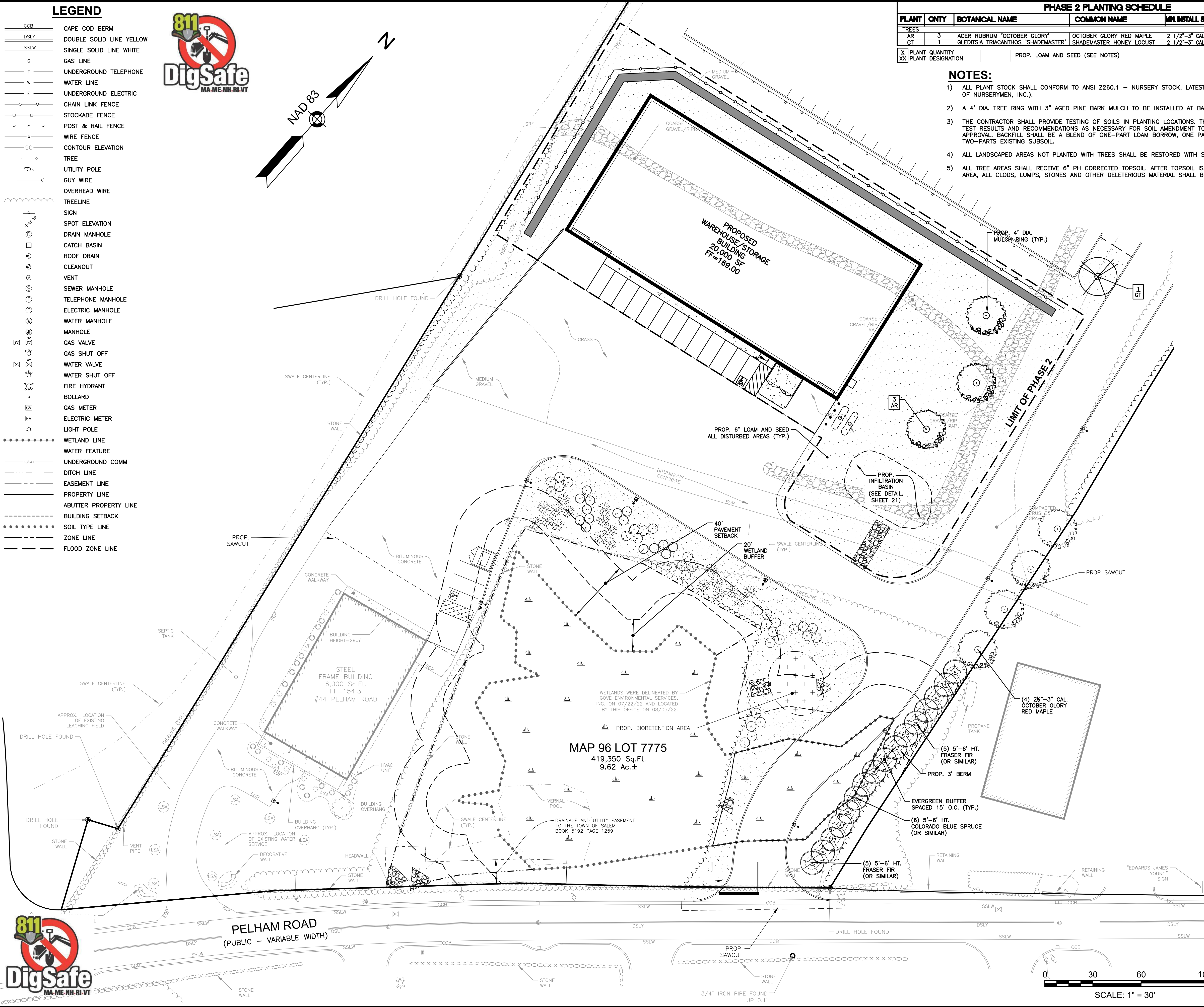
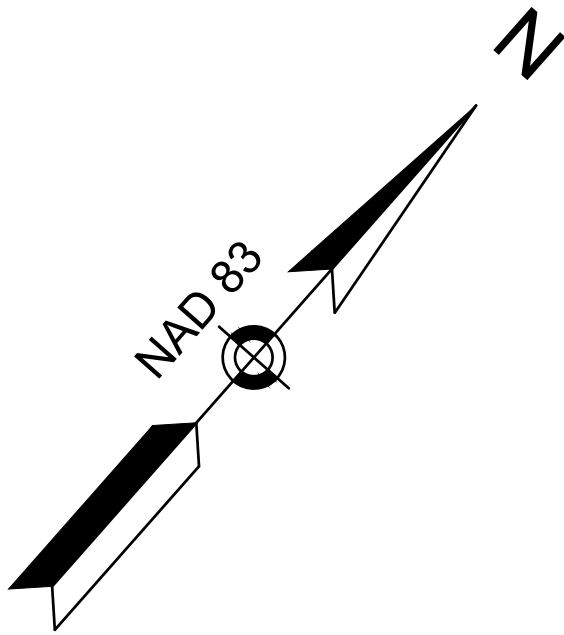
	OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819	SALEM PLANNING BOARD APPROVAL
	ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)	

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_SP-PH2	NEX-2200130	18 OF 25

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LEGEND

CCB	CAPE COD BERM
DSLY	DOUBLE SOLID LINE YELLOW
SSLW	SINGLE SOLID LINE WHITE
G	GAS LINE
T	UNDERGROUND TELEPHONE
W	WATER LINE
E	UNDERGROUND ELECTRIC
CL	CHAIN LINK FENCE
ST	STOCKADE FENCE
PR	POST & RAIL FENCE
WF	WIRE FENCE
90	CONTOUR ELEVATION
T	TREE
UP	UTILITY POLE
GW	GUY WIRE
OW	OVERHEAD WIRE
TL	TREELINE
S	SIGN
SE	SPOT ELEVATION
DM	DRAIN MANHOLE
CB	CATCH BASIN
RD	ROOF DRAIN
CLN	CLEANOUT
V	VENT
SM	SEWER MANHOLE
TM	TELEPHONE MANHOLE
EM	ELECTRIC MANHOLE
WM	WATER MANHOLE
M	MANHOLE
GV	GAS VALVE
GS	GAS SHUT OFF
WS	WATER VALVE
WSO	WATER SHUT OFF
FD	FIRE HYDRANT
B	BOLLARD
GM	GAS METER
EM	ELECTRIC METER
LP	LIGHT POLE
WL	WETLAND LINE
WF	WATER FEATURE
UG	UNDERGROUND COMM
D	DITCH LINE
E	EASEMENT LINE
P	PROPERTY LINE
AP	ABUTTER PROPERTY LINE
BS	BUILDING SETBACK
SL	SOIL TYPE LINE
Z	ZONE LINE
FL	FLOOD ZONE LINE



PHASE 2 PLANTING SCHEDULE				
PLANT	QNTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALL SIZE
TREES				
AR	3	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2"-3" CAL., B&B
GT	1	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	2 1/2"-3" CAL., B&B
X PLANT QUANTITY				
XX PLANT DESIGNATION				

- NOTES:**
- 1) ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 – NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERYMEN, INC.).
 - 2) A 4' DIA. TREE RING WITH 3" AGED PINE BARK MULCH TO BE INSTALLED AT BASE OF ALL TREES IN LAWN AREAS.
 - 3) THE CONTRACTOR SHALL PROVIDE TESTING OF SOILS IN PLANTING LOCATIONS. THE CONTRACTOR SHALL PROVIDE TEST RESULTS AND RECOMMENDATIONS AS NECESSARY FOR SOIL AMENDMENT TO THE ENGINEER FOR THEIR APPROVAL. BACKFILL SHALL BE A BLEND OF ONE-PART LOAM BORROW, ONE PART ORGANIC MATERIAL AND TWO-PARTS EXISTING SUBSOIL.
 - 4) ALL LANDSCAPED AREAS NOT PLANTED WITH TREES SHALL BE RESTORED WITH SEED AS INDICATED ON PLANS.
 - 5) ALL TREE AREAS SHALL RECEIVE 6" PH CORRECTED TOPSOIL. AFTER TOPSOIL IS SPREAD EVENLY OVER ENTIRE AREA, ALL CLODS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED.



LOCATION MAP
(NOT TO SCALE)

- 6) APPLICATION OF GRASS SEED, FERTILIZERS AND STRAW MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:

LIMESTONE: 100 LBS./1,000 SQUARE FEET.
FERTILIZER: 500 LBS/ACRE OF 10-20-20 OR 1000 LBS/ACRE OF 5-10-10.
STRAW MULCH: APPROXIMATELY 3 TONS/ACRE
NEW ENGLAND NATIVE WARM SEASON GRASS MIX: 23 LBS/ACRE

SEED MIX (SLOPES LESS THAN 4:1)	LBS/ACRE
CREeping RED FESCUE	20
TALL FESCUE	15
PERENNIAL RYEGRASS	5
REDTOP	2
	42

SLOPE MIX (SLOPES GREATER THAN 4:1)	LBS/ACRE
CREeping RED FESCUE	20
TALL FESCUE	20
BIRDSFOOT TREEFOIL	8
	48
- 7) FOR TEMPORARY EROSION CONTROL NOTES, SEE EROSION & SEDIMENT CONTROL PLAN.
- 8) NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE STRAW MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 3 TONS PER ACRE.
- 9) ANY CHANGES IN PLANT LOCATIONS OR TYPES SHALL BE APPROVED BY THE DEVELOPER, LANDOWNER AND TOWN PRIOR TO INSTALLATION.
- 10) CLEAR AND GRUB (TO LIMITS REQUIRED ON GRADING PLAN) TO REMOVE VEGETATION, TREES, ROCKS, DEBRIS, ROOTS, ETC. STUMPS SHALL BE REMOVED AND DISPOSED OF OFF SITE IN ACCORDANCE WITH STATE REGULATIONS. AFTER CLEARING, STRIP AND STOCKPILE ALL ON-SITE TOPSOIL FOR REUSE TO THE MAXIMUM EXTENT POSSIBLE.
- 11) FOR SEED AREAS USE EXISTING TOPSOIL, IF AVAILABLE, FOR A 4" DEPTH AND TOP DRESS WITH 2" OF SCREENED TOPSOIL, UNLESS OTHERWISE NOTED ON PLAN. ALL LOAM OR TOPSOIL IMPORTED OR RE-UTILIZED FROM ON SITE SHALL BE TESTED AND AMENDED AS DIRECTED BY DEVELOPER TO MEET MINIMUM REQUIREMENTS.
- 12) PLANTINGS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER WRITTEN ACCEPTANCE BY THE DEVELOPER.
- 13) EXPOSED SOILS SHALL BE SEEDDED OR STRAW MULCHED WITHIN 72 HOURS OF FINAL GRADING.
- 14) ALL WORK SHALL BE COORDINATED WITH APPLICABLE EPA NPDES/SWPPP PERMIT WORK AS REQUIRED.

1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE
REVISIONS			

PHASE 2 - LANDSCAPE PLAN

SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

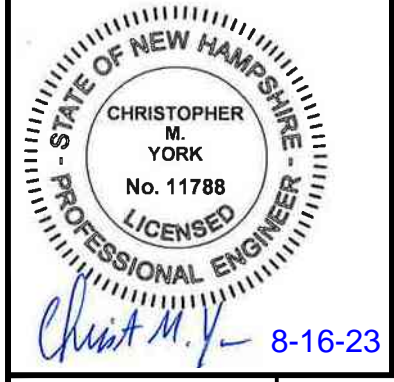
PREPARED FOR:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810



Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

SCALE: 1" = 30'

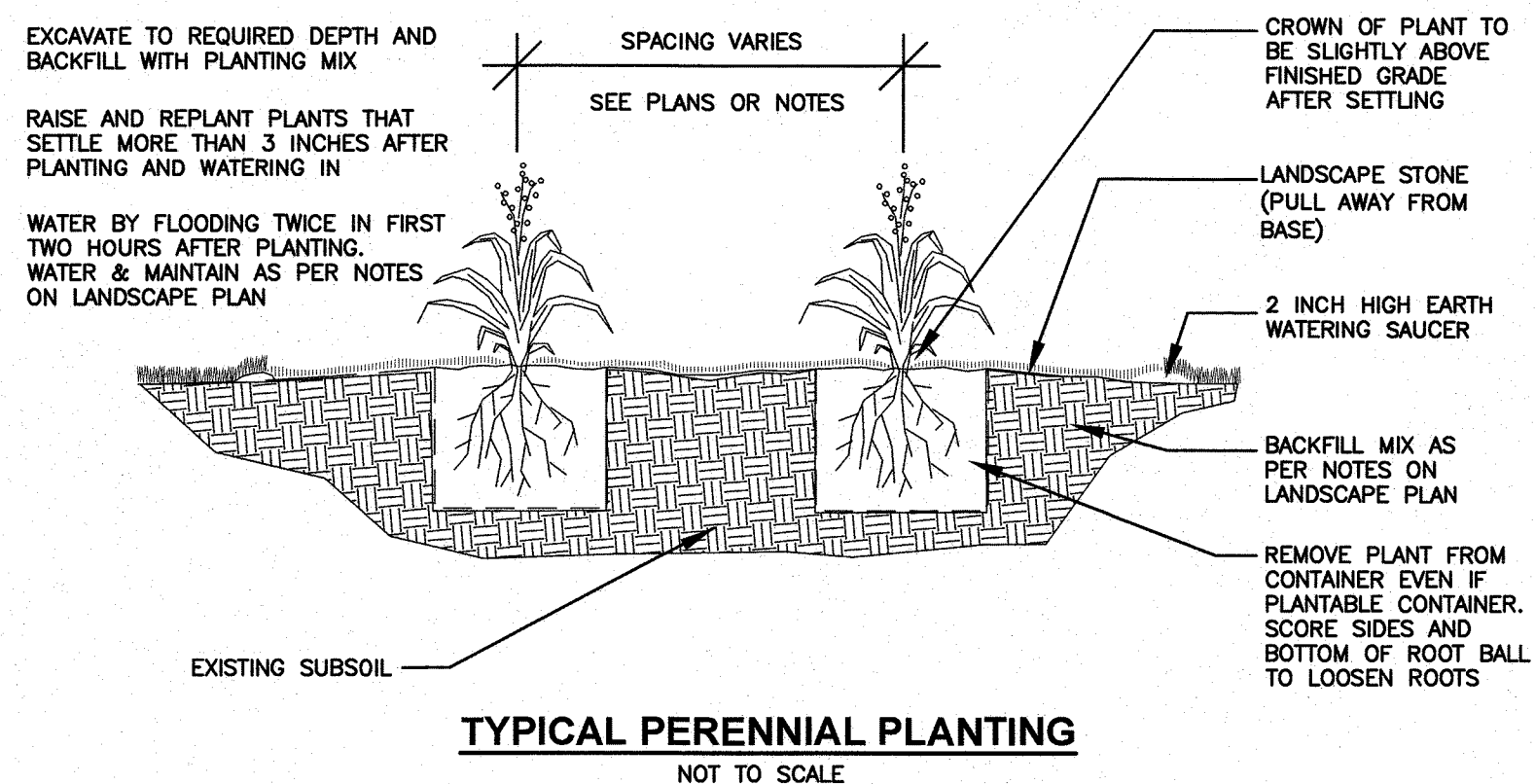
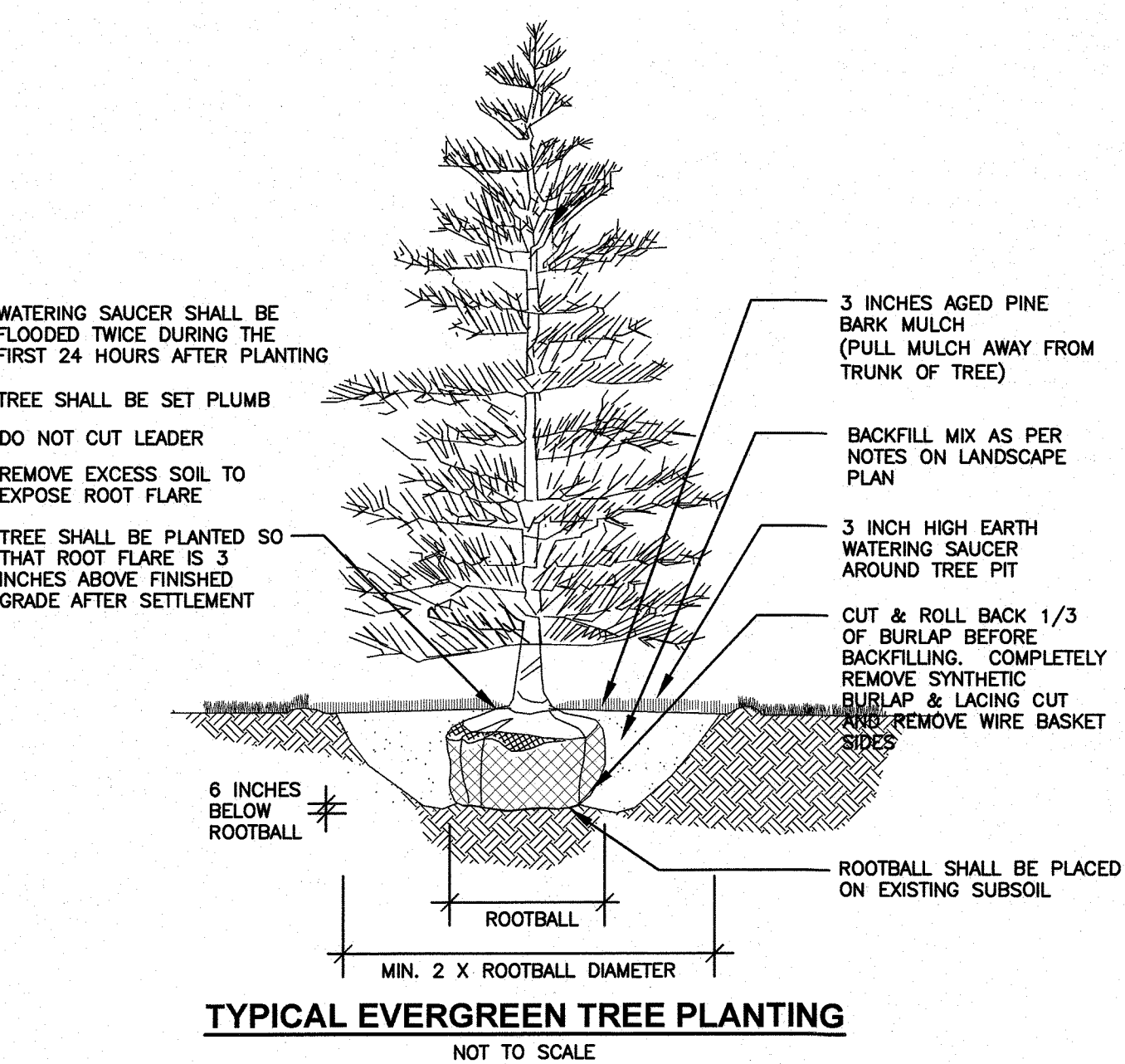
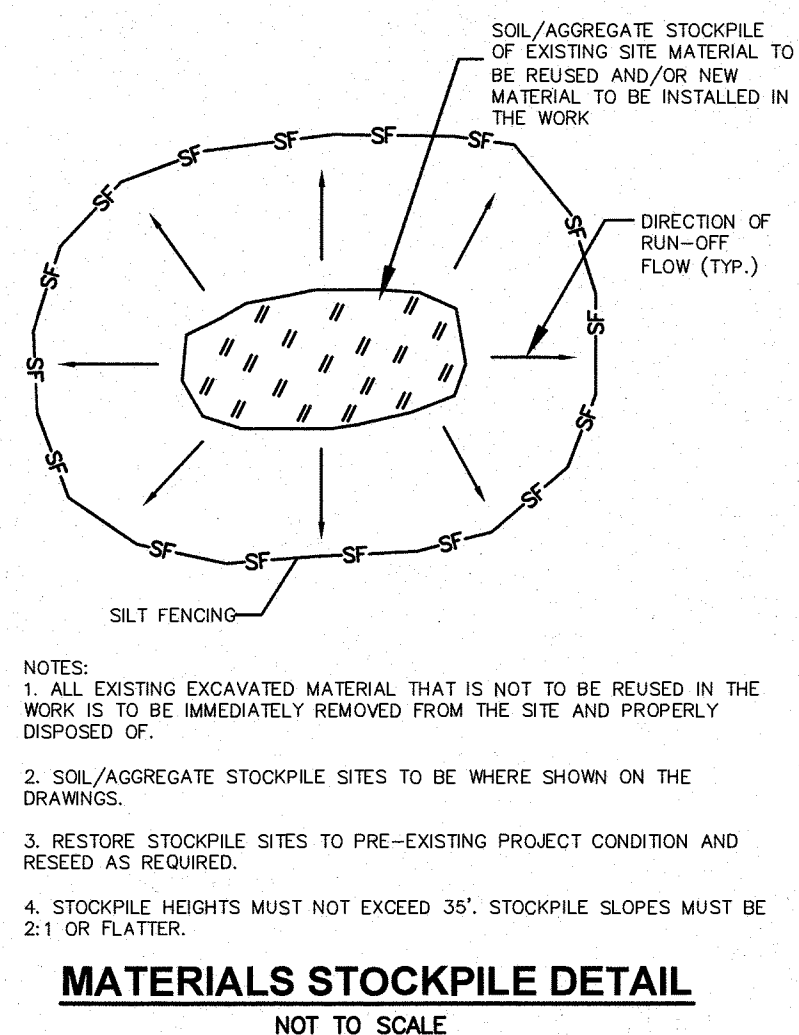
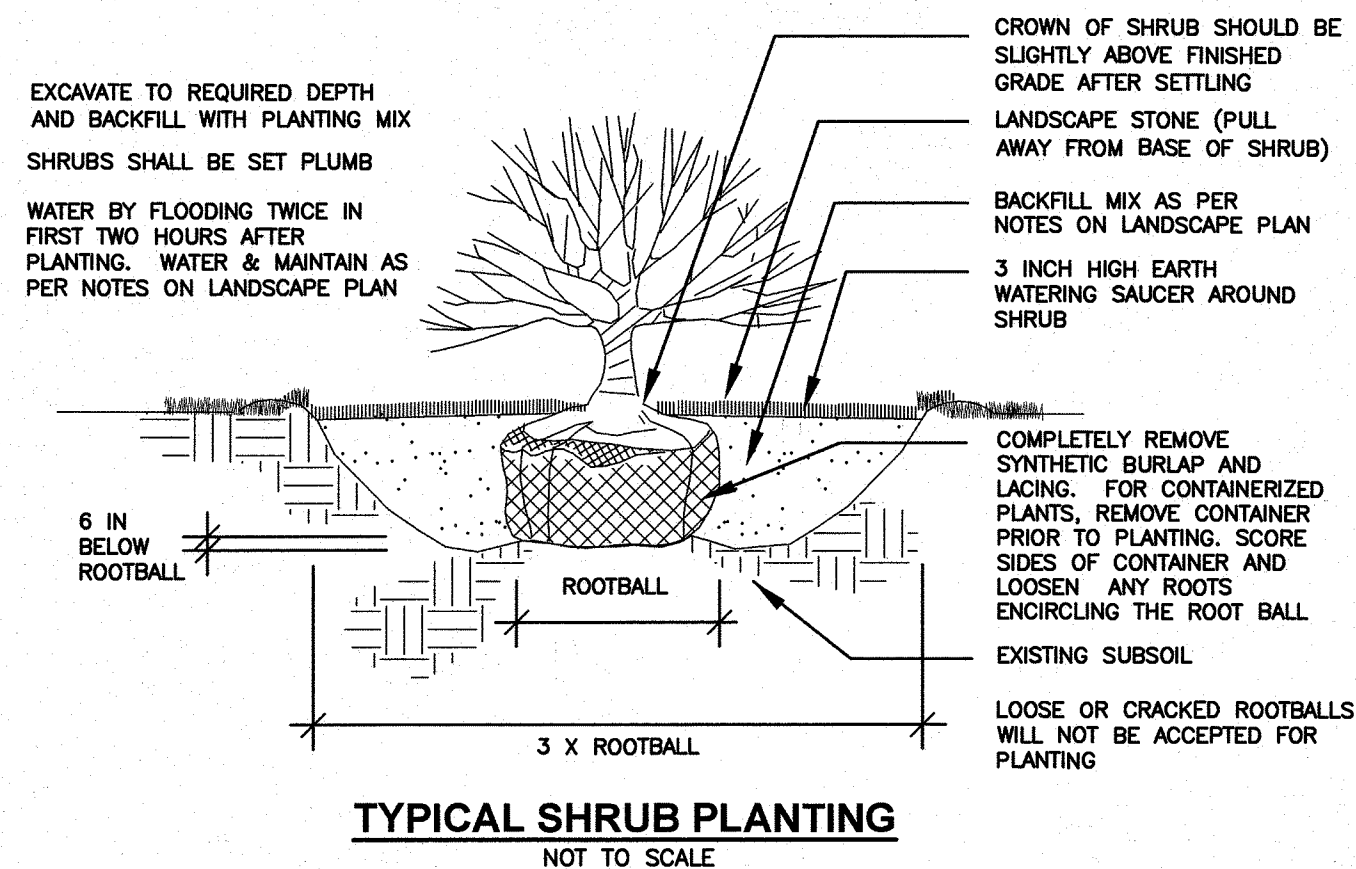
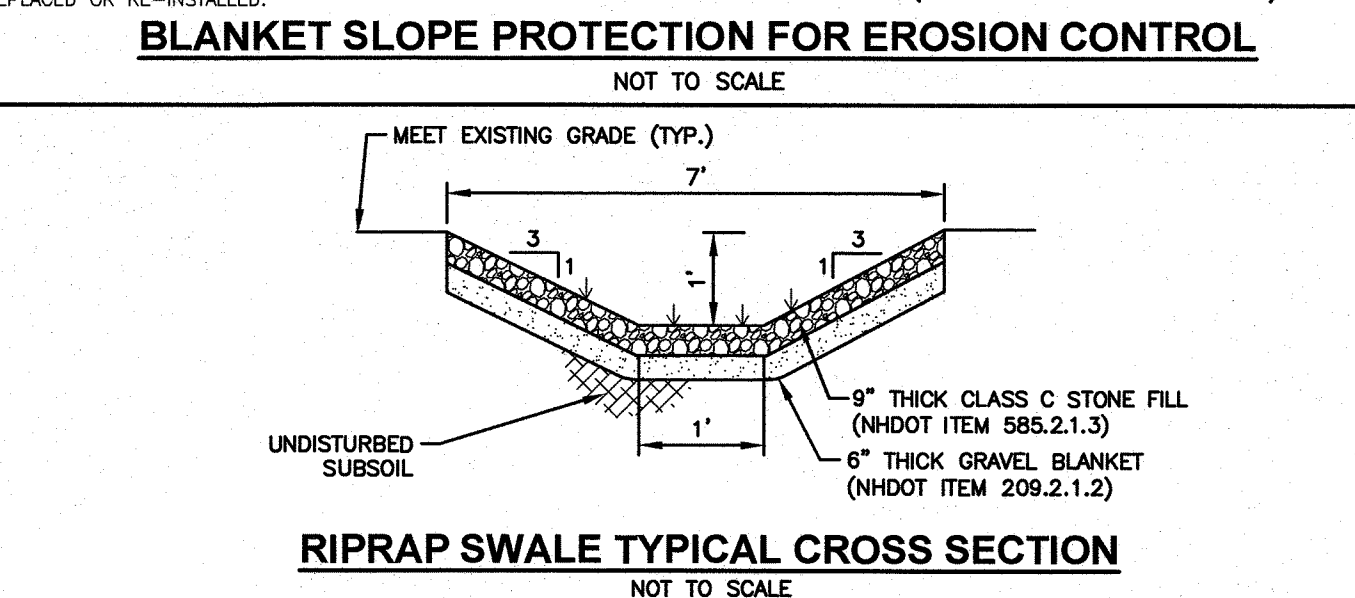
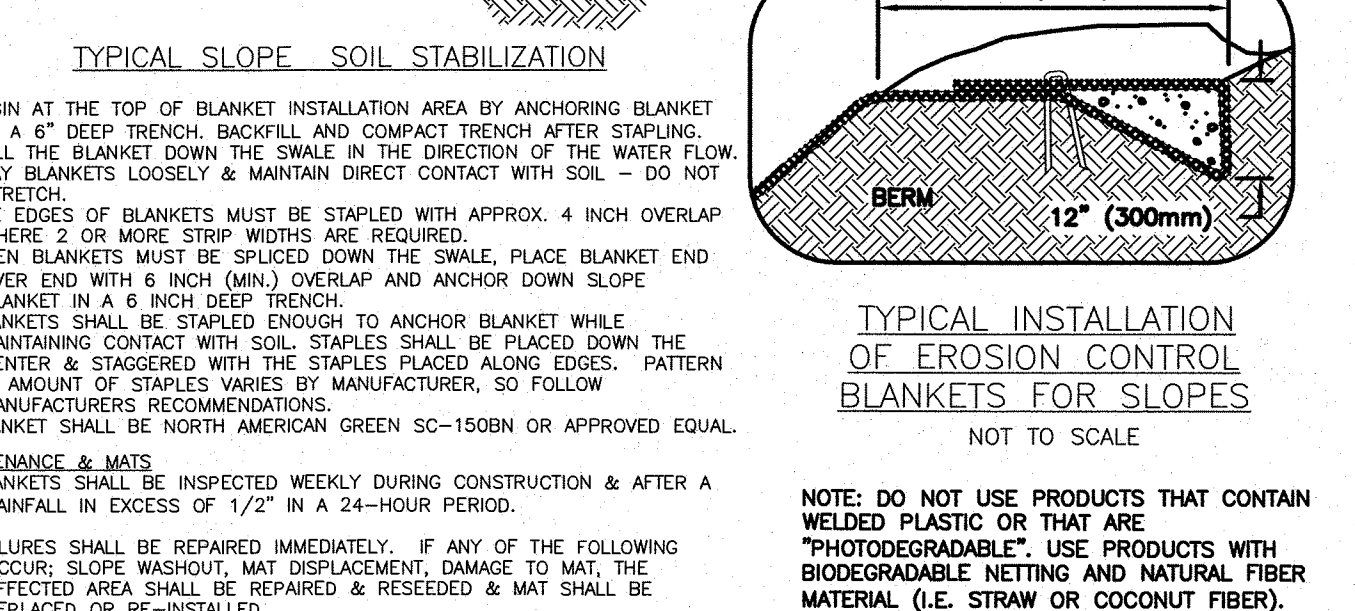
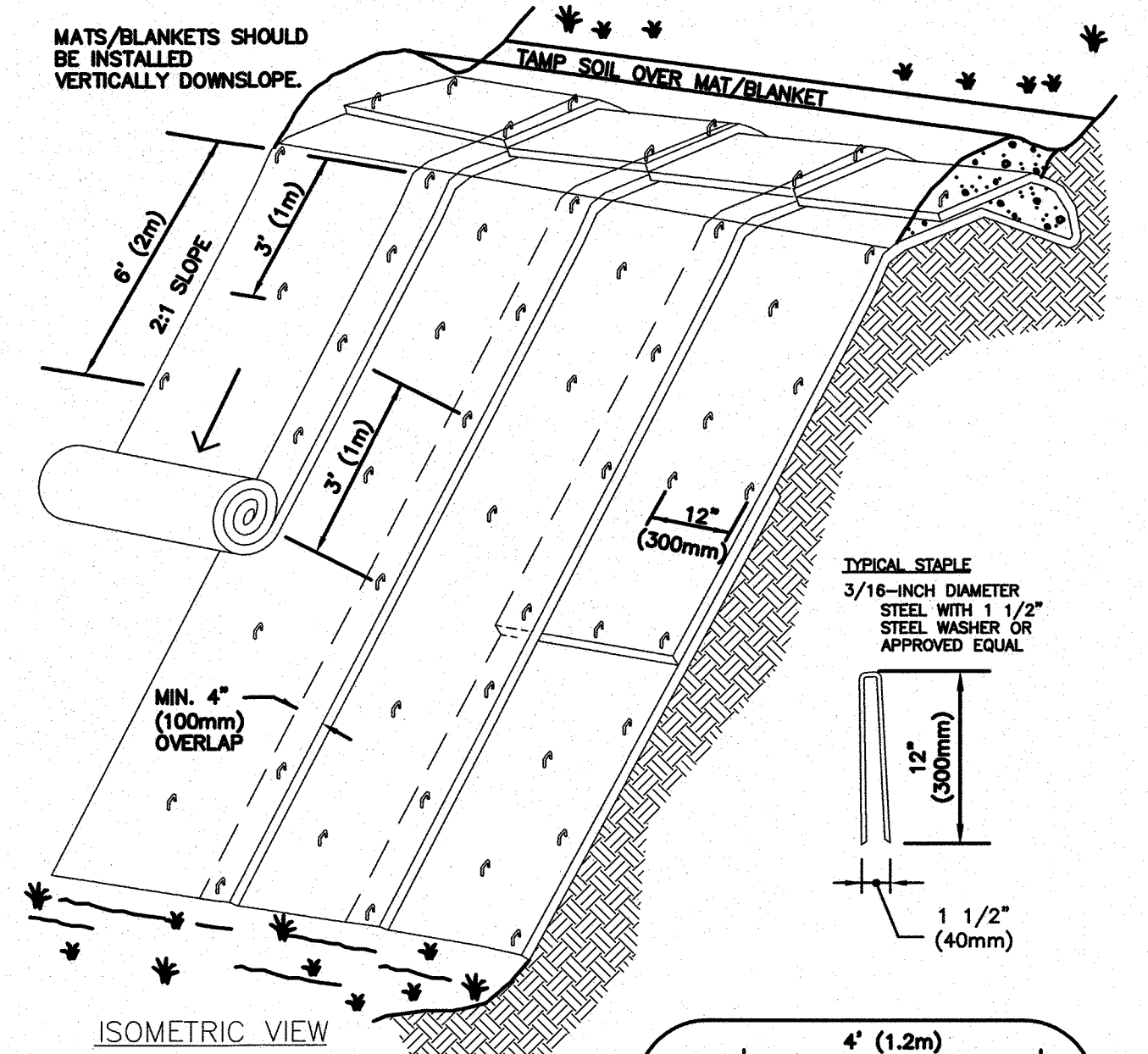
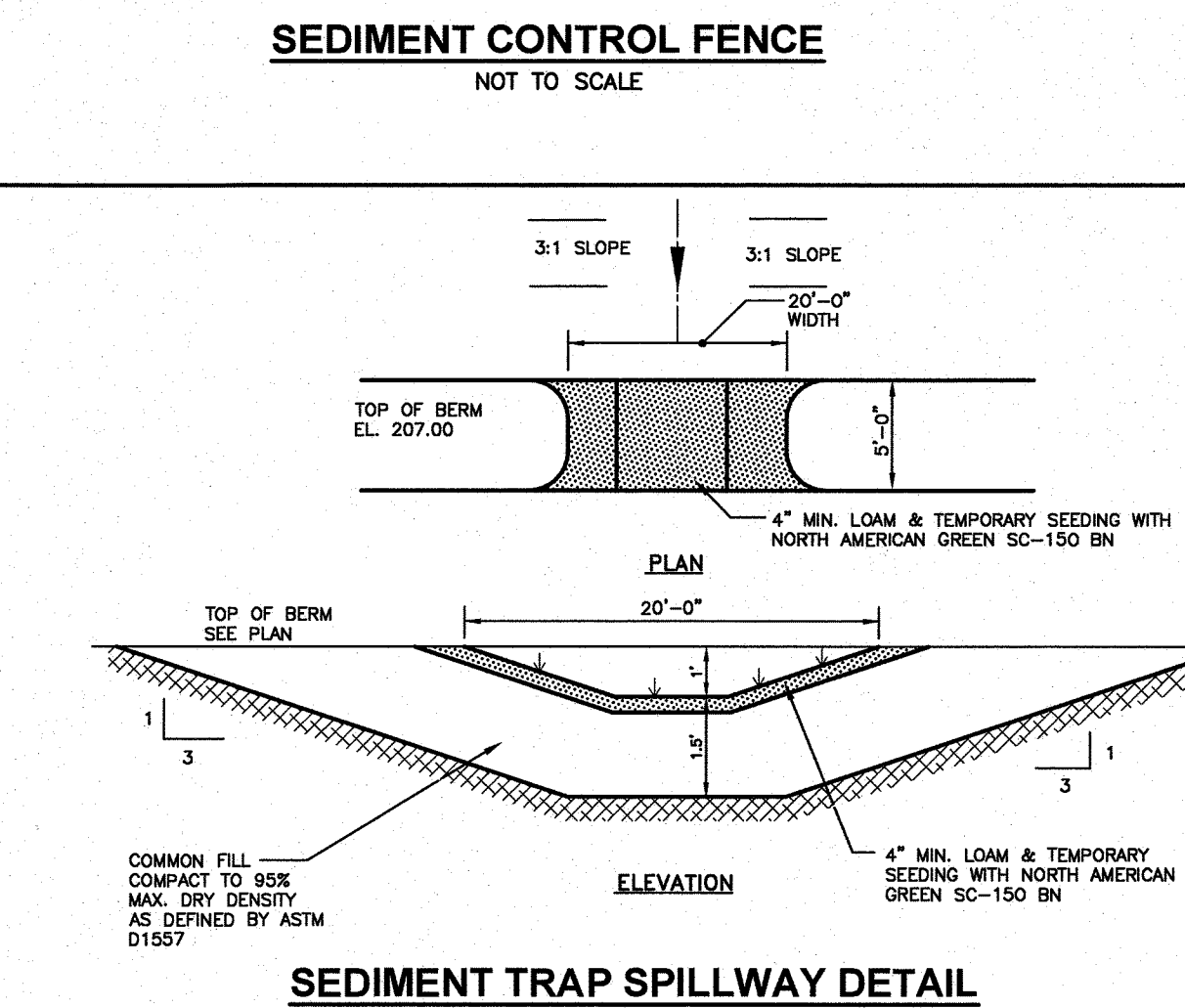
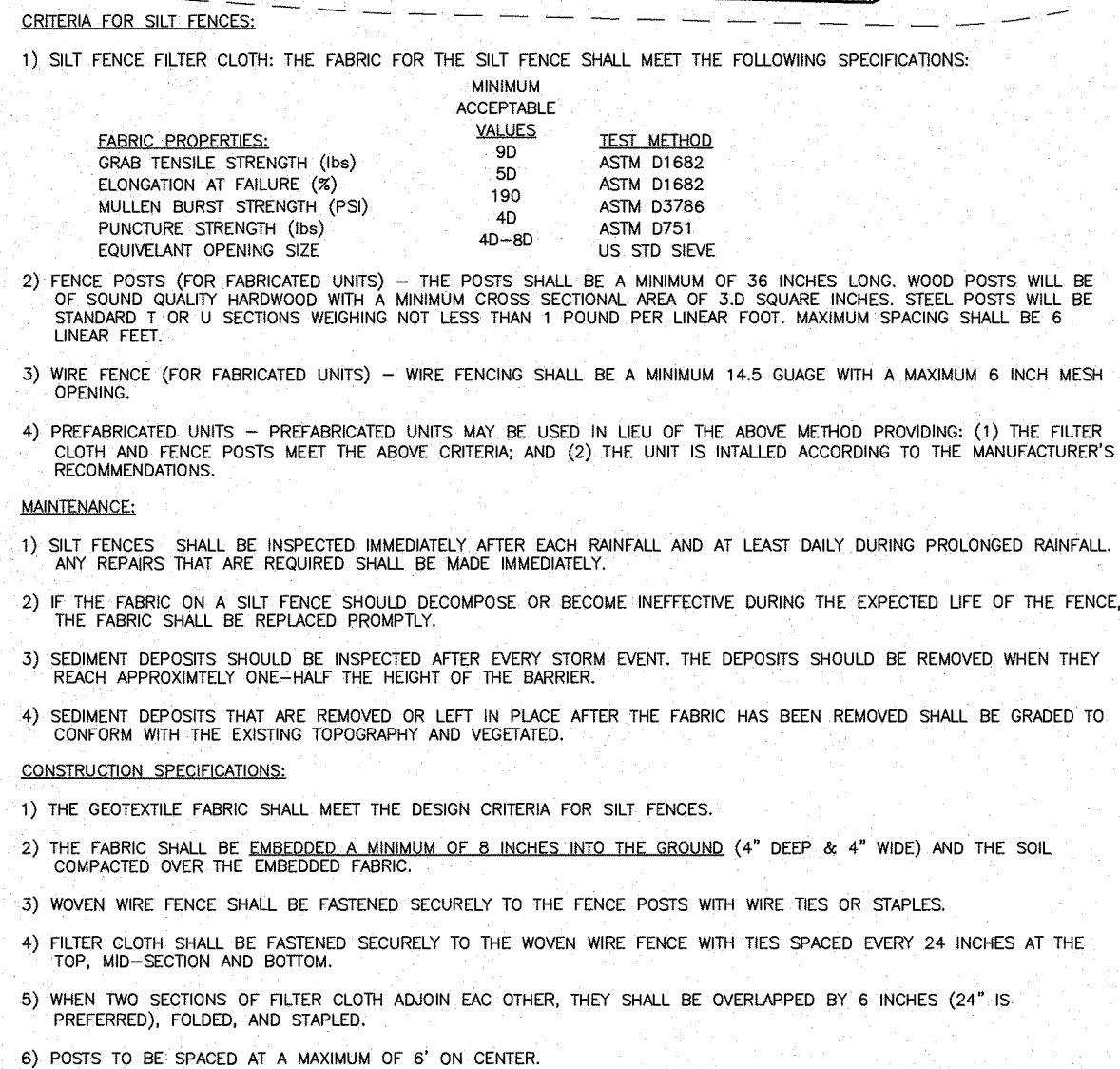
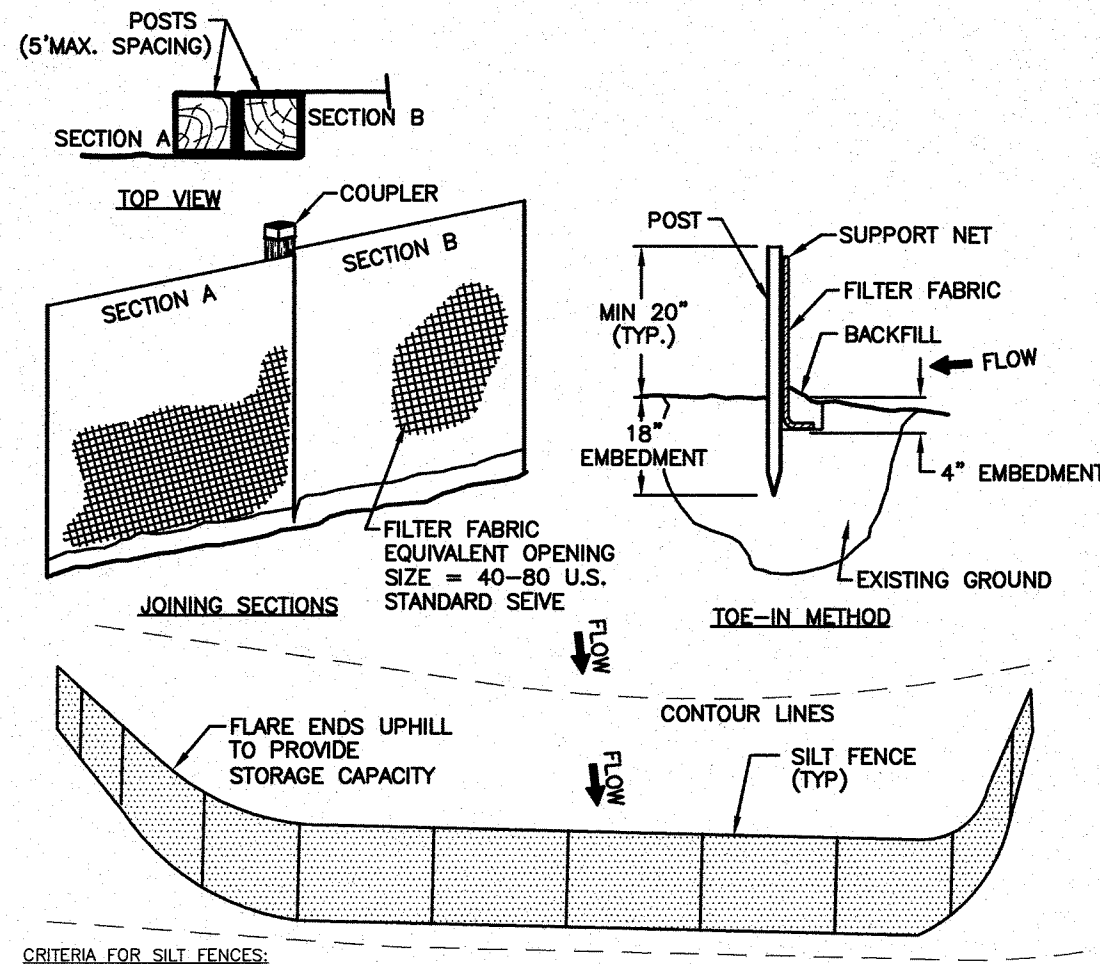
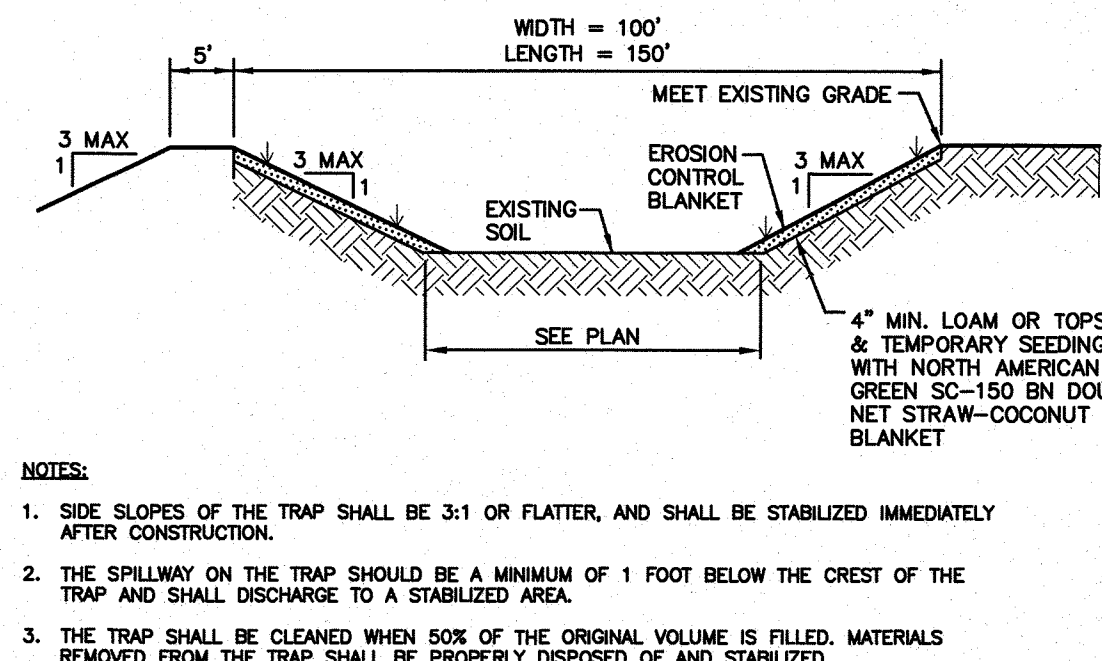
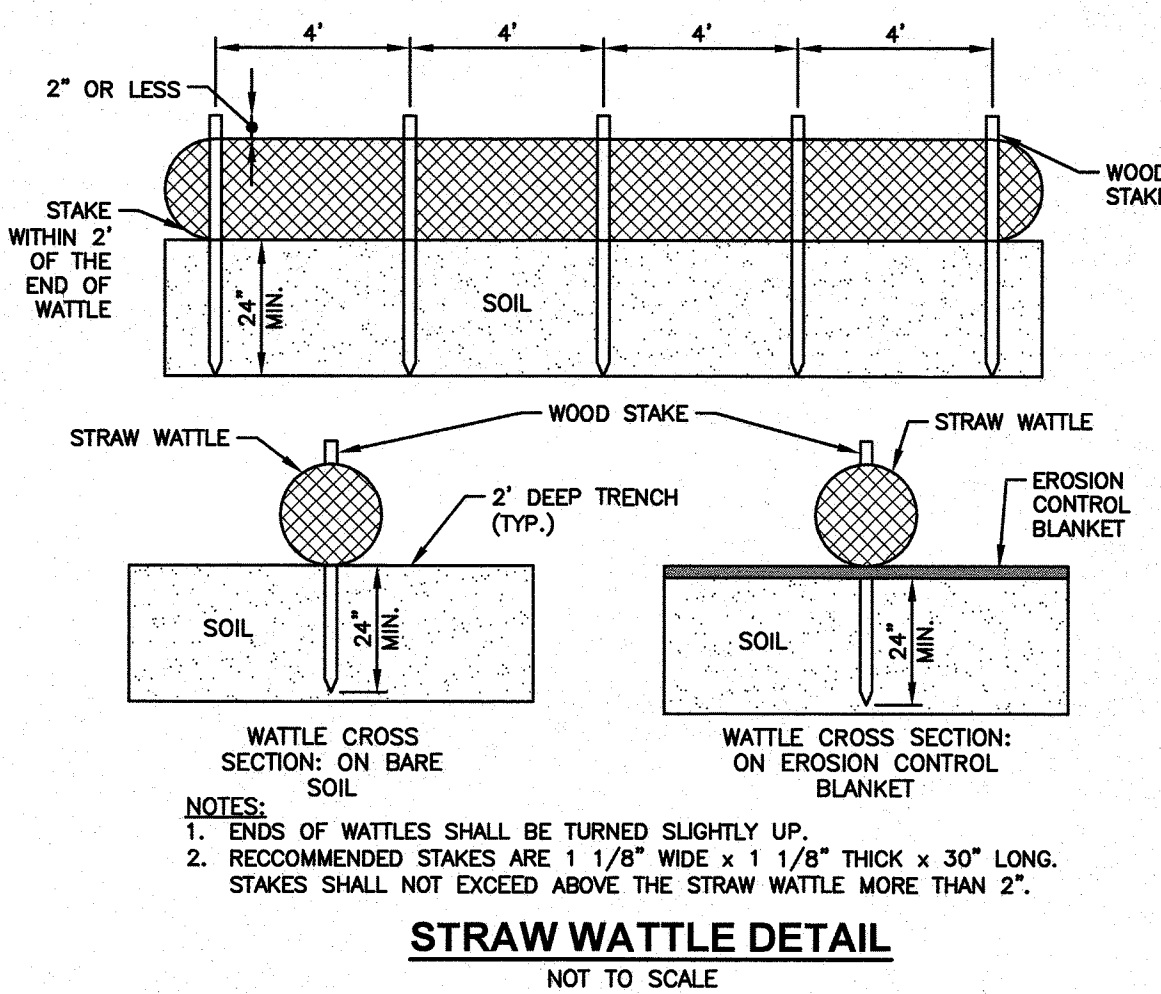
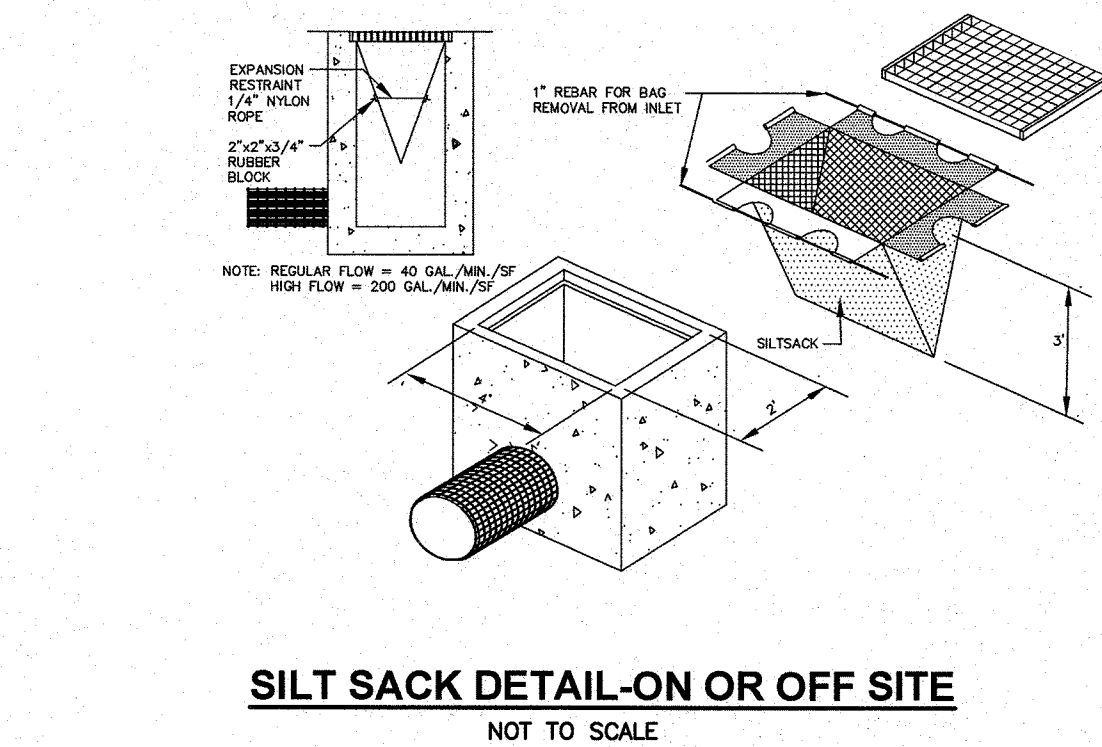
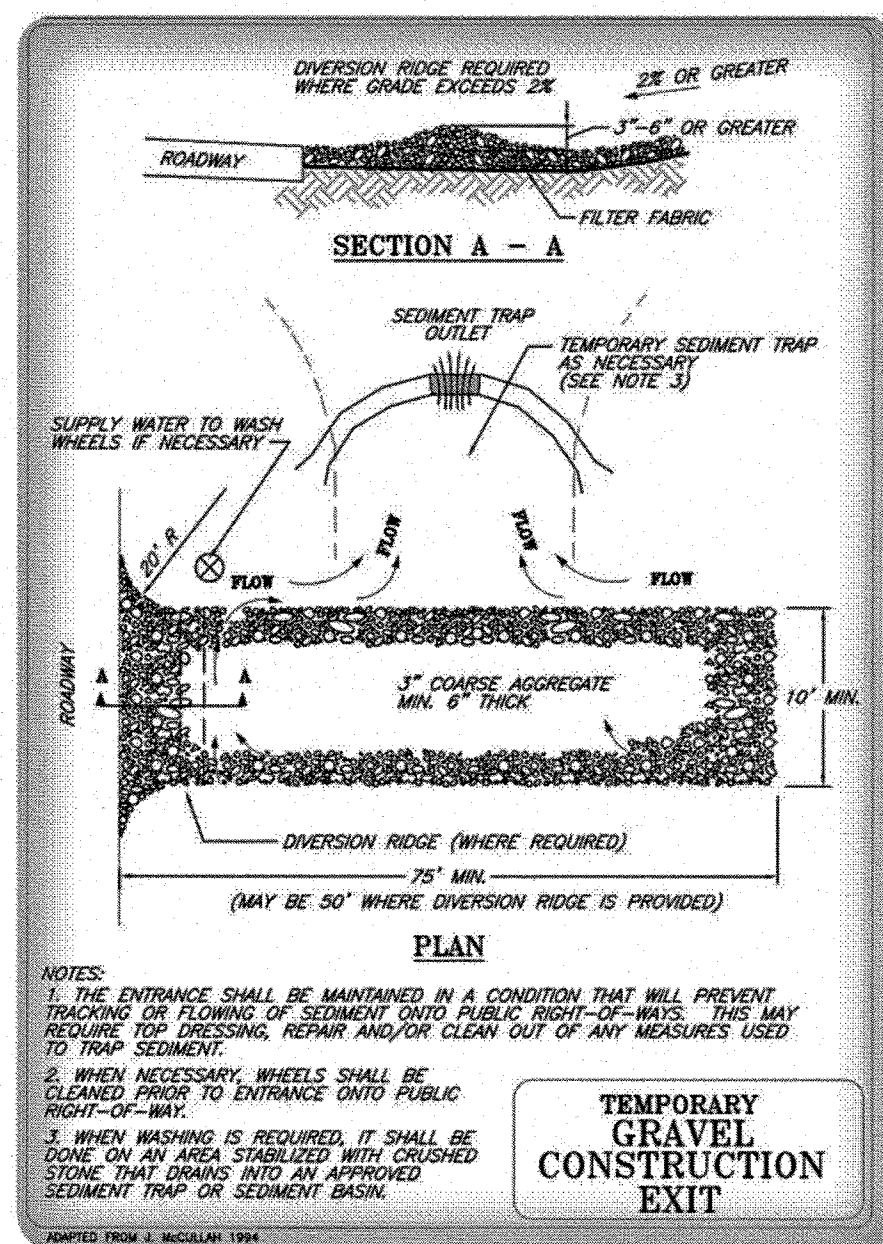
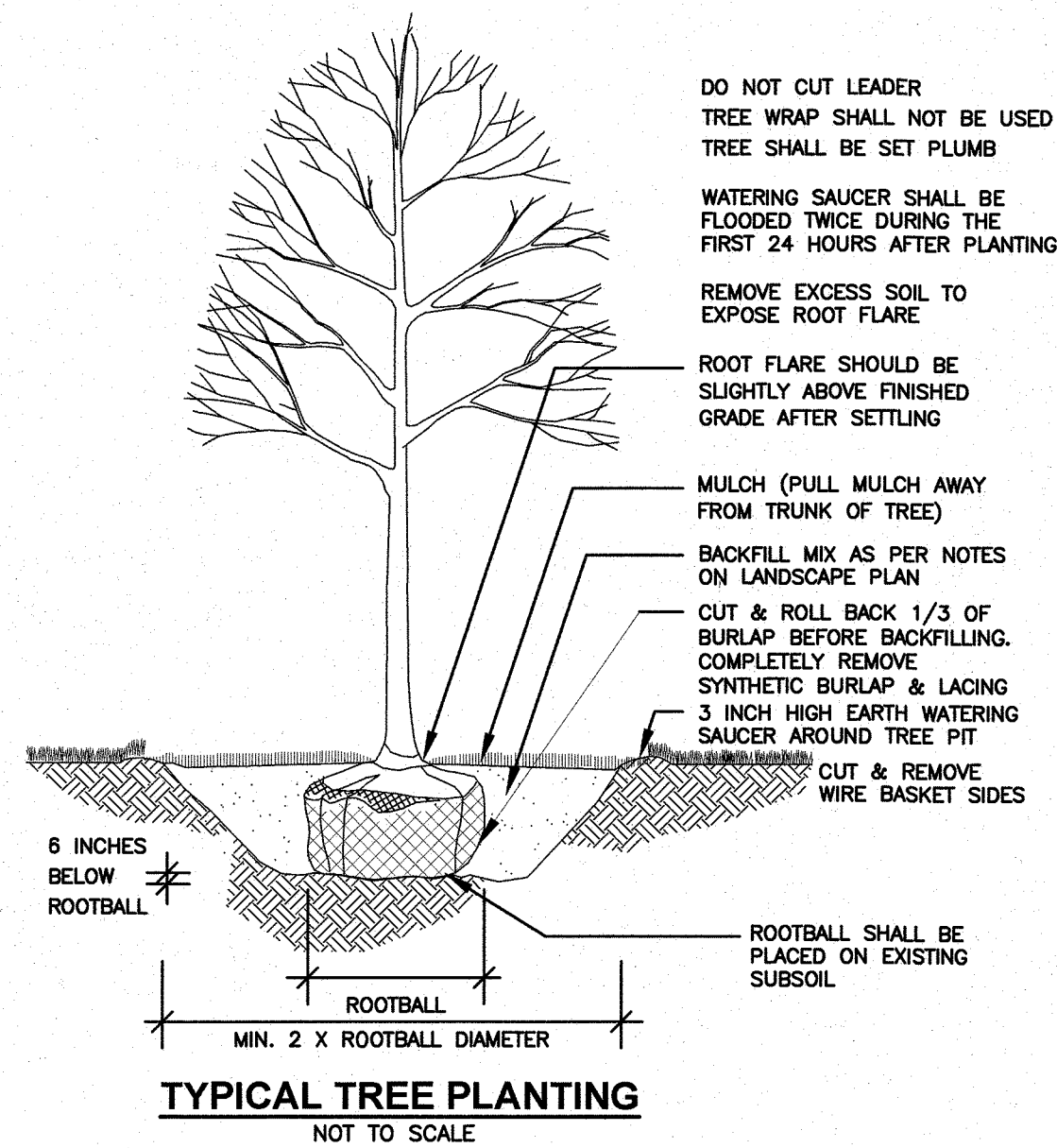
OWNER OF RECORD		SALEM PLANNING BOARD	
YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819		APPROVAL	


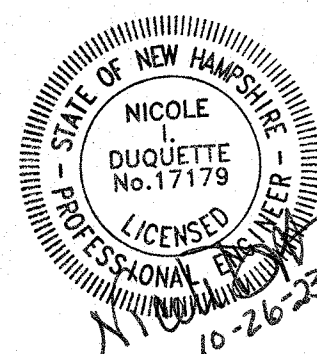


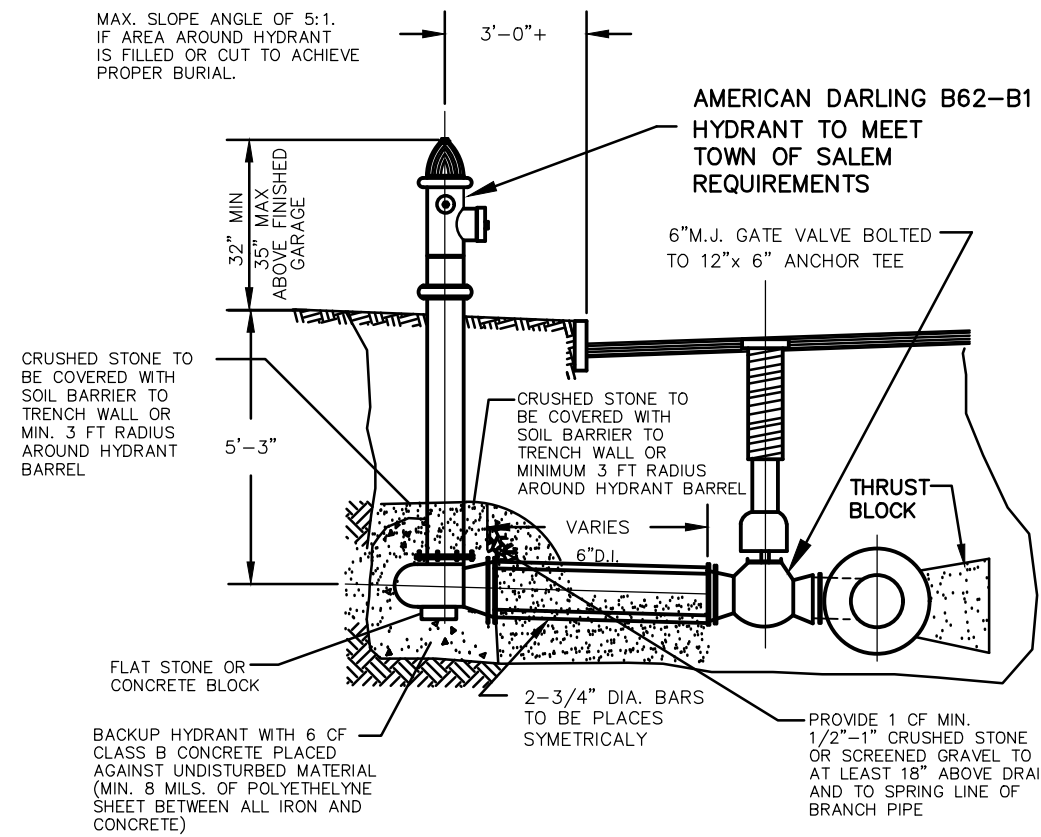
8-16-23

ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_SP-PH2	NEX-2200130	19 OF 25



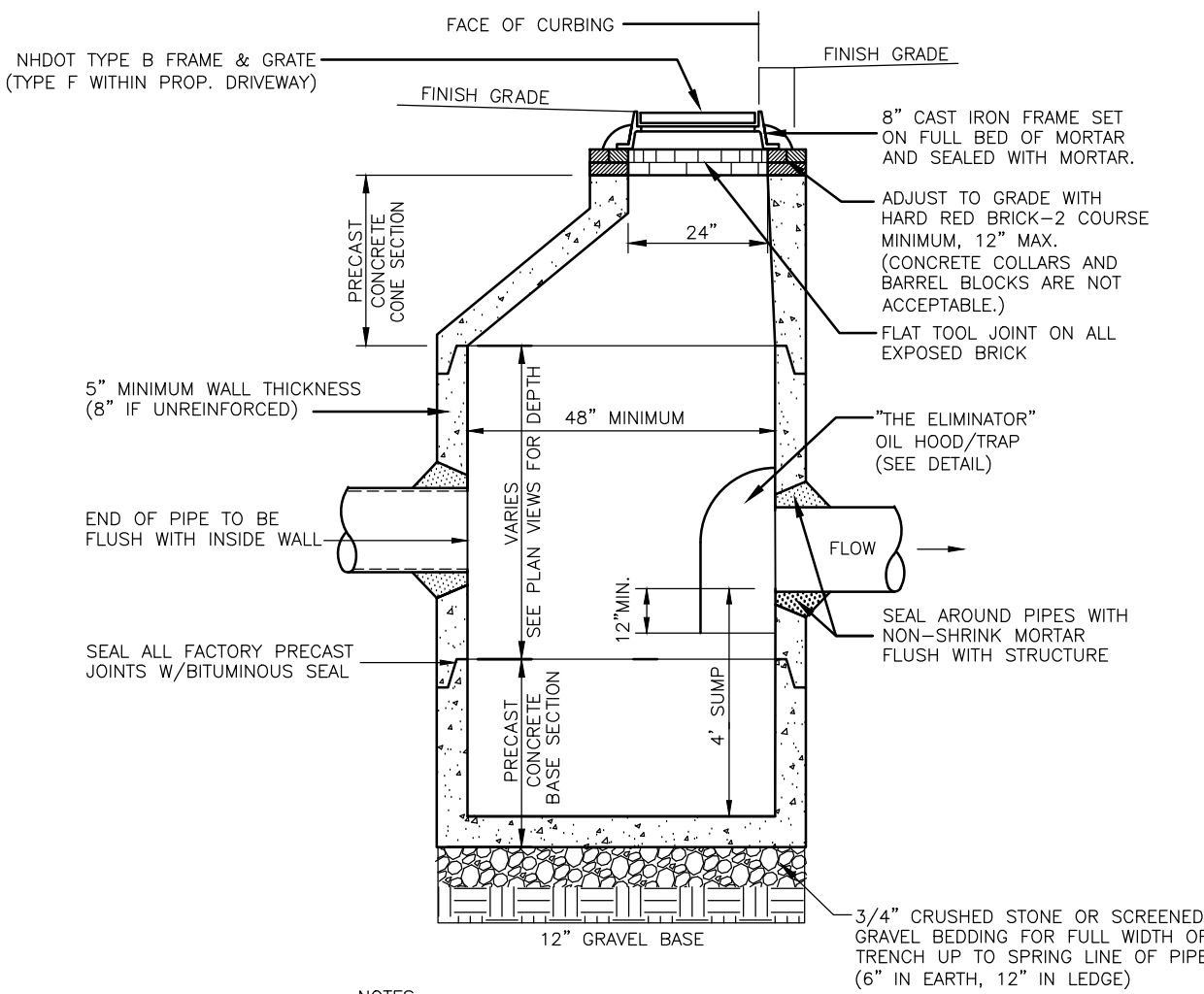
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2	ADDRESS AOT COMMENTS	CMY	10/3/23		
1	RESPONSE TO COMMENTS	CMY	8/16/23		
NO.	DESCRIPTION	BY	DATE		
REVISIONS					
<h2 style="text-align: center;">DETAIL SHEET</h2>					
<p style="text-align: center;">SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD</p> <p style="text-align: center;">PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810</p> <div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: center;">  <p>603.893.0720</p> </div> <div style="text-align: center;"> <p>Engineering Design Planning Construction Management</p> <p>GPINET.COM</p> </div> <div style="text-align: center;"> <p>Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079</p> </div> </div> <p>SCALE: AS SHOWN</p> <p>DATE: APRIL 3, 2023</p>					
		<p style="text-align: center;"><u>OWNER OF RECORD</u></p> <p>YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819</p>		<p style="text-align: center;"><u>SALEM PLANNING BOARD</u></p> <p style="text-align: center;"><u>APPROVAL</u></p>	
<p style="text-align: center;">ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)</p>					
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.	
NID	CCC/DRJ	2200130_DET	NEX-2200130	21 OF 25	



HYDRANT CONNECTION (TYP.)

NOT TO SCALE

NOTE: ALL FIRE HYDRANTS MUST BE TESTED AND PAINTED/LABELED IN ACCORDANCE WITH TOWN OF SALEM REQUIREMENTS.

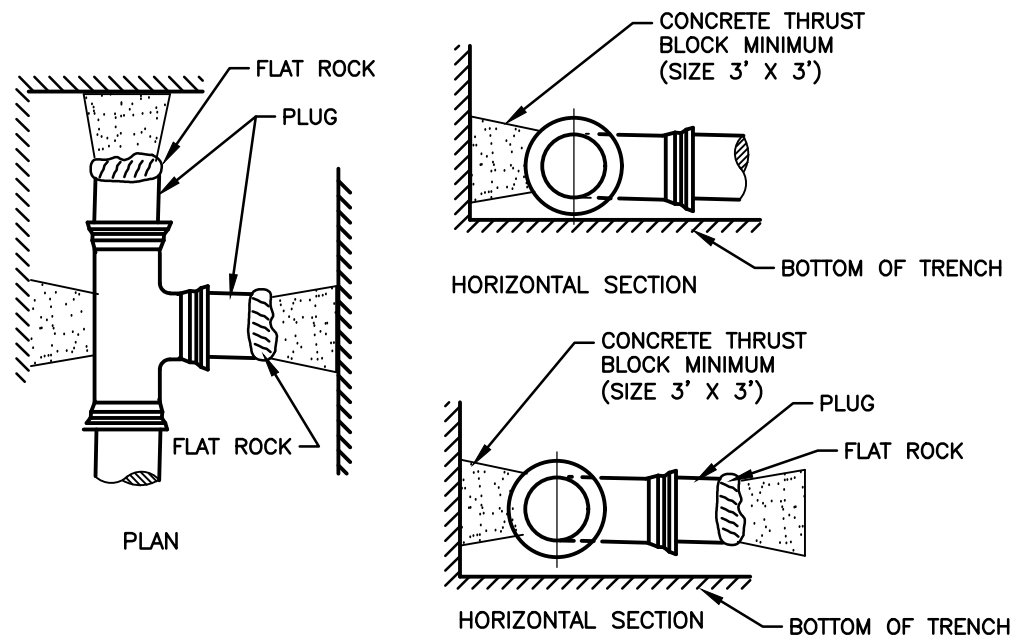


NOTES:

1. PRECAST CONCRETE CATCH BASIN AS MANUFACTURED BY SUPERIOR CONCRETE OR APPROVED EQUAL.
2. CONCRETE: 4,000 PSI AFTER 28 DAYS.
3. REINFORCING: H-20 LOADING, 4 X 4 X 4/4 W.W.M. SLAB TOP -NO. 5'S @ 8" O.C.
4. SHIFLAP JOINTS SEALED WITH 1 STRIP OF 1" DIA BUTYL RUBBER SEALANT.
5. EACH CASTING TO HAVE LIFTING HOLES CAST IN.
6. EACH SECTION TO BE LABELED AS NOTED.
7. OIL HOODS TO BE INSTALLED ON ALL OUTLET PIPES FOR CATCH BASINS AND MANHOLES WITH DEEP SUMPS.

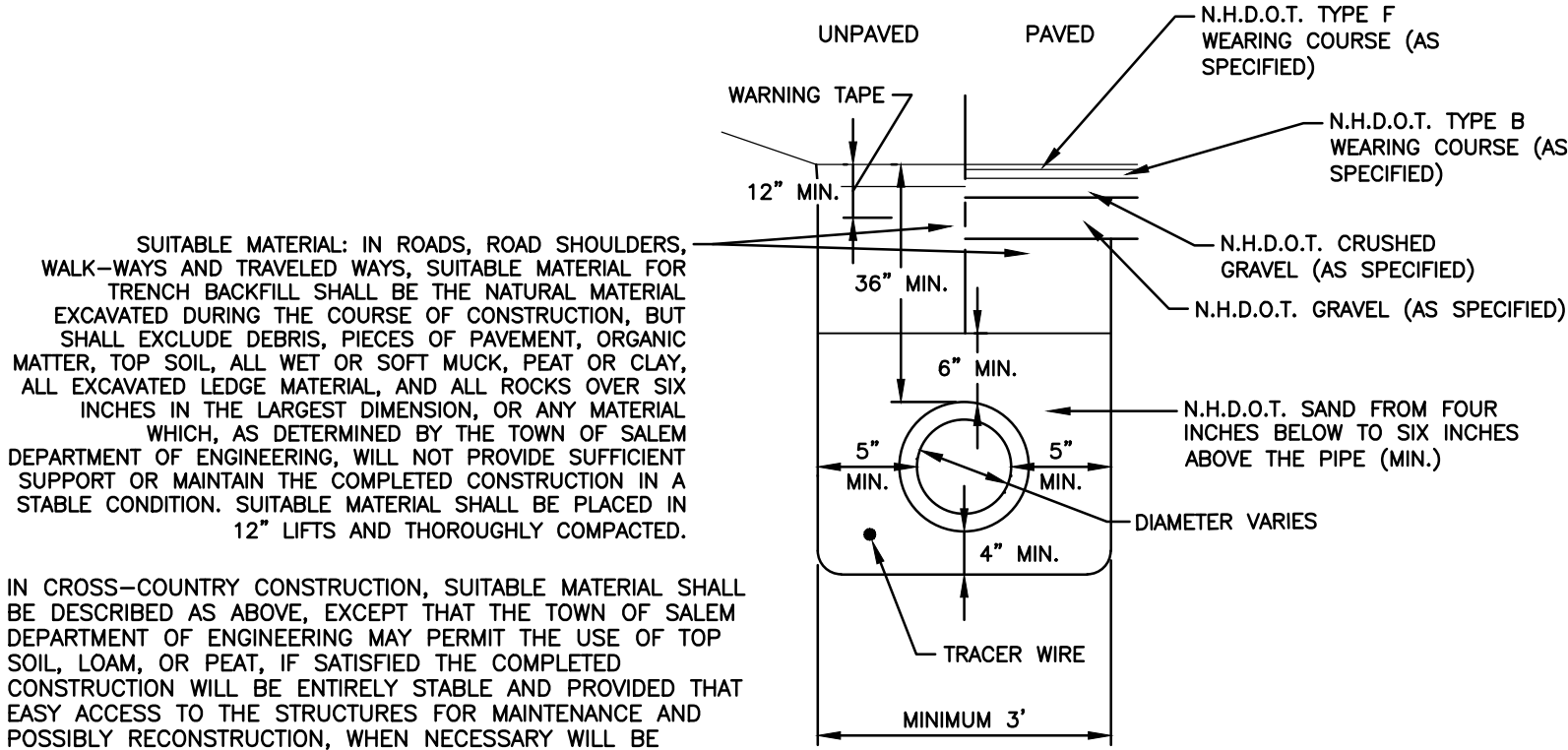
DEEP SUMP CATCH BASIN
ECCENTRIC CONE

NOT TO SCALE



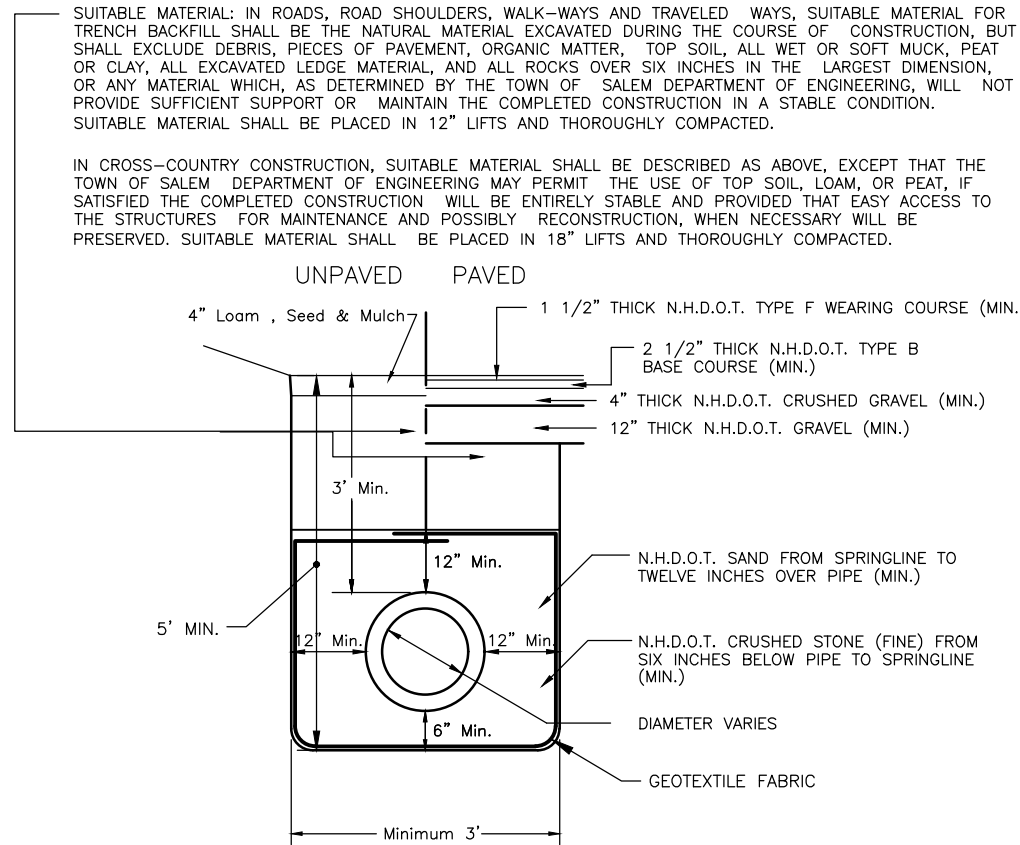
THRUST BLOCK

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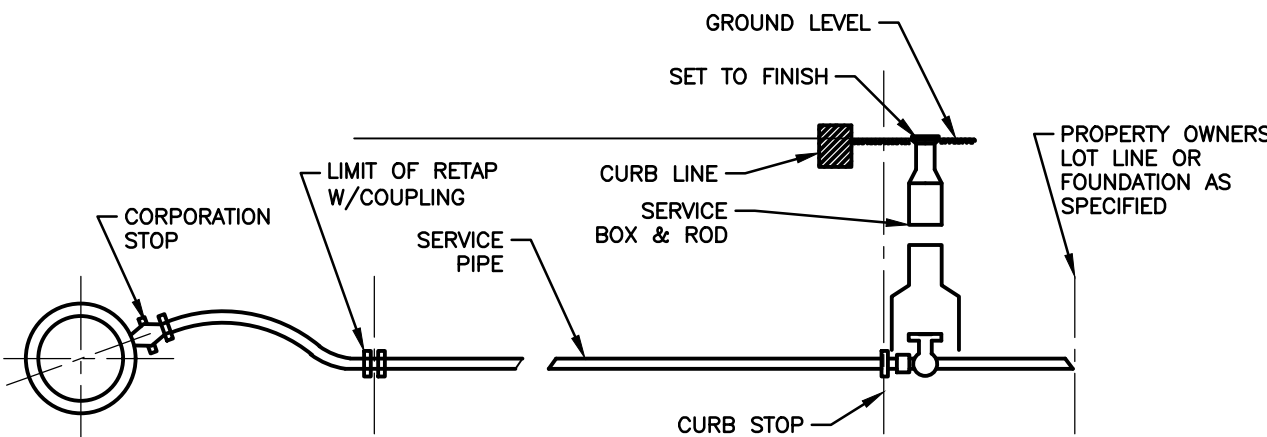
TYPICAL GAS TRENCH

NOT TO SCALE



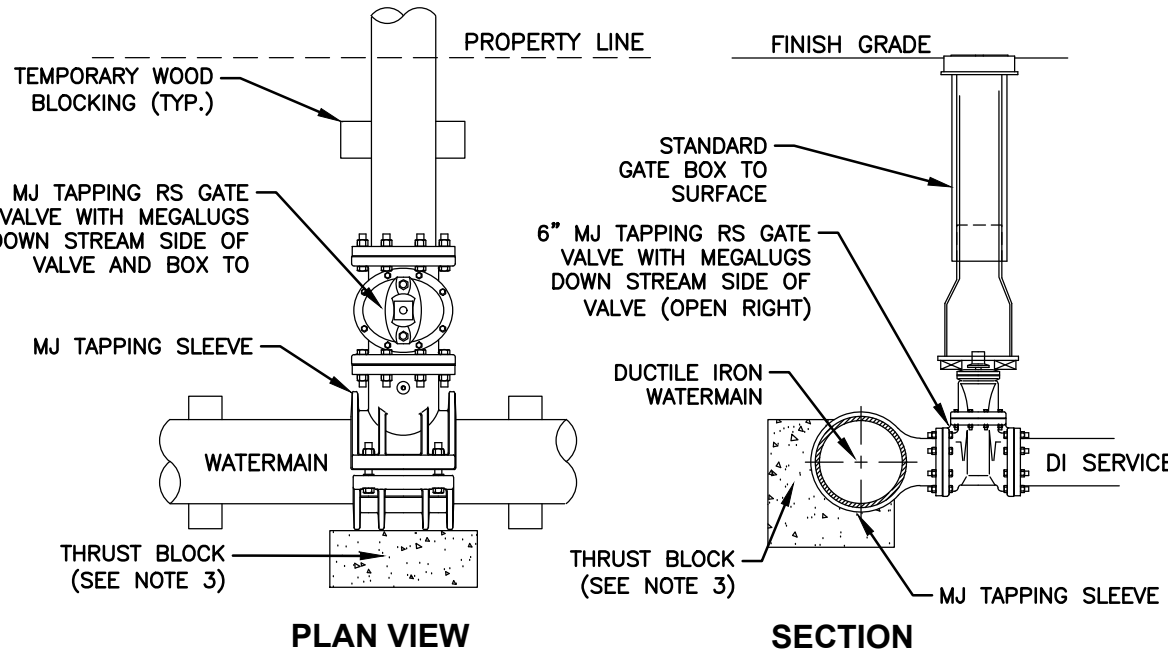
DRAIN TRENCH W/LESS THAN 4 FT OF COVER

NOT TO SCALE



TYPICAL WATER SERVICE CONNECTION

NOT TO SCALE



PLAN VIEW

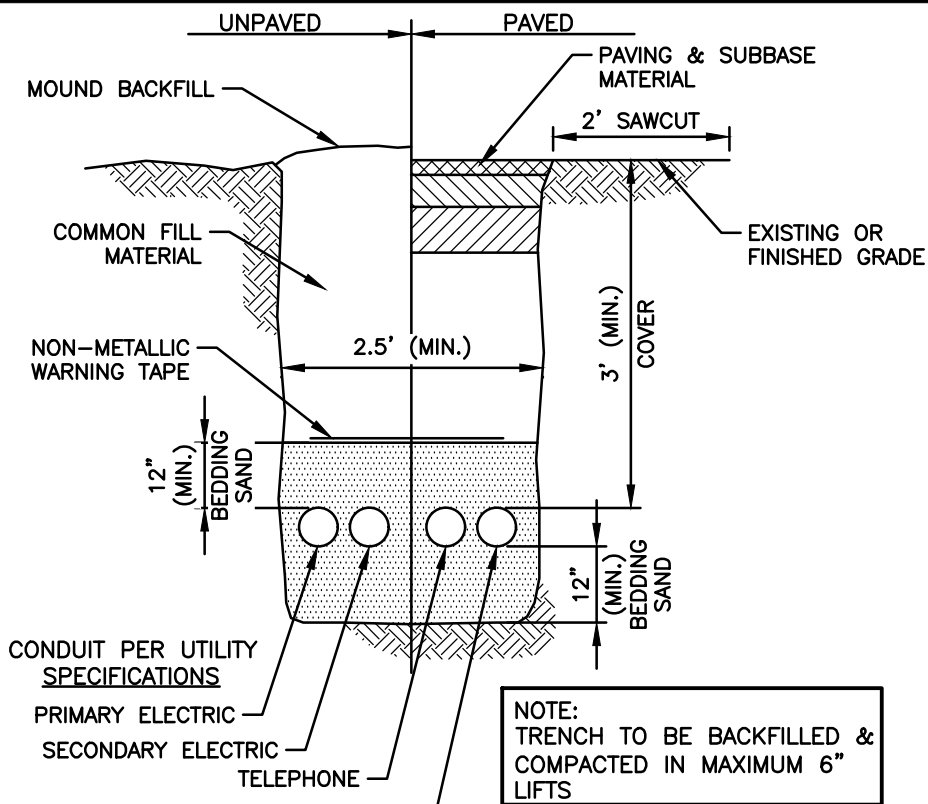
SECTION

NOTE:

1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO D.P.W. TECHNICAL SPECIFICATIONS.
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 5' FROM TOP OF PIPE TO FINISH GRADE.
3. MIN 2'x2'x4' PRECAST CONCRETE THRUST BLOCK MAY BE USED WITH D.P.W. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATERMAIN.

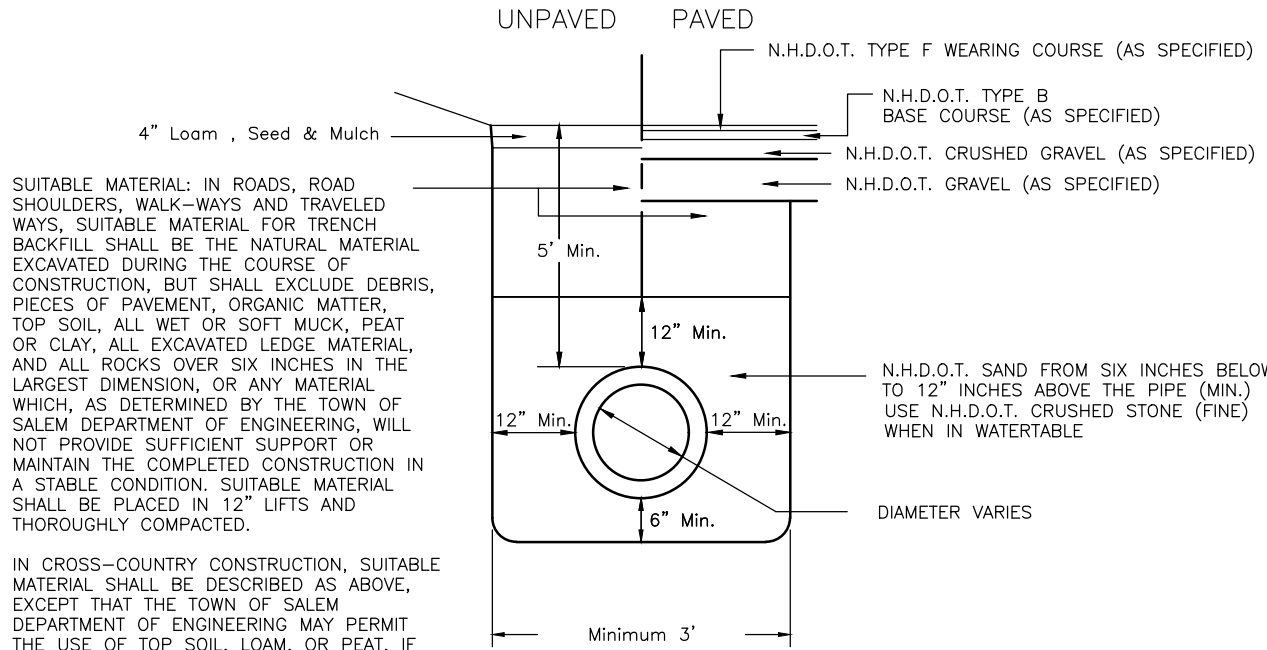
WET TAP TEE INSTALLATION

NOT TO SCALE



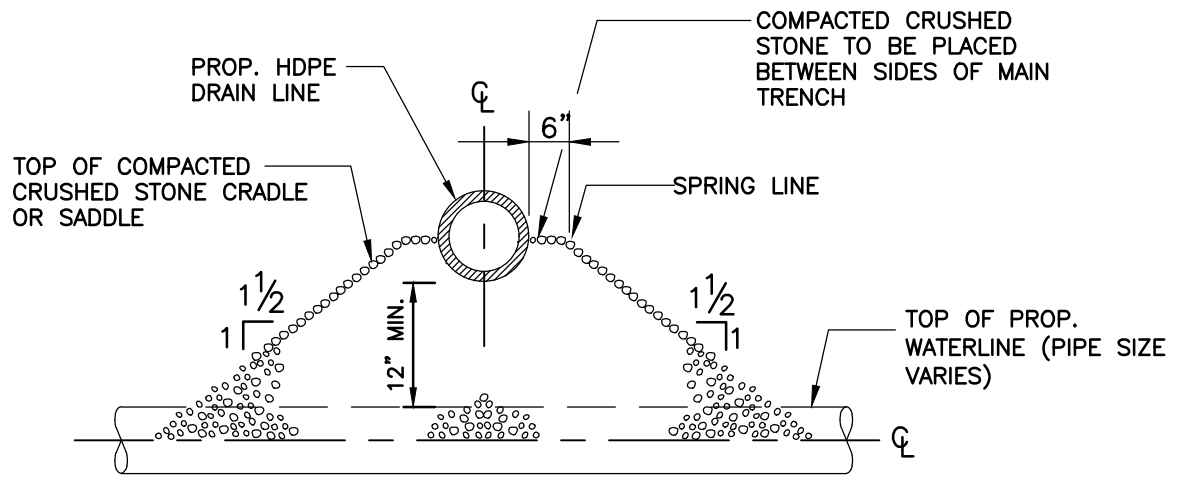
UTILITY TRENCH

NOT TO SCALE



TOWN OF SALEM TYPICAL WATER TRENCH (ON-SITE)

NOT TO SCALE



PIPE CROSSING DETAIL

NOT TO SCALE

NO.	DESCRIPTION	BY	DATE
3	RESPONSE TO COMMENTS	CMY	5/30/25
2	RESPONSE TO COMMENTS	CMY	4/15/25
1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE

DETAIL SHEET

SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

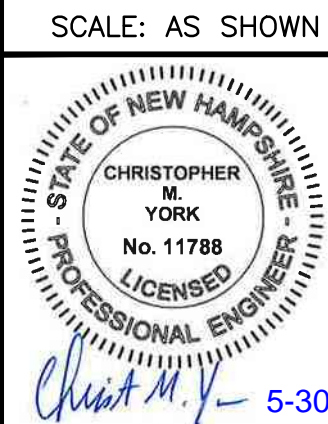
PREPARED FOR:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810

GPI
Engineering
Design
Planning
Construction Management

603.893.0720

GPINET.COM

Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079



5-30-25

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YOUNG LAND HOLDINGS, LLC.
36 PELHAM RD, SALEM, NH
BOOK 6069 PAGE 1819

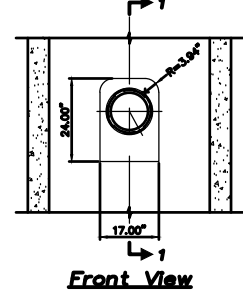
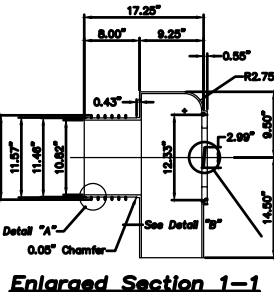
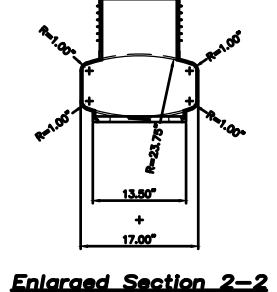
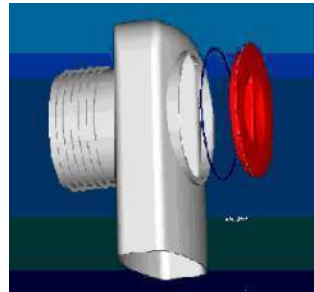
SALEM PLANNING BOARD
APPROVAL

ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)

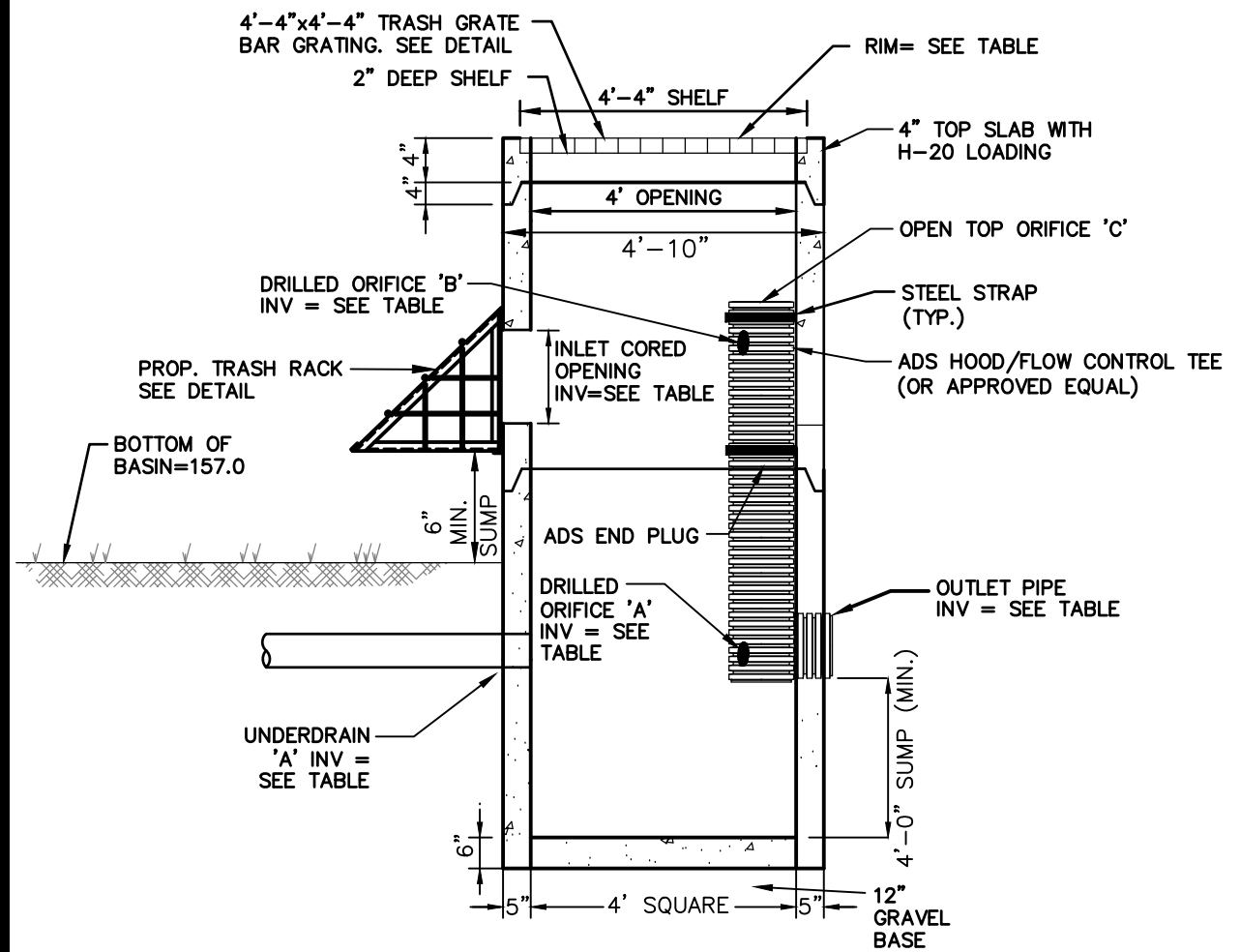
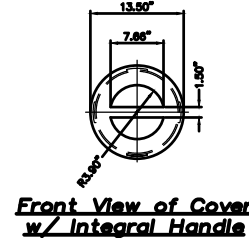
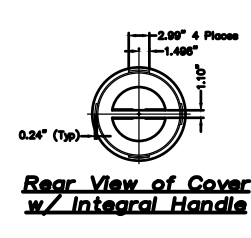
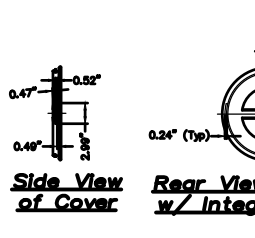
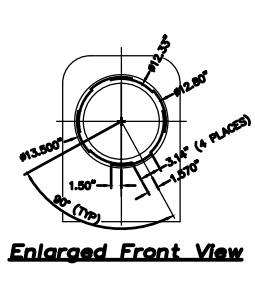
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_DET	NEX-2200130	22 OF 25

TEST PIT DATA

Test Pit No. 3-1	SCS Soil: Canton Fine Sandy Loam	Test Pit No. 9-5	SCS Soil: Canton Fine Sandy Loam
ESHW: 24"	Standing Water: None	ESHW: >120"	Standing Water: None
Refusal: >90"	Roots: None	Refusal: >120"	Roots: None
Depth: 0-18" Horizon A Soil Texture Lousy Sand	Color: 10y 3/2 FR	Depth: 0-5" Horizon Pavement Soil Texture Gravel	Color: Mottles; Quantity/Contrast
18-30" Horizon B Soil Texture Lousy Sand	Consistency: 2.5y 7/4 FR	5-108" Horizon Fill Soil Texture Mixed Soils	Color: 10y 5/6 FR
30-84" Horizon C Soil Texture Lousy Sand	Consistency: 2.5y 7/4 FR	108-120" Horizon Fill Soil Texture Mixed Soils	Color: 10y 5/6 FR
Test Pit No. 3-2	SCS Soil: Canton Fine Sandy Loam	Test Pit No. 9-6	SCS Soil: Canton Fine Sandy Loam
ESHW: >90"	Standing Water: None	ESHW: >74"	Standing Water: None
Refusal: >90"	Roots: None	Refusal: 74"	Roots: None
Depth: 0-72" Horizon Fill Soil Texture Mixed Soils	Color: Variable 2.5y 7/4 FR	74" Horizon Fill Soil Texture Mixed Soils	Color: Mottles; Quantity/Contrast
72-90" Horizon C Soil Texture Mixed Soils	Consistency: 2.5y 7/4 FR	90" Horizon Fill Soil Texture Mixed Soils	Color: Mottles; Quantity/Contrast
Test Pit No. 3-3	SCS Soil: Canton Fine Sandy Loam	Test Pit No. 9-7	SCS Soil: Canton Fine Sandy Loam
ESHW: 24"	Standing Water: 32"	ESHW: >108"	Standing Water: None
Refusal: >78"	Roots: 32"	Refusal: 108"	Roots: None
Depth: 0-12" Horizon A Soil Texture Lousy Sand	Color: 10y 3/2 FR	108" Horizon Fill Soil Texture Mixed Soils	Color: Mottles; Quantity/Contrast
12-34" Horizon B Soil Texture Lousy Sand	Consistency: 10y 5/6 FR	34" Horizon Fill Soil Texture Mixed Soils	Color: Mottles; Quantity/Contrast
34-78" Horizon C Soil Texture Lousy Sand	Consistency: 2.5y 7/4 FR	78" Horizon Fill Soil Texture Mixed Soils	Color: Mottles; Quantity/Contrast
Test Pit No. 9-1	SCS Soil: Canton Fine Sandy Loam	Test Pit No. 9-8	SCS Soil: Canton Fine Sandy Loam
ESHW: 32"	Standing Water: None	ESHW: 48"	Standing Water: None
Refusal: >72"	Roots: None	Refusal: >108"	Roots: None
Depth: 0-30" Horizon Fill Soil Texture Mixed Soils	Color: 2.5y 6/3 FR	48" Horizon Fill Soil Texture Mixed Soils	Color: Mottles; Quantity/Contrast
30-72" Horizon C Soil Texture Mixed Soils	Consistency: 2.5y 6/3 FR	72" Horizon Fill Soil Texture Mixed Soils	Color: Mottles; Quantity/Contrast
Test Pit No. 9-2	SCS Soil: Canton Fine Sandy Loam	Test Pit No. 9-9	SCS Soil: Canton Fine Sandy Loam
ESHW: >50"	Standing Water: None	ESHW: 24"	Standing Water: None
Refusal: 36-50"	Roots: None	Refusal: 60"	Roots: None
Depth: 0-50" Horizon Fill Soil Texture Mixed Soils	Color: Mottles; Quantity/Contrast	60" Horizon Fill Soil Texture Mixed Soils	Color: Mottles; Quantity/Contrast
Test Pit No. 9-3	SCS Soil: Canton Fine Sandy Loam	Test Pit No. 9-10	SCS Soil: Canton Fine Sandy Loam
ESHW: 24"	Standing Water: 102"	ESHW: >102"	Standing Water: None
Refusal: 60"	Roots: 102"	Refusal: 102"	Roots: None
Depth: 0-4" Horizon A Soil Texture Sandy Loam	Color: 10y 3/2 FR	102" Horizon Fill Soil Texture Mixed Soils	Color: Mottles; Quantity/Contrast
4-50" Horizon C Soil Texture Sandy Loam	Consistency: 10y 6/4 FR	50" Horizon Fill Soil Texture Mixed Soils	Color: Mottles; Quantity/Contrast
50-60" Horizon C Soil Texture Fine Lousy Sand	Consistency: 10y 7/3 FR	60" Horizon Fill Soil Texture Mixed Soils	Color: Mottles; Quantity/Contrast
Test Pit No. 9-4	SCS Soil: Canton Fine Sandy Loam		
ESHW: 24"	Standing Water: None		
Refusal: >74"	Roots: None		
Depth: 0-10" Horizon Fill Soil Texture Mixed Soils	Color: 10y 6/4 FR		
10-74" Horizon C Soil Texture Mixed Soils	Consistency: 10y 6/4 FR		



THE ELIMINATOR CATCH BASIN OIL & DEBRIS TRAP

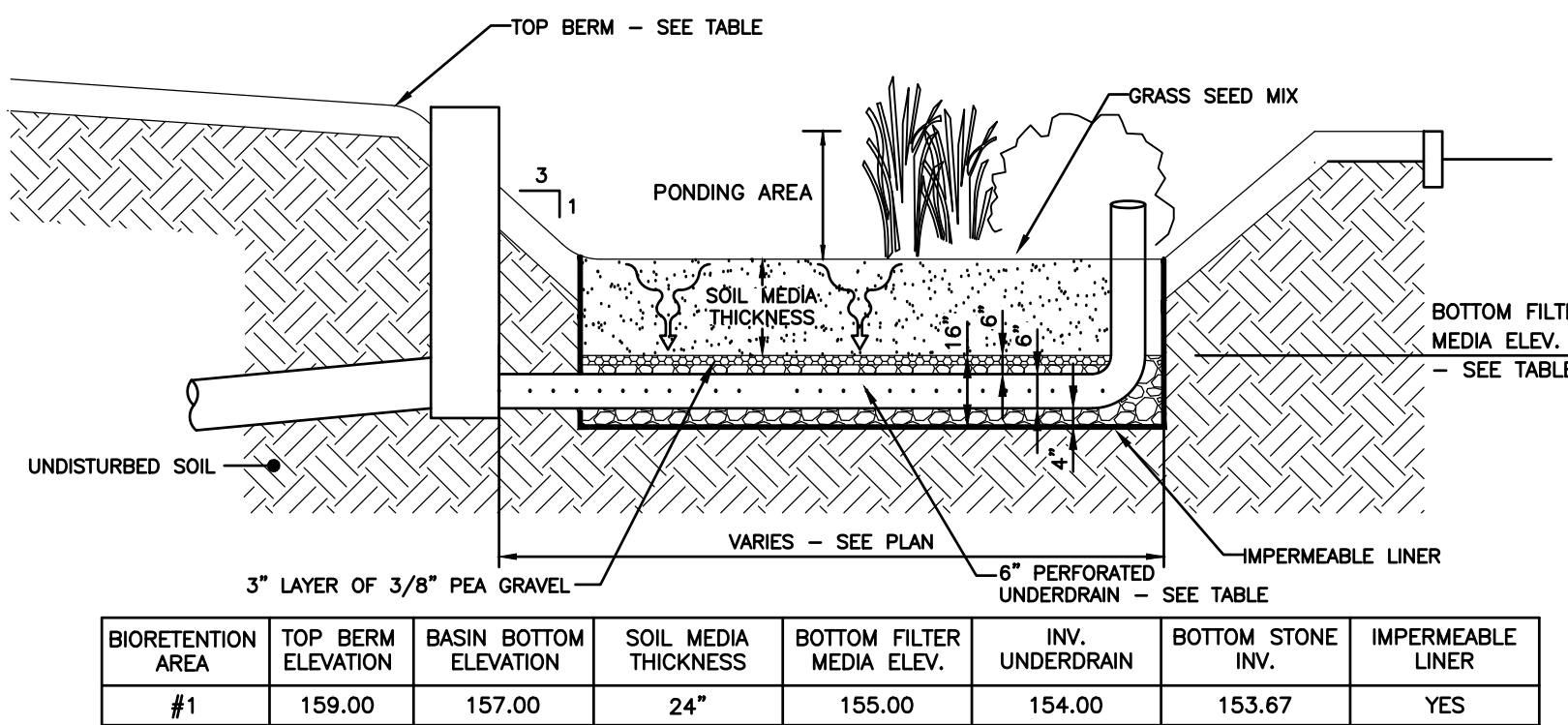


OUTLET CONTROL STRUCTURE TABLE									
OCS	RIM	ORIFICE	SIZE (IN.)	ELEV.	INV.IN (SIZE)	INV.IN (ELEV)	INV.OUT (SIZE)	INV.OUT (ELEV)	
#4	158.80	A	1" DIA.	154.00	6"	157.50	12"	154.00	
		B	2" DIA.	157.50					
		C	12" DIA.	158.10					

- NOTES:
1. PRECAST CONCRETE MAN HOLE AS MANUFACTURED BY SUPERIOR CONCRETE OR APPROVED EQUAL.
 2. CONCRETE: 4,000 PSI AFTER 28 DAYS.
 3. REINFORCING: H-20 LOADING, 4 X 4/4 X 4 W.W.M. SLAB TOP -NO. 5'S @ 8" O.C.
 4. SHIPLAP JOINTS SEALED WITH 1 STRIP OF 1" DIA BUTYL RUBBER SEALANT.
 5. EACH CASTING TO HAVE LIFTING HOLES CAST IN.
 6. LENGTH AND DIAMETER OF TEE VARIES WITH PIPE.

PRECAST CONCRETE OUTLET CONTROL STRUCTURE (OCS) FOR BIORETENTION SYSTEMS

NOT TO SCALE

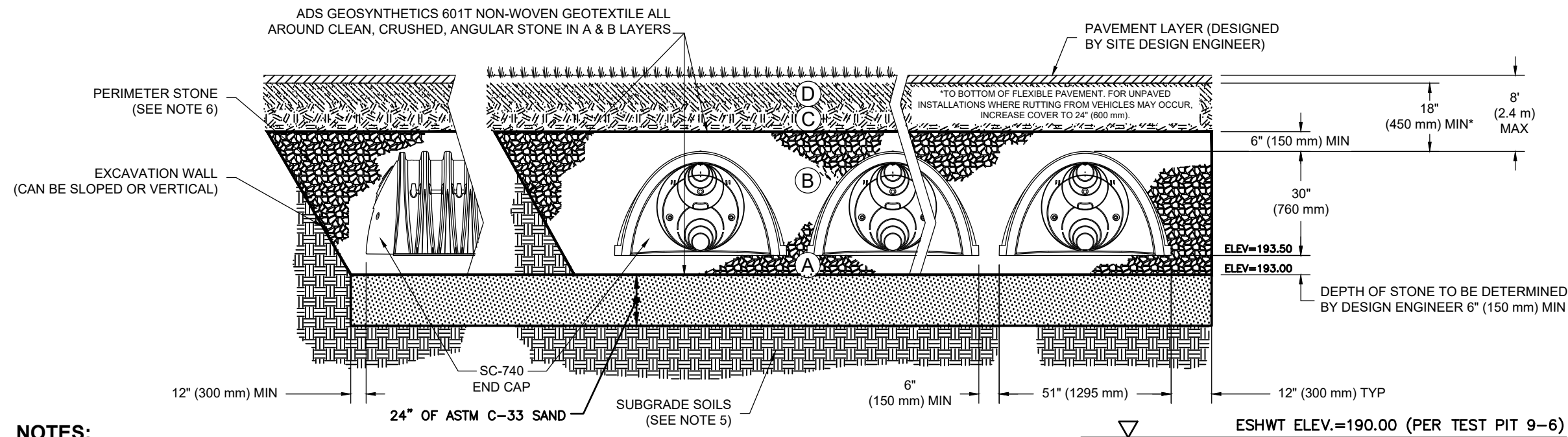


BIORETENTION AREA	TOP BERM ELEVATION	BASEIN BOTTOM ELEVATION	SOIL MEDIA THICKNESS	BOTTOM FILTER MEDIA ELEV.	INV. UNDERDRAIN	BOTTOM STONE INV.	IMPERMEABLE LINER
#1	159.00	157.00	24"	155.00	154.00	153.67	YES

- NOTES:
1. DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
 2. DO NOT DISCHARGE SEDIMENT-LADEN SURFACES FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
 3. DO NOT TRAFFIC EXPOSED SOIL SURFACES WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

BIORETENTION AREA DETAIL

NOT TO SCALE

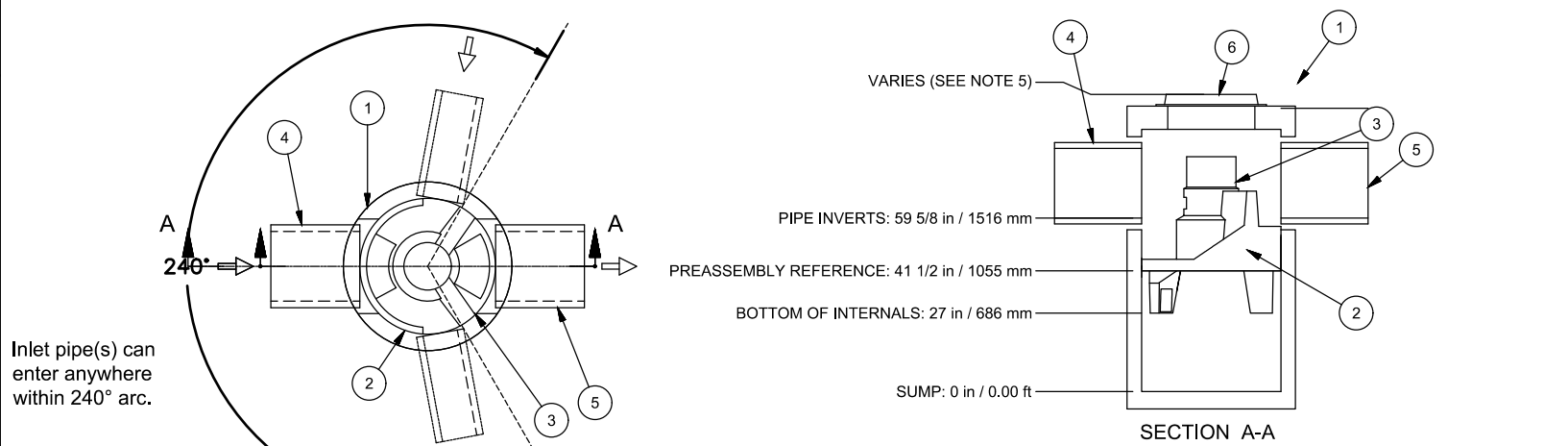


NOTES:

1. SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F3418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
4. THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
5. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE ALLOWABLE BEARING CAPACITY OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
6. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
7. ONCE LAYER 'C' IS PLACED, ANY SOLIMATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
8. SYSTEM TO BE INSTALLED LEVEL.

UNDERGROUND INFILTRATION SYSTEM
STORMTECH SC-740 CHAMBER TYPICAL CROSS SECTION DETAIL

NOT TO SCALE



GENERAL NOTES:

1. GENERAL ARRANGEMENT DRAWINGS ONLY. CONTACT HYDRO INTERNATIONAL FOR SITE SPECIFIC FABRICATION DRAWINGS.
2. THE DIAMETER OF THE INLET & OUTLET PIPES MAY BE NO MORE THAN 24".
3. MULTIPLE INLET PIPES POSSIBLE (REFER TO PROJECT PLANS).
4. INLET/OUTLET PIPE ANGLE CAN VARY TO ALIGN WITH DRAINAGE NETWORK (REFER TO PROJECT PLANS).
5. PEAK FLOW RATE AND MINIMUM HEIGHT LIMITED BY AVAILABLE COVER AND PIPE DIAMETER.
6. LARGER SEDIMENT STORAGE CAPACITY MAY BE PROVIDED WITH A DEEPER SUMP DEPTH.

ITEM	QTY	SIZE (in)	SIZE (mm)	DESCRIPTION
1	1	48	1200	I.D. PRECAST MANHOLE
2	1			INTERNAL COMPONENTS (PRE-INSTALLED)
3	1	30	750	FRAME AND GRATE
4	1	24 (MAX)	600 (MAX)	OUTLET PIPE (BY OTHERS)
5	1	24 (MAX)	600 (MAX)	INLET PIPE (BY OTHERS)

NOTE: CONTRACTOR SHALL CONFIRM SYSTEM PARTS AND OBTAIN SHOP DRAWINGS FROM MANUFACTURER PRIOR TO CONSTRUCTION.

"FIRST DEFENSE" FD-4HC UNIT DETAIL

(OR APPROVED EQUAL)
NOT TO SCALE

NO.	DESCRIPTION	BY	DATE
4	RESPONSE TO COMMENTS	CMY	4/15/25
3	ADDRESS AOT COMMENTS	CMY	10/23/23
2	ADDRESS AOT COMMENTS	CMY	10/3/23
1	RESPONSE TO COMMENTS	CMY	8/16/23
REVISIONS			

DETAIL SHEET

SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

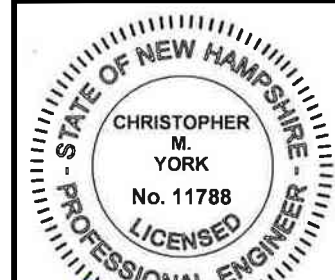
PREPARED FOR:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810

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603.893.0720
GPINET.COM

Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

SCALE: AS SHOWN

DATE: APRIL 3, 2023



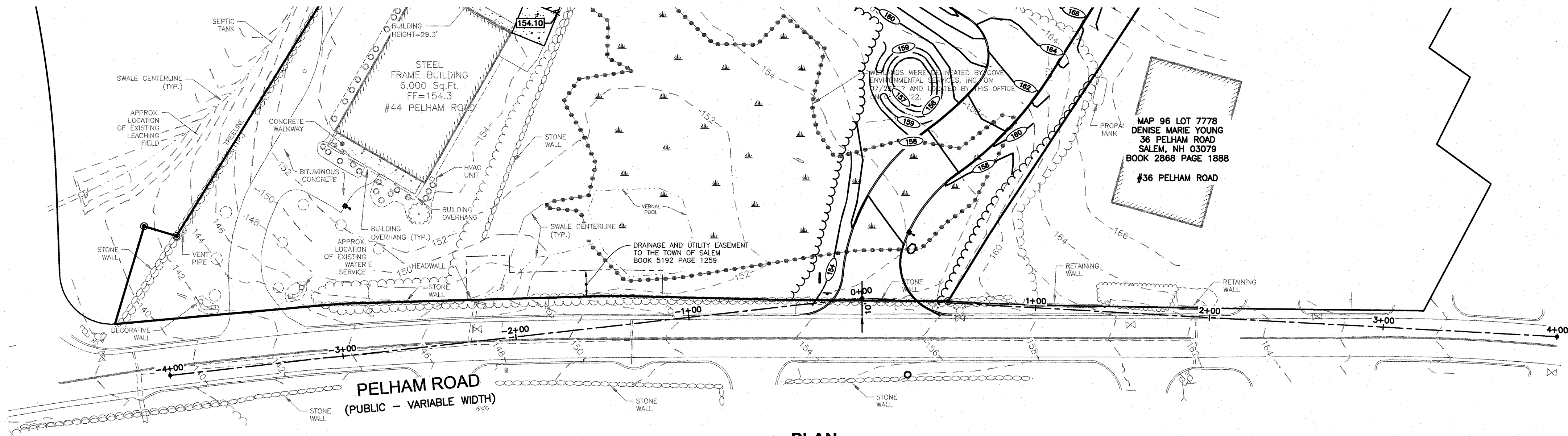
OWNER OF RECORD
YOUNG LAND HOLDINGS, LLC.
36 PELHAM RD, SALEM, NH
BOOK 6069 PAGE 1819

SALEM PLANNING BOARD
APPROVAL

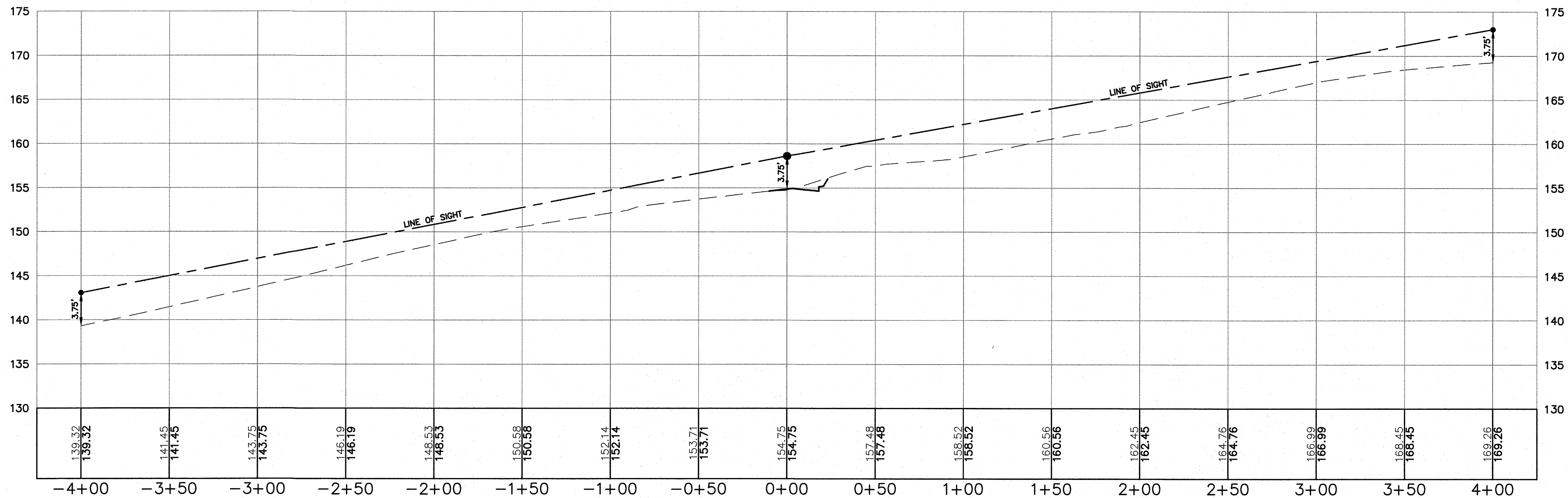
ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_DET	NEX-2200130	24 OF 25

F:\Projects\NEX-2200130 - Salem, NH - Suraj Realty\CAD Files\2200130_SP-PH1.dwg SIGHT DIST 8/16/23 10:21am ccdl



PLAN
SCALE: 1"=40'



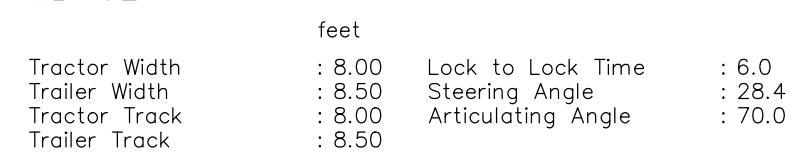
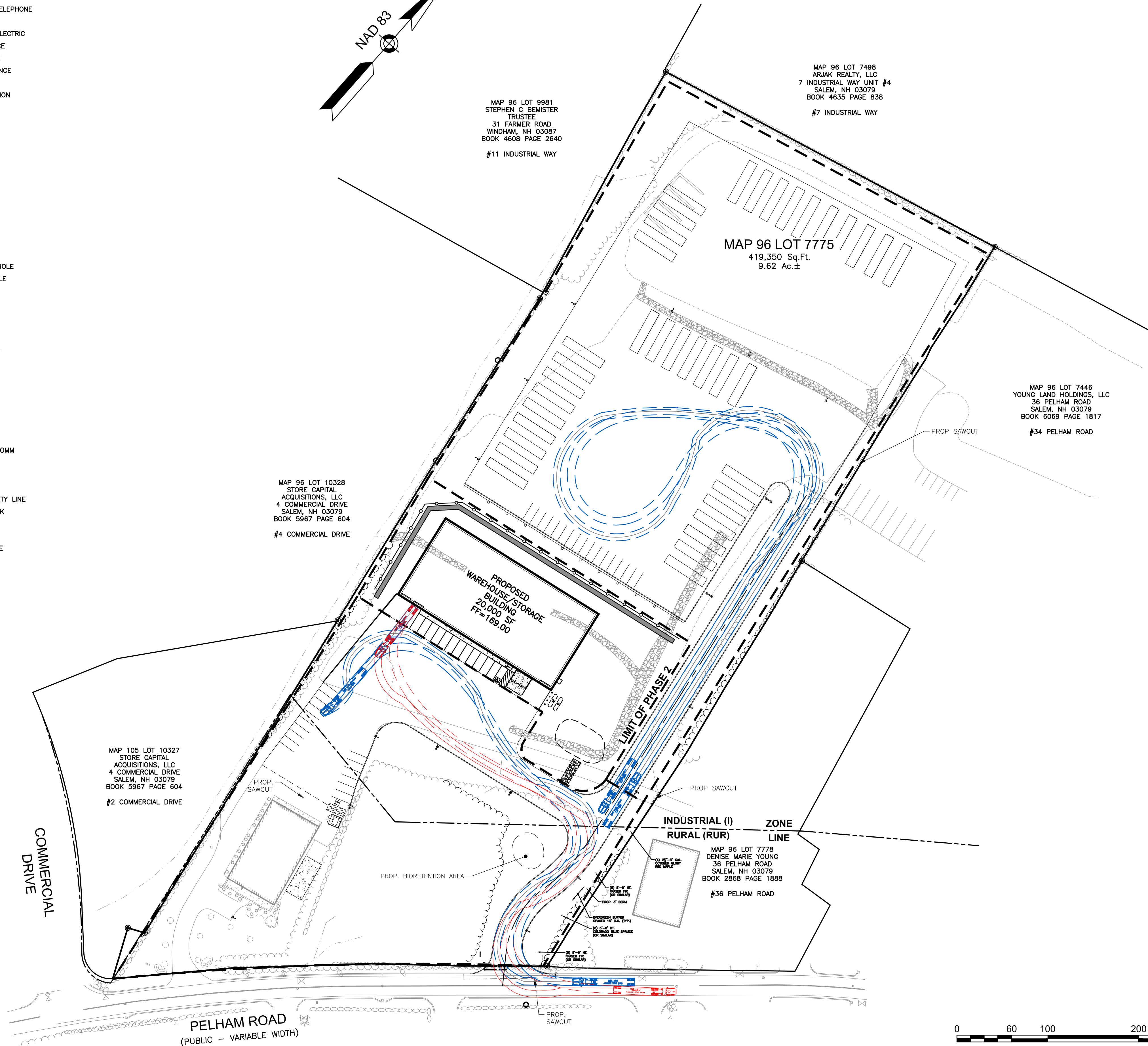
PROFILE
SCALE: 1"=40'H/4'V



SCALE: 1" = 40' (H)
1" = 8' (V)

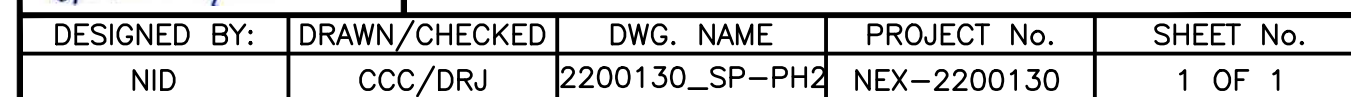
1		RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION		BY	DATE
REVISIONS				
SIGHT DISTANCE PLAN & PROFILE				
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD				
PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810				
GPI 603.893.0720 GPI.NET.COM		Engineering Design Planning Construction Management Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079		
SCALE: 1" = 40'		DATE: APRIL 3, 2023		
		OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819		SALEM PLANNING BOARD APPROVAL
ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)				
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_SP-PH1	NEX-2200130	25 OF 25

	CAPE COD BERM
	DOUBLE SOLID LINE YELLOW
	SINGLE SOLID LINE WHITE
	GAS LINE
	UNDERGROUND TELEPHONE
	WATER LINE
	UNDERGROUND ELECTRIC
	CHAIN LINK FENCE
	STOCKADE FENCE
	POST & RAIL FENCE
	WIRE FENCE
	CONTOUR ELEVATION
	TREE
	UTILITY POLE
	GUY WIRE
	OVERHEAD WIRE
	TREELINE
	SIGN
	SPOT ELEVATION
	DRAIN MANHOLE
	CATCH BASIN
	ROOF DRAIN
	CLEANOUT
	VENT
	SEWER MANHOLE
	TELEPHONE MANHOLE
	ELECTRIC MANHOLE
	WATER MANHOLE
	MANHOLE
	GAS VALVE
	GAS SHUT OFF
	WATER VALVE
	WATER SHUT OFF
	FIRE HYDRANT
	BOLLARD
	GAS METER
	ELECTRIC METER
	LIGHT POLE
	WETLAND LINE
	WATER FEATURE
	UNDERGROUND COMM
	DITCH LINE
	EASEMENT LINE
	PROPERTY LINE
	ABUTTER PROPERTY LINE
	BUILDING SETBACK
	SOIL TYPE LINE
	ZONE LINE
	FLOOD ZONE LINE



2	MISC REVS.	CMY	10/20/25
1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE
	REVISIONS		

DATE: APRIL 3, 2023





POLICY AND PROCEDURE MEMO

No. _____
Date: April 21, 2025

SUBJECT: BAITING ON TOWN-OWNED LAND

Purpose:

To establish a formal process for permitting baiting for wildlife on town-owned land in accordance with New Hampshire Fish and Game regulations and to ensure the proper use and cleanup of municipal property.

Policy:

The Town of Salem may allow baiting for bear and deer on town-owned property subject to the following requirements:

1. Eligibility & Timing

- All baiting activities must comply with New Hampshire Fish and Game regulations.
- Bear baiting permits must be postmarked by the first Monday in August.
- Deer baiting permits must be postmarked by the first Monday in October.

2. Application Process

- Applicants must submit the following to the Town Manager:
 - Completed NH Fish and Game Permit Application (Form F&G 180)
 - Letter of request identifying proposed location
 - Coordinates and a detailed topographic map of the baiting site
- The Town Manager may deny any application if it is determined that baiting is not appropriate for the requested location.

3. Cleanup Deposit

- A deposit check is required with all applications in an amount equal to the cost of two municipal services employees at a three-hour minimum.
- The applicant must submit photographs at the end of the season demonstrating the site has been properly cleaned.
- Upon staff verification, the check will be returned. If the site is not cleaned, the deposit will be used to cover municipal cleanup efforts.

4. Authorization

The Town Manager is authorized to review, approve, and revoke baiting permits on town-owned land on behalf of the Town.

5. Enforcement & Revocation

Any violation of this policy or NH Fish and Game regulations may result in immediate revocation of permission and forfeiture of the deposit.

Effective Date: April 21, 2025

Adopted By:

Town of Salem, Town Council

Date: April 21, 2025



PERMIT TO BAIT WILDLIFE

PLEASE PRINT LEGIBLY

Is this bait site located on state-owned or state-managed land? (Fis 307.01)

Check one: ☒ YES, it IS on state-owned or state-managed land ☐ NO, it IS NOT on state-owned or state-managed land

If YES, was site awarded in CLHF Lottery? ☐ YES ☐ NO If YES, what is the CLHF Unit # _____

If permittee is a licensed NH Hunting Guide, indicate whether this bait site is for private or commercial use:

Check one: ☒ Private Use ☐ Commercial Use

I hereby grant to _____ Date of Birth: _____ Telephone: _____

(ADDRESS: STREET) _____ (TOWN) _____ (STATE) _____ (ZIP) _____

Permission to bait for _____ on land owned or occupied
(SPECIES ALLOWED MUST BE SPECIFICALLY INDICATED)

by me, hereinafter described, during the period designated by the laws of the State of New Hampshire. Said land located as follows:

Wildlife Management Unit: _____ Town(s): _____

Road(s) _____

Exact Location _____
(MUST INCLUDE SPECIFIC DIRECTIONS TO ALLOW A PERSON TO LOCATE EACH BAIT SITE)

Landowner's Stipulations _____

Landowner's Name _____ Telephone Number: _____

(ADDRESS: STREET) _____ (TOWN) _____ (STATE) _____ (ZIP) _____

This permit expires December 31st following the date of issuance except as provided by Fis 307.01(e)(1) and Fis 307.05(e)(1).

(DATE OF ISSUANCE)

(SIGNATURE OF LANDOWNER)

This permit is not valid unless ALL information items have been provided and the proper distribution, including USGS topographical map or copy thereof, has been completed.

NOTE: SEE BELOW FOR IMPORTANT INFORMATION AND INSTRUCTIONS!

Baiting: The act of placing meat, carrion, honey, or any other food or ingestible substance capable of luring or attracting coyote, fur-bearing animals, or game animals with the exception of gray squirrel (207:1 II-a)

No person may bait wildlife on the property of another unless he has secured from the owner or occupant of the property upon which the bait is to be deposited a permit (Permit To Bait Wildlife) in writing, signed by the owner or occupant, and until he has filed a copy of the permit with the NH Fish and Game Department as specified below, together with a USGS topographical map or copy thereof showing the specific location of the bait site (207:3-d).

On state-owned or state-managed lands (National Forest) permit applications will be accepted at any time, except applications for baiting bear and deer shall not be considered unless received by the Dept. or postmarked between the **first Monday in June and the first Monday in August**. Note: Special rules apply for the Connecticut Lakes Headwaters Forest baiting permit lottery (see Fis 307.05(k)).

- **If baiting on state-owned or state-managed land:** One copy with a topographical map attached shall be submitted by hand or mailed to the Law Enforcement Division, NH Fish and Game Department, 11 Hazen Drive, Concord, NH 03301. Once it has been approved, our office will send you the signed permit.

On lands other than state-owned or state-managed, permit applications shall not be considered unless received by the Dept. or are postmarked on or before the **first Monday in August if baiting for bear**, or received by the Fish and Game Department or postmarked on or before the **first Monday in October for all other species**, except applicants may apply beginning December 1 for permits to bait coyote for the following year.

Prior to the placement of any bait, copies of this permit and associated topographical maps shall be distributed as follows:

- Original to be retained by permittee.
- One copy to be left with the landowner.

- **If not baiting on state-owned or state-managed land:** Two copies with a topographical map attached shall be submitted by hand to or mailed to the Wildlife Division, NH Fish and Game Department, 11 Hazen Drive, Concord, NH 03301. Other than for deer or bear, the permittee shall not place any bait until 3 days after the date of postmark during the open season.

General Rules

A permit to bait wildlife shall be valid for a single permittee only and shall have only that permittee's name entered on the permit. No person other than the permittee is authorized to place bait. At each bait site, an identification sign at least 3 x 6 inches in size shall bear the name and address of the person placing said bait, and shall bear the names of not more than 2 other persons permitted to hunt over the bait (excluding guides).

No identification sign at a bait site shall be altered by substitution or by changing of the names listed thereon during the open season for taking bear.

A person with a current hunting license may be allowed a maximum of 2 active bait sites, depending on the species and WMU. A bait site shall be considered active if the baiting season for the species allowed on the permit to bait wildlife is open or if no specific expiration date is noted on the permit form.

No person shall engage in the act of baiting for fur-bearing animals, including coyote or game animals, with the exception of gray squirrel from April 15 to August 31.

No person shall place bait less than 300 feet from a dwelling or public roadway, path, or trail.

From the close of the season to take bear with the aid and use of bait thru December 15, baiting for coyote shall be restricted to the use of meat, animal parts, carrion, or fish.

No person shall use the aid of bait to take wild turkeys.

This permit does not convey any rights other than permission to bait the wildlife species indicated according to the laws of the State of New Hampshire, subject to whatever stipulations the landowner may prescribe.

This summary of the baiting regulations is intended only as a guide. The complete Fish and Game Laws may be viewed at www.wildlife.state.nh.us

2026 Calendar Land Use Boards

January								February								March						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday		Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday		Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
				1 NEW YEAR'S DAY	2	3		1	2	3 ★	4	5	6	7		1	2	3 ★	4	5	6	7
4	5	6 ★	7	8	9	10		8	9	10	11	12	13 ★	14		8	9	10 TOWN ELECTION	11	12	13	14
11	12	13	14	15	16	17		15	16 PRESIDENT'S DAY	17 ★	18 ★	19	20	21		15	16	17	18 ★	19	20	21
18	19 CIVIL RIGHTS DAY	20 ★	21 ★	22	23	24		22	23	24	25	26	27	28		22	23 ★	24 ★	25	26	27	28
25	26	27	28	29	30	31										29	30	31				
April								May								June						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday		Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday		Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
			1	2	3	4							1	2			1	2 ★	3	4	5	6
5	6	7 ★	8	9	10	11		3	4	5 ★	6	7	8	9		7	8	9	10	11	12	13
12	13	14	15	16	17	18		10	11	12	13	14	15	16		14	15	16	17	18	19 JUNETEENTH	20
19	20 ★	21 ★	22 ★	23	24	25		17	18 ★	19 ★	20 ★	21	22	23		21	22 ★	23 ★	24 ★	25	26	27
26	27	28	29	30				24	25 MEMORIAL DAY	26	27	28	29	30		28	29	30				
								31														
July								August								September						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday		Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday		Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
			1	2	3 INDEPENDENCE DAY OBSERVED	4 INDEPENDENCE DAY								1				1 ★	2	3	4	5
5	6	7 ★	8	9	10	11		2	3	4 ★	5	6	7	8		6	7 LABOR DAY	8	9	10	11	12
12	13	14	15	16	17	18		9	10	11	12	13	14	15		13	14	15	16	17	18	19
19	20 ★	21 ★	22 ★	23	24	25		16	17 ★	18 ★	19 ★	20	21	22		20	21 ★	22 ★	23 ★	24	25	26
26	27	28	29	30	31			23	24	25	26	27	28	29		27	28	29	30			
								30	31													
October								November								December						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday		Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday		Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
				1	2	3		1	2	3 GENERAL ELECTION	4	5	6	7				1 ★	2	3	4	5
4	5	6 ★	7	8	9	10		8	9	10	11 VETERANS DAY	12	13	14		6	7	8	9	10	11	12
11	12 COLUMBUS DAY	13	14	15	16	17		15	16 ★	17 ★	18 ★	19	20	21		13	14	15	16	17	18 ★	19
18	19 ★	20 ★	21 ★	22	23	24		22	23	24	25	26 THANKSGIVING DAY	27 DAY AFTER THANKSGIVING	28		20	21 ★	22 ★	23	24 CHRISTMAS EVE (1/2 DAY)	25 CHRISTMAS DAY	26
25	26	27	28	29	30	31		29	30							27	28	29	30	31 NEW YEAR'S EVE (1/2 DAY)		

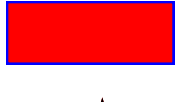


Conservation



Filing Deadline

603-890-2086



Planning

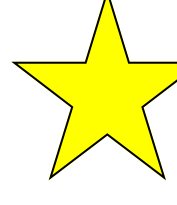


Filing Deadline

603-890-2083



Zoning



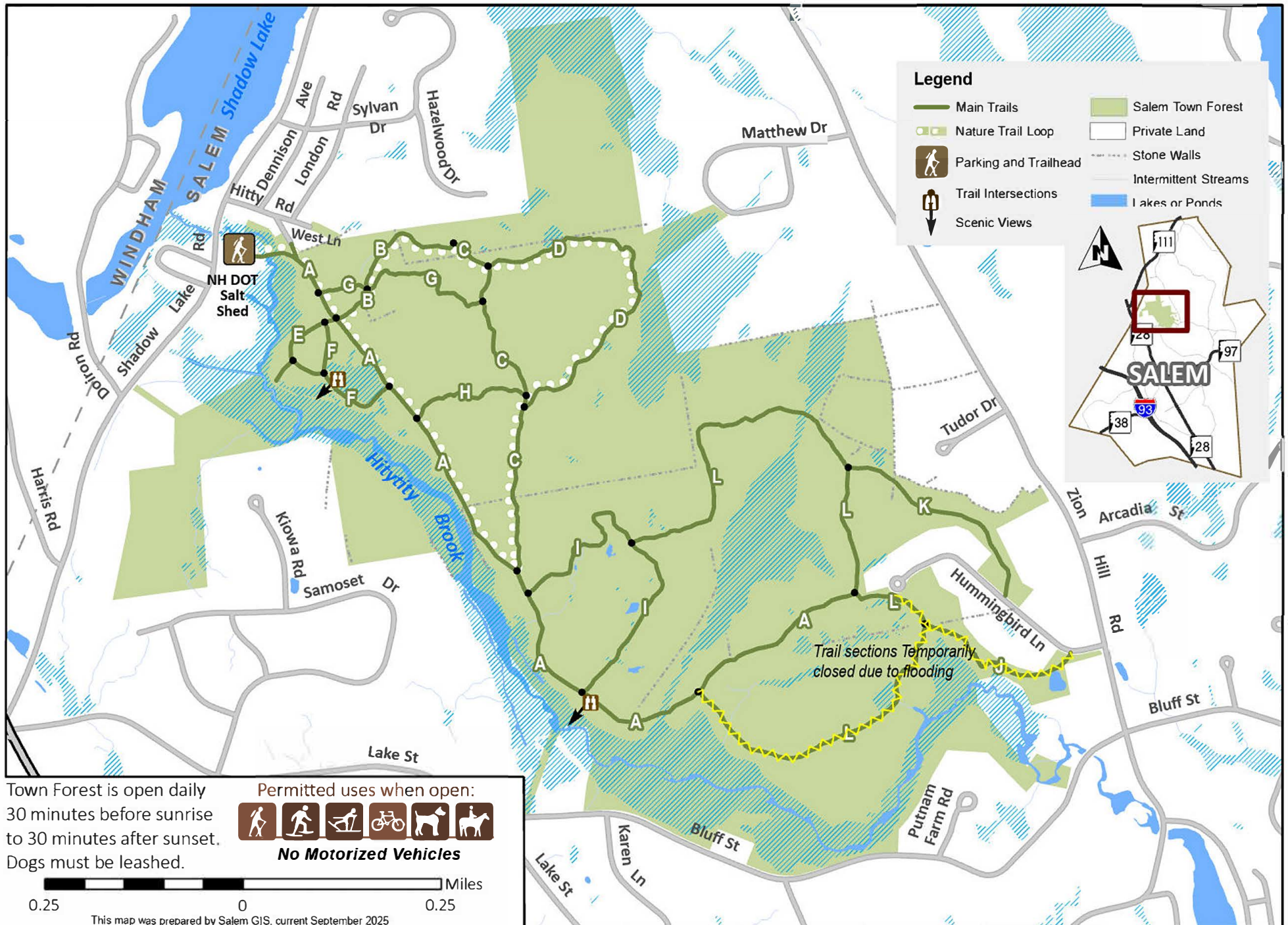
Filing Deadline

603-890-2080

Calendar created by the
Town of Salem Planning Division—Meetings
subject to change due to conflicts in
scheduling, weather or other factors
*Revised 3/7/2025

Salem Town Forest (347 Acres)

Managed by the Salem Conservation Commission



Brubaker, Crayton

From: Glen Edwards <atmplanner@gmail.com>
Sent: Friday, December 19, 2025 8:18 AM
To: Brust, Georgia; Isabelle, Juliann; Brubaker, Crayton
Subject: Salem Town Forest Trail Maps

CAUTION: Security Reminder: External Email This email came from outside the Salem network. Only open links or attachments if you recognize the sender and were expecting the message. Even if a link seems safe, never enter your login information on any site you reached through an email. If you clicked anything or entered credentials by mistake, report it right away through normal support channels.

Hi All,

On September 17, I emailed the following regarding potential changes to trail designations in the Town Forest:

"Just a recap of the things that were mentioned as possibilities:

- * Eliminate Trail B by incorporating it into Trail C.
- * Possibly opening trail between Trails D and I. (Possibly name it Trail "B").
- * At least temporarily Close Trail J and a portion of Trail L."

With the new kiosks being installed soon hopefully, I'm sure we will want new Town Forest maps on display. I wasn't sure if any decisions were made about changes to the map and if so if a request has been made to John Vogl to prepare the maps.

Happy Holidays,
Glen

CONSERVATION FUND 2025

Month	Interest Income		Other Deposits		Payments		Balance		Total
	Sweep	Citizens	Sweep	Citizens	Sweep	Citizens	Sweep	Citizens	
December 2024							\$ 1,781,907.46	\$ 59,473.22	\$ 1,841,380.68
January 2025	\$ 6,885.13	\$ 5.40	\$ -	\$ 84,500.00	\$ -	\$ -	\$ 1,788,792.59	\$ 143,978.62	\$ 1,932,771.21
February 2025	\$ 6,470.65	\$ 2.56	\$ 120,000.00	\$ -	\$ -	\$ 120,000.00	\$ 1,915,263.24	\$ 23,981.18	\$ 1,939,244.42
March 2025	\$ 6,103.05	\$ 1.04	\$ -	\$ 550.00	\$ -	\$ -	\$ 1,921,366.29	\$ 24,532.22	\$ 1,945,898.51
April 2025	\$ 6,857.59	\$ 12.22	\$ -	\$ 43,000.00	\$ 43,000.00	\$ 400.00	\$ 1,885,223.88	\$ 67,144.44	\$ 1,952,368.32
May 2025	\$ 6,547.49	\$ 0.54	\$ -	\$ -	\$ -	\$ 12,310.00	\$ 1,891,771.37	\$ 54,834.98	\$ 1,946,606.35
June 2025	\$ 6,748.18	\$ 0.45	\$ -	\$ -	\$ -	\$ -	\$ 1,898,519.55	\$ 54,835.43	\$ 1,953,354.98
July 2025	\$ 6,553.02	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 1,905,072.57	\$ 54,835.90	\$ 1,959,908.47
August 2025	\$ 6,714.73	\$ 0.56	\$ -	\$ 29,500.00	\$ -	\$ 9,149.69	\$ 1,911,787.30	\$ 75,186.77	\$ 1,986,974.07
September 2025	\$ 6,738.40	\$ 0.59	\$ -	\$ -	\$ -	\$ 19,550.13	\$ 1,918,525.70	\$ 55,637.23	\$ 1,974,162.93
October 2025	\$ 6,488.05	\$ 0.43	\$ -	\$ -	\$ -	\$ 7,131.08	\$ 1,925,013.75	\$ 48,506.58	\$ 1,973,520.33
November 2025	\$ 6,492.30	\$ 0.39	\$ -	\$ -	\$ -	\$ 3,416.00	\$ 1,931,506.05	\$ 45,090.97	\$ 1,976,597.02
December 2025									\$ -
2025 Totals	\$ 72,598.59	\$ 24.65	\$ 120,000.00	\$ 157,550.00	\$ 43,000.00	\$ 171,956.90			
	\$ 72,623.24		\$ 277,550.00		\$ 214,956.90				\$ -

Month	Comments	Amount
January	from: LUCT Deposit - 63 Pelham Rd (M 105 / L 7773), 10 Whistle Hill (M 132 / L 12679), 8 Whistle Hill (M 132 L 12680) - \$27,500 each	\$ 82,500.00
January	from: Ed Hawkins Donation	\$ 2,000.00
February	Transfer of \$120k to Investment Account - Citizens to Sweep Inv Account	\$ (120,000.00)
February	Transfer of \$120k to Investment Account - Citizens to Sweep Inv Account	\$ 120,000.00
March	from: LCHIP Incentive Check	\$ 550.00
April	Transfer of \$43k from Investment Account - Sweep Inv to Citizens Account	\$ (43,000.00)
April	Transfer of \$43k from Investment Account - Sweep Inv to Citizens Account	\$ 43,000.00
April	to: Innovision Realty Group (State of NH) - TF Parking Lot Payment	\$ (400.00)
May	to: Rockingham Planning Commission for Payment 1 of 3 of Open Space Plan	\$ (6,333.00)
May	to: SELT for Town Forest Easement Amendment to Include Glueth Parcel	\$ (5,977.00)
August	from: LUCT Deposit - 9 Whistle Hill (M 132 / L 12678)	\$ 27,500.00
August	from: Ed Hawkins Donation	\$ 2,000
August	to: Rockingham Planning Commission for Payment 2 of 3 of Open Space Plan	\$ (6,333.00)
August	to: Upton & Hatfield for Incorporation of Glueth Parcel into Town Forest Easement	\$ (2,816.69)
September	to: Town of Salem for Recreation Coordinator Position (for May 2025 - April 2026)	\$ (19,550.13)
October	to: Conservation Trails LLC for New Kiosks (Payment 1 of 2)	\$ (7,131.08)
November	to: Harvey Signs for Hawkins and Schultz Farms Signs	\$ (3,416.00)
	Net Increase (decrease) [including interest]	\$ 135,216.34