

1. CC Agenda

Documents:

[CC 1-7-26 AGENDA.PDF](#)

2. CC Draft Minutes

Documents:

[CC-12-3-25 DRAFT MINUTES.PDF](#)

3. 44 Pelham Rd - Conditional Use Permit

Documents:

A - 44 PELHAM RD - CUP LETTER DATED 10-20-25.PDF
B - 44 PELHAM RD - EXCERPTED SITE PLAN PAGES 3,6,8,15 FOR CUP.PDF
C - 44 PELHAM RD - CO2 TANK INFORMATION SHEET.PDF
D - 44 PELHAM RD - FULL SUBMITTED PLAN SET.PDF

4. Hunting And Baiting On Town Land Policy

Documents:

[HUNTING AND BATING ON TOWN LAND - ADOPTED APRIL 21, 2025.PDF](#)

5. 2026 Land Use Calendar

Documents:

[2026 LAND USE CALENDAR.PDF](#)

6. Town Forest Trail Map Suggestions And Update

Documents:

A - TOWN FOREST MAP 2025-09 CLOSED TRAILS3.PDF
B - SUGGESTIONS FOR TF TRAIL-MAP CHANGES.PDF

7. CC Fund

Documents:

[CC FUND - NOV 2025.PDF](#)



TOWN OF SALEM, NEW HAMPSHIRE

33 GEREMONTY DRIVE, SALEM, NH 03079
(603) 890-2086
Community Development Department

CONSERVATION COMMISSION AGENDA FOR JANUARY 7, 2026 – 5:00 PM

Knightly Meeting Room, Salem Town Hall (33 Geremonty Drive Salem, NH 03079)

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL:

<input type="checkbox"/> Georgia Brust, Chair	<input type="checkbox"/> Ruth Tanner Isaks
<input type="checkbox"/> Caitlin Fitzpatrick, Vice-Chair	<input type="checkbox"/> Alan Lord
<input type="checkbox"/> Claire Karibian, Secretary	<input type="checkbox"/> Claudia DeFuria
<input type="checkbox"/> Keith Stramaglia, Town Council Representative	<input type="checkbox"/> Glen Edwards, Alt.
<input type="checkbox"/> Sean Lewis, Alt.	<input type="checkbox"/> Lorie Ball, Alt.
<input type="checkbox"/> Glenn Reynolds, Alt.	<input type="checkbox"/> Corinne Gordon, Alt.

REVIEW OF MINUTES

1. December 3, 2025 Minutes

OLD BUSINESS

2. **44 Pelham Road, GPI / Suraj Realty** – Continued discussion on Conditional Use Permit requesting the construction of a concrete pad and 50-ton CO2 tank within 28' of a wetland where 40' is required

NEW BUSINESS

3. Discussion of Site Walk Times
4. Baiting and Hunting on Town Land Policy
 - a. Discussion of Commission's preference of recommending baiting on conservation land
5. Rain Barrel Program
6. 2026 Land Use Calendar

WORK SESSION

7. Town Forest Trail Map Suggestions and Update

OTHER COMMISSION BUSINESS

8. Recreation Coordinator Update
9. Conservation Fund Report
10. Town Forest
11. Conservation Commission Goals
12. Other
 - a. Schedule Special Non-Public Session with Chris Goodnow
 - b. Update on Open Space Master Plan and Bylaws

UNSCHEDULED COMMISSION MATTERS:

Please note unscheduled matters are limited to a 15-minute discussion.

.....
No site walks scheduled for this month's meeting.

MINUTES OF THE CONSERVATION COMMISSION

MEETING DECEMBER 3, 2025

A meeting of the Conservation Commission was held on December 3, 2025, in the CD Conference Meeting Room in Town Hall.

MEMBERS PRESENT:

Also Present: Crayton Brubaker, Community Development Program Manager, Julie Isabelle Recreation Coordinator

The meeting was called to order at 5:04 pm. Ms. Brust introduced the commission members.

REVIEW OF MINUTES

1. November 5, 2025 Minutes

Motion: Mr. Lord made a motion to approve the minutes.

Second: This was seconded by Mr. Stramaglia.

Vote: 4-0; motion passed unanimously.

NEW BUSINESS

2. 365 North Main Street – Review of NHDES Wetlands Permit by Notification (PBN) for replacement of existing legal retaining wall

a. Wetlands PBN review and Conservation Commission signature

Mr. Brubaker said the applicant is not here, but this is for a NHDES wetlands permit by notification. This is for the replacement of an existing retaining wall. Mr. Brubaker showed some pictures of the existing condition of the wall. Mr. Brubaker said it is just to rebuild the existing wall in the same location and use the same materials. He said it is 68 feet by 5 feet.

The Commission said they did not have any problems with this.

Public Participation

40 Mr. Hawkins was present. He said it looked like the stones were cemented and asked what the
41 disposal would be.

42 Mr. Brubaker said he did not know, and they can include that as a comment.

43 www.ijerph.com International Journal of Environmental Research and Public Health

Mr. Stramaglia made a motion to approve this with proper disposal.

Second: Ms. DeFuria seconded the motion.

Vote: 4-0; motion passed unanimously.

1 WORK SESSION**2 3. Open Space Master Plan Presentation, Review and Discussion**

3 Ms. Brust said there was no one available to make the presentation. She asked if everyone looked
4 it over and if they had any comments.

5 Mr. Brubaker said he was hoping for more narrative. He said the idea was to update the current
6 open space plan. He said they did a good job compiling data and visualization maps. He said he
7 thinks they need to beef up the narrative section. He said they should look at the 2010 plan. He
8 said it does not draw any conclusions or recommendations.

9 Mr. Stramaglia said he would like to see ways to preserve green space.

10 Ms. Brust said she was looking for areas to have pocket parks.

11 Mr. Brubaker said they will give the Commission an updated parcel list. He said a good thing to
12 describe in the narrative would be protection as far as easements. He said he sees this as multiple
13 meetings, and they will prepare some revisions.

14 Mr. Lord said the maps are great, but there are no write-ups that go with them.

15 Ms. Brust said the public would not know why they came up with that map.

16 Mr. Lord said they should have the map and a discussion.

17 Mr. Brubaker said this is not finished but when it is done to the satisfaction of the Commission
18 and it is adopted, he was going to bring it to the Planning Board and the Town Council.

19 Mr. Brubaker said he sees it as a natural resource inventory the way it is now.

20 Mr. Hawkins said the maps are not descriptive. He said he cannot make heads or tails of it.

21 Mr. Lord asked what the story map was.

22 Ms. Brust said she created a story map with different wildlife facts. She said it is a wildlife
23 corridor like fish and game. She said it is an interactive map and you can upload photos.

24 Mr. Brubaker showed everyone how to access the storyboard.

25 There was discussion about the loss of green and open space and not having enough hiking trails.

26 Ms. Brust asked for an overlay of some maps. She said they should promote the story map.

27

28 4. CC Bylaws Update Initial Review

29 Mr. Brubaker presented the memo he wrote regarding the proposed bylaws changes. He said he
30 changed the start time to 5 pm. He also added an unexcused absence policy.

31 Mr. Lord said the policy must be changed because it says for more than 50% of meetings, but it
32 does not say a timeframe.

33 Mr. Brubaker said that it does say the member shall forfeit their position for 50% or more
34 absences in the calendar year.

35 There was discussion about if this should be for no call no shows or for notifications as well.

36 Ms. Brust said they should take out unexcused and use the word absence only.

37 Mr. Brubaker said this would not include alternates.

38 Mr. Stramaglia said they should put something in about if alternates are called, and they do not
39 show up they should be cut.

40 There was discussion about how this would affect Glen if they added this for the alternates.

41 Ms. DeFuria said there are no clear expectations for alternates.

42 The Commission explained how alternates worked.

43 Mr. Lord said he does not see how they can do 50% if they are not required to attend.

44 Mr. Hawkins said putting the requirements might draw people away from the position.

45 Ms. Brust said she does not think that an alternate should be turned away because they cannot
46 attend all the meetings.

1 Ms. Brust asked if it could be up to the chair to remove alternates.
2 Mr. Stramaglia said they might be up to the Town Council since they appointed them.
3 There was discussion about the wording of the alternate attendance.
4
5 *Ms. Isaks joined the meeting at 5:41 pm.*
6
7 Mr. Brubaker said there are changes to the ethics portion. He said they removed the municipal
8 code, and they now have the charter. He removed those references. He said in section 6.9 he
9 added that members that are abstaining must state a reason why.
10 Ms. Isaks asked what the purpose for that was.
11 Mr. Stramaglia said the charter says you cannot abstain from any vote just to abstain and that you
12 must give a reason.
13 Ms. Isaks said it is getting into why people are voting a certain way.
14 Ms. Isaks said she does not see why it is not ok to abstain.
15 Mr. Hawkins said when he served on a Board, they had three options – yes, no, and abstain.
16 Mr. Brubaker said it looks like it is just for the Town Council.
17 Mr. Brubaker said they have to keep a list of all nonpublic session notes and whether they are
18 sealed or not. He said he created that, and he is putting that in to make it formal.
19 In section 7, he changed the timelines for wetlands permits and conditional use permits to align
20 with their calendar. He said the application due dates are 14 days before the meeting. He said for
21 conditional use permits they need to meet with himself or Mr. LaFontaine. He said the wetlands
22 permit language says it may require a meeting.
23 Mr. Brubaker said he removed section 7.7. He said the applicant has never notified abutters of
24 site walks. He said he renumbered the articles as well.
25 Ms. Brust asked if they wanted to keep the site walks at a different time, or do they wanted to
26 make them more required.
27 Mr. Lord said Saturday in the morning is better for him.
28 Ms. Brust said they will add site walks to the next agenda.
29

OTHER COMMISSION BUSINESS

5. Recreation Coordinator Update

32 Ms. Isabelle said in November she met with the JROTC. They did a lot of work cutting back the
33 buckthorn at William Valentine Park. They thanked them for the work. She said they are
34 interested in more volunteer work.
35 Ms. Isabelle said there was a plan to take the seniors for a walk, but they did not go because there
36 was snow. They are going to reschedule. There were 6-7 seniors that signed up. She also had a
37 zoom info session with the compost bin company. That program would not work. She is getting
38 information about the rain barrel program. She also met with the DPW about the island adoption
39 program. They are going to be working on a pilot program to bring back to the DPW.
40 Ms. Brust said they have to look into if they are planters.
41 Ms. Isabelle said there are some restrictions on what they can put there. She said the idea is that
42 clubs will maintain the islands and there will be a sign.
43 Ms. Brust said this should go on for January when there is a better plan.
44 Ms. Brust said if they use Conservation funds, it has to have a conservation purpose.
45

6. Conservation Fund Report

1 Mr. Brubaker said they got \$6,500 in interest. They also paid the deposit for the new kiosks. The
2 total of the funds right now is \$1.97 million.

3 a. \$500 – Send It Tree Services – Extra Tree Removal in Town Forest

4 Mr. Brubaker said there was a tree that split in half in the middle of the trail. They had this
5 cleaned up, and there is a \$500 invoice for that removal.

6 ***Motion: Mr. Lord made a motion to spend \$500 from the Conservation Commission fund for
the work that was completed for the trail clean up by Send It Tree Service.***

7 ***Second: This was seconded by Mr. Stramaglia.***

8 ***Vote: 5-0; motion passed unanimously.***

9 b. \$144.96 – Town of Salem – Disposal of Old Kiosks

10 Mr. Brubaker said the DPW asked them to pay for the disposal of the kiosks.

11 ***Motion: Mr. Lord made a motion to spend \$144.96 from the Conservation Commission fund
for the removal of the kiosks.***

12 ***Second: This was seconded by Mr. Stramaglia.***

13 ***Vote: 5-0; motion passed unanimously.***

14 7. Town Forest

15 Mr. Brubaker said Glen did not submit an update for December.

16 Ms. DeFuria said there is 1 tree left on L where the trail is closed. She said that people have been
17 asking her if they can plant new trees because people are concerned that they only see trees
18 removed.

19 a. Possible Boy Scout Project – Town Forest Signage

20 Ross Tremblay, a boy scout, was present for the meeting. The Commission members introduced
21 themselves. Ms. Isabelle said he is here to pursue a project in the Town Forest. She said in
22 August he removed the old signage from the Town forest. He is here to talk about a proposal for
23 the new project.

24 Ross said the plan is to continue removing more signage. He said there were 4 of them that went
25 out. They removed 14 signs in the first half of the forest. He said this time there will be 15 scouts
26 going out. He will be having fundraisers during the winter. The fundraisers are to build new
27 signs and install them. He said they are little plaques. He said some of the older signs were
28 cemented into the ground. He said he does not know if they want that to happen. He said they
29 would be wooden signs stuck into the ground. He said he would like to replace the signs and to
30 spread them out throughout the forest.

31 Mr. Lord asked how the wet areas will impact this.

32 Ms. Brust said these are the dry areas.

33 Ms. Brust told Ross that Trail F is very wet, and they are considering not using that trail
34 anymore, so it will not need a sign.

35 Ross said he was thinking about a car wash and a bake sale for a fundraiser.

36 Ms. Brust asked what the Commission could do to help with the project.

37 Ross said the information for the signs would be very helpful.

38 Mr. Lord asked if they are allowed to put pressure treated wood into the ground.

1 Ms. Isabelle said she can send pictures to SELT.
2 Ms. Brust explained SELT and said they would get their permission.
3 Mr. Hawkins said they could use marine posts or sleeves.
4 Ross will come back to the January meeting when there is more of a plan, and he knows what his
5 fundraiser will be.
6 Mr. Hawkins will do some research with the environmental department.
7 Ms. Brust said Fish and Game and UNH Extension have a lot of information.
8 Mr. Lord asked if he could make a map with the map placement and where they are located.
9 Ms. Brust asked him to bring the information that he is going to put on the sign before he prints
10 the signs.
11 The Commission thanked Ross for coming,
12

13 **8. Other**

14 a. Tuscan Village / Salem Rail Trail – Local Concerns Meeting Wednesday, Dec 17 at
15 6pm – Salem Town Hall, Knightly Room

16
17 Mr. Brubaker said there is a public meeting for the local concerns for the rail trail phases 4 and 5.
18 This is part of a grant. The project is for the length of rail trail from Main Street to Rockingham
19 Park Boulevard. He said there are several wetlands to the west side of the rail trail. He said they
20 are going to pave this between the electric poles. For the Conservation Commission, he wanted
21 to give the notice they are having the meeting.

22 Ms. Brust said they should have some plantings between the pavement and the wetlands.
23

24 **UNSCHEDULED COMMISSION MATTERS:**

25 Mr. Brubaker said the number of alternates was out of sync when they completed the charter.
26 The council approved a charter amendment to fix that at their meeting on December 1. The other
27 thing that was discussed last night was the potential change to the land use change tax. The
28 Commission currently receives 100% of that and they are proposing to change that to the
29 Commission receive 50% and the general fund get 50%.

30 Mr. Stramaglia said they have a public portion, and they can come and speak.

31 Mr. Brubaker said they saw the fund's balance, and they are interested in moving future funds to
32 the general funds.

33 Ms. Isaks said they have not purchased anything recently and when they do, the fund will be
34 significantly lower.

35
36 Mr. Brubaker said the kiosks are not installed. They did not make the deadline. He said they
37 were going to install them on December 16, but it has snowed. He said now he was going to do a
38 mini excavator. He asked what time timeline was. He said the options are to ask him to try on
39 December 16 or we can wait until the spring.

40 The Commission said they should take the safe route and wait until Spring.

41 Ms. Isabelle said she was asked for a QR code and paper with some Town Forest information.
42 She is going to put that up soon.

43 44 **NON-PUBLIC SESSION**

45 **MOTION BY: Keith Stramaglia**

46 ***To enter non-public session under RSA 91-A:3, II(d)***

1 **SECOND BY: Claudia DeFuria**

2 **ROLL CALL VOTE:**

3 **GEORGIA BRUST – YES**

4 **CLAUDIA DEFURIA – YES**

5 **ALAN LORD – YES**

6 **RUTH TANNER ISAKS – YES**

7 **KEITH STRAMAGLIA – YES**

8 **VOTE: 5-0**

9 **The motion passed unanimously.**

10

11 *The meeting entered non-public session at 6:53 pm.*

12

13 *The meeting entered public session again at 7:35 pm.*

14

15 **MOTION BY: Georgia Brust**

16 *To seal the minutes of the 12-5-25 Conservation Commission non-public session because it is*
17 *determined that divulgence of this information likely would render a proposed action*
18 *ineffective.*

19 **SECOND BY: Keith Stramaglia**

20 **ROLL CALL VOTE:**

21 **GEORGIA BRUST – YES**

22 **CLAUDIA DEFURIA – YES**

23 **ALAN LORD – YES**

24 **RUTH TANNER ISAKS – YES**

25 **KEITH STRAMAGLIA – YES**

26 **VOTE: 5-0**

27 **The motion passed unanimously.**

28

29 **UNSCHEDULED COMMISSION MATTERS (continued):**

30 The Commission discussed the possible LUCT warrant article that was presented at the
31 December 1 Town Council meeting. The Commission asked for information as to how much
32 money the Conservation fund has received from LUCT.

33

34 **MOTION BY: Keith Stramaglia**

35 *Motion that the Chair writes a memo to the Town Council recommending against the idea of a*
36 *50/50 split of the LUCT.*

37 **SECOND BY: Alan Lord**

38 **VOTE: 5-0**

39 **The motion passed unanimously.**

40

41 **MOTION BY: Alan Lord**

42 *Motion to request to the Town Manager to have a non-public session with the Town Council*
43 *regarding the LUCT.*

44 **SECOND BY: Claudia DeFuria**

45 **VOTE: 5-0**

46 **The motion passed unanimously.**

1
2 **MOTION BY: Keith Stramaglia**
3 *Motion to adjourn at 8:05 pm.*
4 **SECOND BY: Claudia DeFuria**
5 **VOTE: 5-0**
6 **The motion passed unanimously.**

7
8 **Adjournment at 8:05 PM.**

9
10 Minutes by: Jennifer Hernandez, Recording Secretary; Crayton Brubaker, Community
11 Development Program Manager

October 20, 2025

Salem Planning Board
33 Geremonty Drive
Salem, NH 03079

SUBJECT: Site Plan Application & Conditional Use Permit Request
44 Pelham Road
Map 96, Lot 7775

Dear Members of the Salem Planning Board,

Greenman-Pedersen, Inc. (GPI), on behalf of the owner, Suraj Realty LLC, is pleased to submit this Amended Site Plan application along with supporting materials relating to the property located at 44 Pelham Road. The project was previously approved by the Planning Board on September 26, 2023.

The purpose of this proposal is to update the previously approved phasing plan. The originally approved phasing plan included the existing building as part of Phase 1. The owners would like to occupy the building prior to completion of Phase 1 so the updated Phasing Plan breaks up Phase 1 into Phase 1A and Phase 1B. The new Phase 1A includes construction of the first 250' of driveway in order for the large tractor trailers to access the existing building. Phase 1A also includes the installation of drainage infrastructure within this area. Phase 1B includes the remainder of the site, including the rest of the driveway, the upper trailer storage area, and the underground stormwater systems.

We have filed an application with the Zoning Board of Adjustment for the proposed use of the existing building. The previously approved plans indicated the building would be a combination of office space and warehouse space. A variance was previously granted for this use in September 2022. The updated plan shows the building will be a combination of dry ice manufacturing, trailer maintenance, and office space.

The owner is also proposing to construct a 50-ton CO2 tank adjacent to the existing building for their proposed dry ice manufacturing use. The tank will be located on a concrete pad. We are also hereby requesting a Conditional Use Permit from the Salem Planning Board to allow construction of the concrete pad within 28 feet of a wetland where 40 feet is required by the Salem Zoning Ordinance, Sections 490-706.E(4).

This request is formatted in accordance with the provisions of the Salem Zoning Ordinance, section 490-706.I. The required criteria are printed below in **bold text**. Our response is printed beneath the criteria:

a. The modification complies with the purposes and intent of this section noted in Subsection A.

The requested modification complies with the purpose and intent of Section 490-706.A as follows:

1. This proposed work will not result in any changes to the natural wetland and will not result in increased flooding.
2. This proposal will not result in any damage to water supplies and existing aquifers and aquifer recharge areas.
3. Site construction practices will prevent pollution of surface water or groundwater during construction and a Stormwater Operations and Maintenance Manual has been prepared to protect those same resources over the long term.
4. The encroachment into the 40' buffer by a portion of the new concrete pad will not destroy or significantly change the ability of the wetland to provide filtration of the water flowing to the existing drainage network.
5. This proposal will not create any expense for the Town, nor will it adversely impact the Town's ability to provide or maintain essential services and utilities.
6. This proposal will not result in any damage to other structures or properties.
7. The proposed placement of the concrete pad will have no impact on wildlife habitats, ecological balances, and ecological values. Minimal cutting of trees within the wetland buffer is proposed, which will maintain the integrity of the wetlands, ecological balances, and ecological values.
8. There will be no additional encroachment into the natural wetland buffer with the proposed concrete pad.

9. No unique or unusual natural areas exist, and no rare or endangered species of flora or fauna have been observed in the area.
10. As mentioned above, there will be no additional encroachment into the natural wetland buffer with the proposed concrete pad.
11. The use on this lot already exists and the proposed concrete pad will have no adverse effects to the adjacent wetlands.

b. *There is no feasible alternative to the modification with less impact to the wetland or buffer.*
The concrete pad and tank need to be located as shown on the plan due to internal venting location.

c. *The detrimental impact to wetlands and buffers is minimized.*
There will be no impact to the wetlands and minimal impact to the buffer. An existing stone wall separates the proposed concrete pad from the resource area and wetland buffer.

d. *There will be no adverse impact on neighboring properties.*
The concrete pad is located along the side of the building, away from any neighboring properties.

e. *The applicant provides the Planning Board and Conservation Commission findings of a certified wetland scientist approved by the Planning Board or its agent at the applicant's expense.*
The wetlands were delineated by Gove Environmental Services in July 2022 and located by this office.

f. *The applicant provides the Planning Board and Conservation Commission with a wetland mitigation plan which meets the following: a minimum gain of two square feet of on-site wetland replication for each square foot of wetland lost, except for prime wetlands where a gain of five square feet of on-site wetland replication shall be provided for each square foot of wetland lost. In the case of streets, roads, accessways, and utility crossings, such mitigation shall only be required if 3,000 square feet or more of wetland is impacted. The wetland replication plan must be prepared by a certified wetland scientist and detail the construction methodology, planting plan and monitoring protocol. For impacts to wetland setbacks and buffers, mitigation measures shall be incorporated to minimize wetland degradation such as, but not limited to, buffer plantings, removal of existing pavement, and increased buffers elsewhere on the site.*
No direct wetland impacts are proposed. An existing stone wall separates the proposed concrete pad from the resource area and wetland buffer. Buffer plantings have been added to the area surrounding the proposed concrete pad.

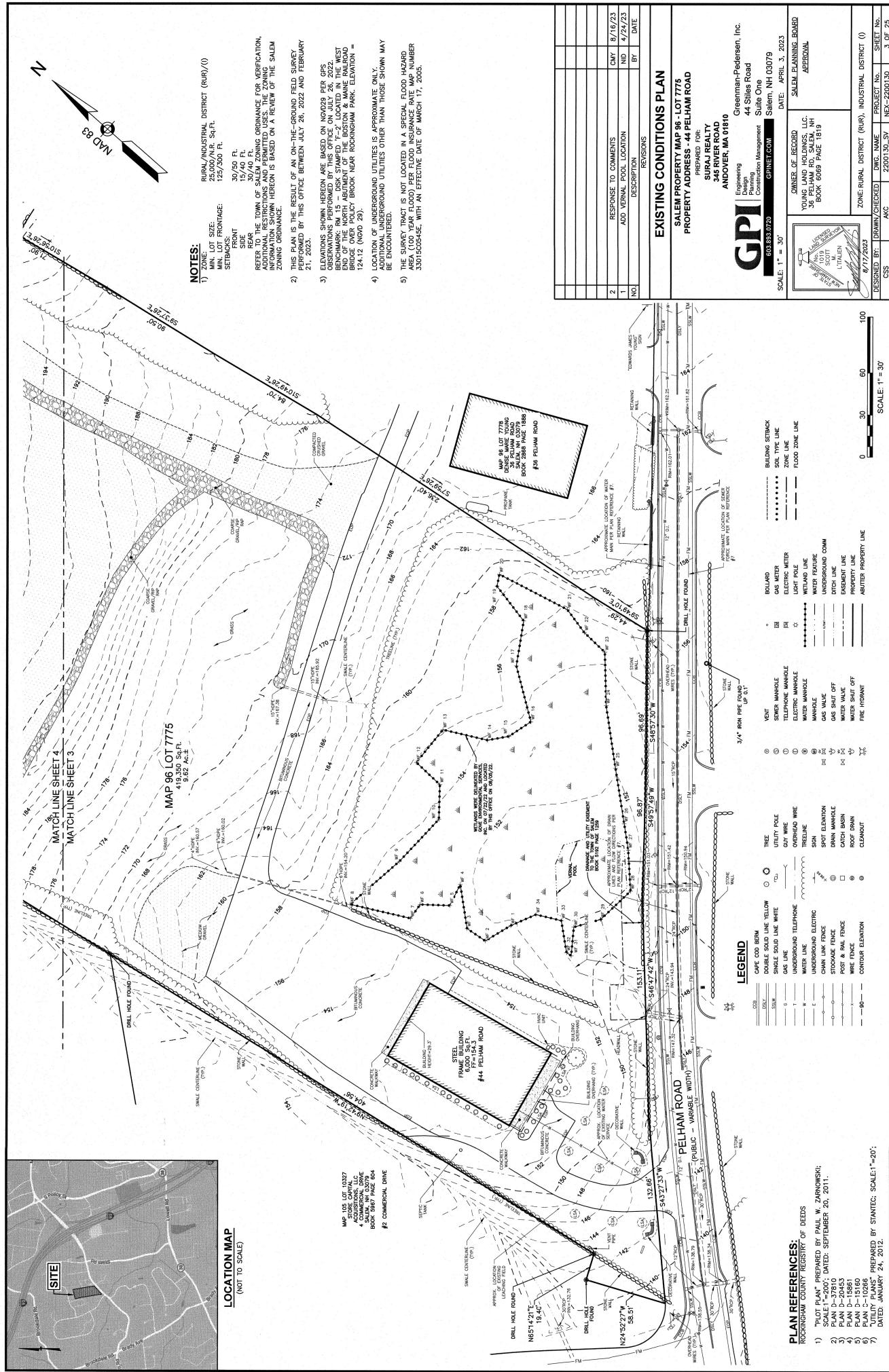
g. *A recommendation from the Conservation Commission is submitted.*
This request has been presented to the Salem Conservation Commission for their review and recommendation.

h. *The applicant has received all necessary state and federal permits prior to the issuance of the conditional use permit.*
We don't anticipate that any required state or federal permits will be required.

We thank you in advance for your consideration of this request. If you have any questions or need additional information, please feel free to contact me at 603-766-5238 or by email at cyork@gpinet.com.

Sincerely,
GREENMAN-PEDERSEN, INC.


Christopher M. York, P.E.
Project Manager



VSCO₂ & N₂O

VERTICAL BULK STORAGE SYSTEMS

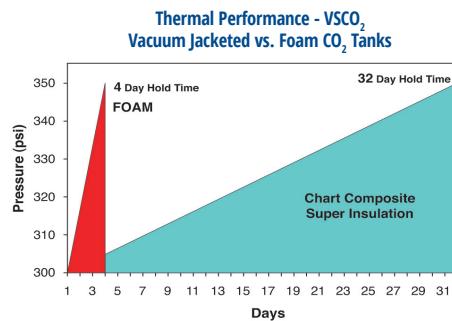
Our VSCO₂ & N₂O Series of Bulk Carbon Dioxide and Nitrous Oxide Storage Tanks are engineered for the efficient storage supply of carbon dioxide and nitrous oxide. For maximum lifetime thermal efficiency, the VSCO₂ and N₂O systems are manufactured with an all-welded outer container to contain our proprietary Composite Super Insulation™ system and superior vacuum technology.

VACUUM-JACKETED COMPOSITE vs. FOAM INSULATION

- An ultra-low heat leak – eliminating the need for a costly refrigeration system in most applications.
- No costly down time to refurbish water-soaked or deteriorated foam insulation.
- Lowest lifecycle costs for bulk CO₂ & N₂O storage
- Hold time is 8 times longer than new foam designs

PRODUCT HIGHLIGHTS

- Stainless steel inner vessel and piping eliminates dry ice safety concerns & complies with food grade standards
- Inner vessel designed and built to ASME Section VIII, Div. 1 pressure vessel code
- Oxygen cleaned inner vessel and piping per CGA S4.1
- Internal top head cleaning baffle for internal cleaning with external system eliminates need for manway
- CGA fill and return fittings with drain valves standard on all models
- Analog & digital (telemetry ready) liquid level gauges available with flexible stainless steel connecting lines
- Pressure builder and vaporizer systems available – see applications brochure P/N 21111520 for details
- Backed by a five-year vacuum warranty
- Optional internal vapor condensing coil available – see applications brochure P/N 21111520 for details
- Optional refrigeration system for condensing coil available
- Long-life urethane paint system

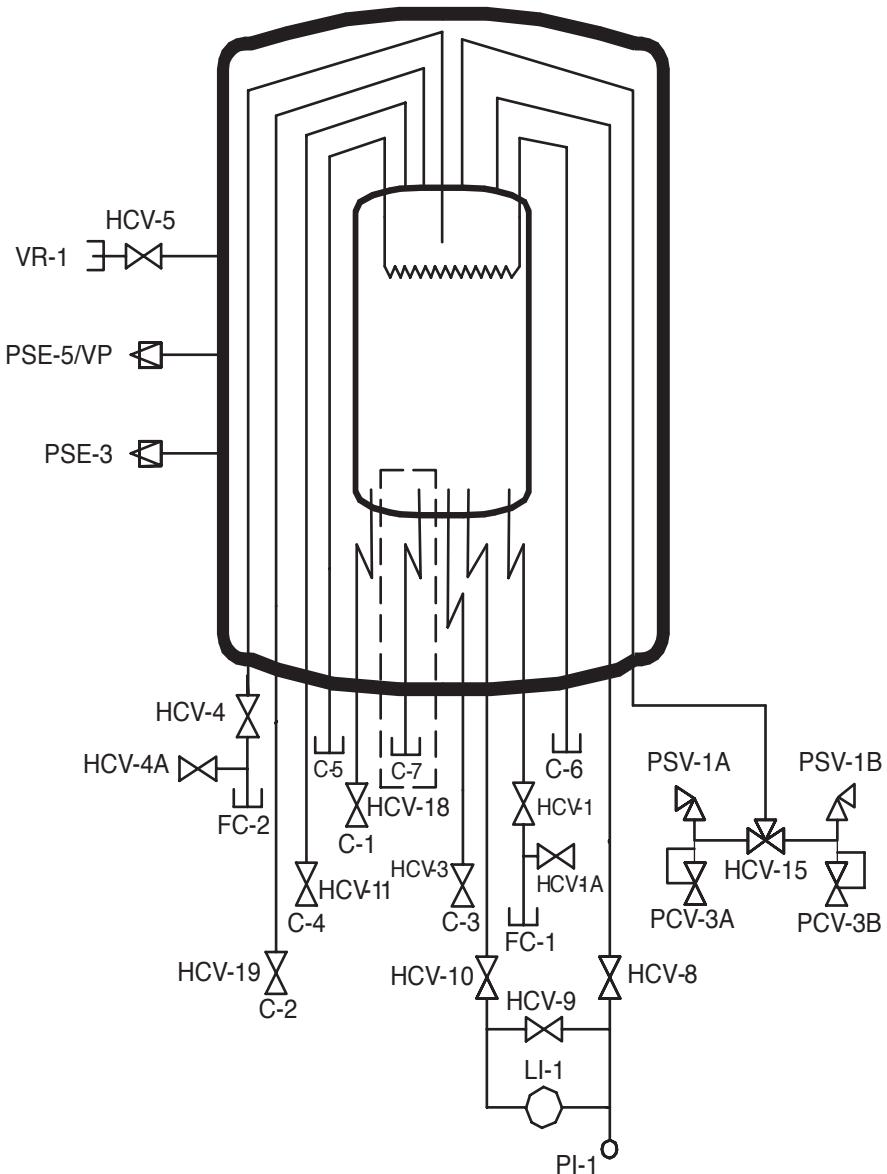


VS CO₂ & N₂O

VERTICAL BULK STORAGE SYSTEMs

Model	CO ₂				NO ₂				Ozone				SO ₂				
	Gross Capacity		Net Capacity		Gross Capacity		Net Capacity		MAWP*		Diameter		Height		Weight**		NER %/day
	Ton	Tonne	Ton	Tonne	Ton	Tonne	Ton	Tonne	(psig)	(bar)	in	mm	in	mm	(lbs)	(kg)	in CO ₂ /NO ₂
6 Ton	6.9	6.3	6.6	6.0	6.6	6.0	6.3	5.7	350	24.1	66	1,727	196	4969	7,400	3,357	.15
14 Ton	13.2	12.0	12.6	11.4	12.9	11.7	12.3	11.2	350	24.1	86	2,184	228	5791	13,700	6,214	.08
30 Ton	30.7	27.8	29.1	26.4	29.3	26.6	27.9	25.3	350	24.1	114	2,900	291	7391	31,700	14,379	.05
50 Ton	47.7	43.3	45.4	41.1	45.6	41.4	43.4	39.3	350	24.1	114	2,900	406	10,312	44,300	20,094	.04

*MAWP - Maximum Allowable Working Pressure. **Weights are for ASME design. (NER) = Nominal Evaporation Rate



NOMENCLATURE	
Tag	Description
C-1	CONNECTION, AUXILIARY LIQUID
C-2	CONNECTION, AUXILIARY VAPOR
C-3	CONNECTION, PB LIQUID
C-4	CONNECTION, PB VAPOR
FC-1	CONNECTION, FILL
FC-2	CONNECTION, VAPOR RETURN/FULL TRYCOCK
HCV-1	VALVE, BOTTOM FILL
HCV-1A	VALVE, DRAIN
HCV-3	VALVE, PB LIQUID
HCV-4	VALVE, VAPOR RETURN/FILL TRYCOCK
HCV-4A	VALVE, DRAIN
HCV-5	VALVE, VACUUM GAUGE TUBE
HCV-8	VALVE, LI-1 VAPOR PHASE
HCV-9	VALVE, LI-1 EQUALIZATION
HCV-10	VALVE, LI-LIQUID PHASE
HCV-11	VALVE, PB VAPOR
HCV-15	VALVE, SAFETY RELIEF SELECTOR
HCV-18	VALVE, AUXILIARY LIQUID
HCV-19	VALVE, AUXILIARY VAPOR
LI-1	LEVEL INDICATOR, INNER VESSEL
PI-1	PRESSURE INDICATOR, INNER VESSEL
PCV-3A	PRESSURE CONTROL VALVE, ECON VENT
PCV-3B	PRESSURE CONTROL VALVE, ECON VENT
PSE-3	PRESSURE SAFETY ELEMENT, OUTER VESSEL
PSE-5/VP	PRESSURE SAFETY ELEMENT, OTR VES., VAC PORT
PSV-1A	PRESSURE SAFETY VALVE, INNER VESSEL
PSV-1B	PRESSURE SAFETY VALVE, INNER VESSEL
VR-1	VACUUM READOUT, OUTER VESSEL
REFRIGERATION OPTION	
C-5	CONNECTION, AUXILIARY REFRIGERATION
C-6	CONNECTION, AUXILIARY REFRIGERATION
DASHED LINE REPRESENTS ADDITIONAL LINE (STANDARD ON 30/50 TON ONLY)	
C-7	CONNECTION, SECONDARY AUXILIARY LIQUID

Auxiliary refrigeration valves on HCV-1A and HCV-4A not included in C-5 and C-6 optional N₂O service.

PROPOSED SITE DEVELOPMENT PLANS

for

SALEM PROPERTY MAP 96 - LOT 7775

44 PELHAM ROAD

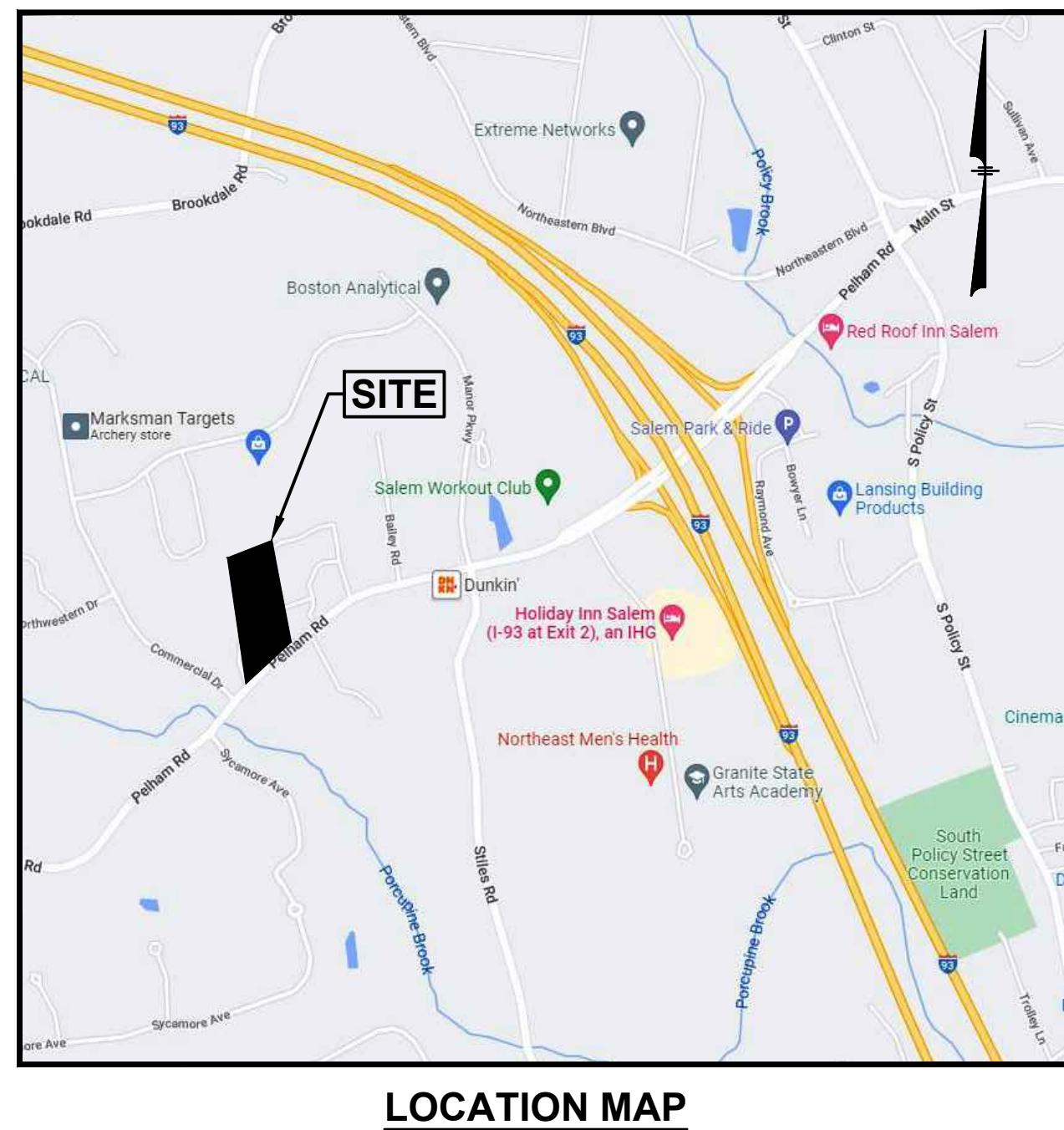
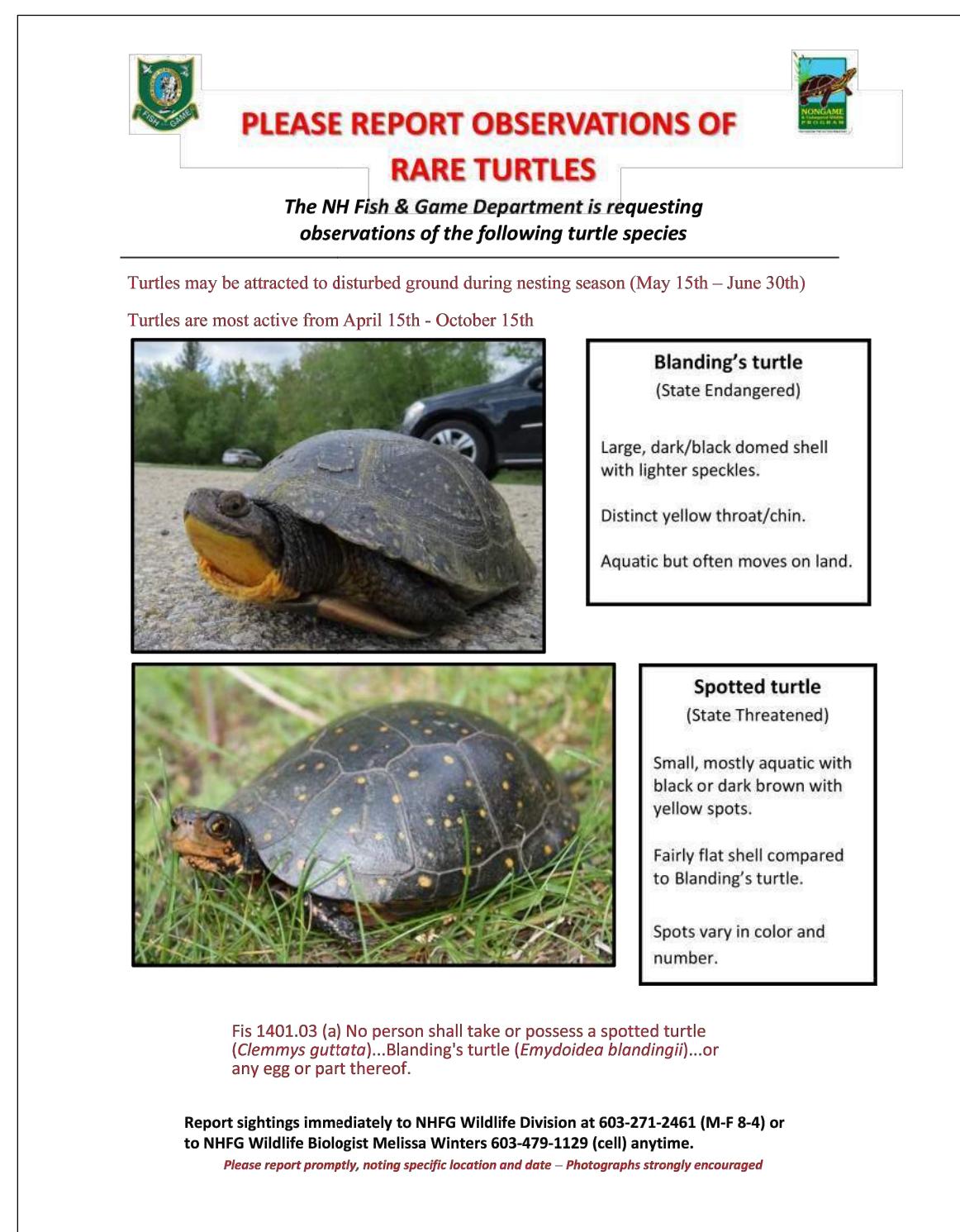
SALEM, NEW HAMPSHIRE

Prepared for:

SURAJ REALTY

345 RIVER ROAD

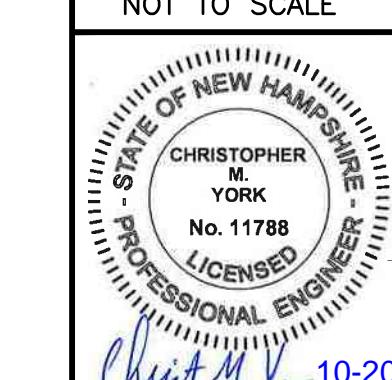
ANDOVER, MA 01810



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SALEM PLANNING BOARD			
ON SEPTEMBER 26, 2023 THE SALEM PLANNING BOARD VOTED TO APPROVE THIS SITE PLAN SUBJECT TO THE FOLLOWING CONDITIONS:			
PRIOR TO BUILDING PERMIT FOR PHASE 1:			
1. SUBMIT ENGINEERING APPROVAL; 2. PAY FOR OUTSIDE INSPECTIONS PER DIRECTION OF ENGINEERING DIVISION; 3. SUBMIT STATE PERMITS (AOT, WETLANDS BUREAU);			
PRIOR TO OCCUPANCY:			
4. PAY ROAD (\$12,350) AND PUBLIC SAFETY (\$10,095) IMPACT FEES; 5. PROVIDE CERTIFIED AS-BUILT SITE PLAN; 6. CONSTRUCT ALL SITE IMPROVEMENTS (BUILDING, LOCATION, DIMENSIONS, AND SETBACKS, SITE GRADING, UTILITIES, ROAD WORK, DRAINAGE, LANDSCAPING, LIGHTING, PARKING SPACES, SIGNAGE, WETLAND/FLOODPLAIN MITIGATION AREAS) IN ACCORDANCE WITH APPROVED PLAN;			
OTHER:			
7. NOTE VARIANCE, WAIVER, AND CONDITIONAL USE PERMIT FOR WETLAND IMPACT ON PLAN; 8. RECEIVE PLANNING BOARD APPROVAL OF SIGN DETAIL PRIOR TO ISSUANCE OF SIGN PERMIT; 9. RECEIVE PLANNING BOARD APPROVAL FOR ELEVATIONS PRIOR TO BUILDING PERMIT FOR PHASE 2 (WAREHOUSE STORAGE BUILDING); 10. TRUCK TRAFFIC SHALL BE RESTRICTED TO EASTERLY DRIVE; 11. VEGETATION, LANDSCAPING AND SIGNAGE SHALL BE KEPT LOW TO THE GROUND OR SETBACK SUFFICIENTLY FROM PELHAM ROAD TO ENSURE ADEQUATE SIGHT DISTANCE; 12. ALL REPRESENTATIONS MADE BY APPLICANT OR AGENTS AND ALL NOTES ON PLANS ARE INCORPORATED AS PART OF APPROVAL.			

STATE PERMITS		
TYPE	PERMIT NUMBER	APPROVED
NHDES STANDARD DREDGE & FILL	2023-01045	10/10/23
NHDES ALTERATION OF TERRAIN	AoT-2494	12/1/23
9. REVISE SHEETS 6, 8-11, 13-16, TT PLAN	CMY	10/20/25
8. REVISE SHEETS 10, 12, & 22	CMY	5/30/25
7. REVISE SHEETS 1-2, 8-14, 17-18, 22-24	CMY	4/15/25
6. REVISE SHEET 23	CMY	11/29/23
5. REVISE SHEETS 2, 10, 12-13, 21, 23-24	CMY	10/23/23
4. REVISE SHEETS 10-14, 18, 21, 23 & 24	CMY	10/3/23
3. REVISE SHEETS 6, 8, 10, 13 & 15	NID	9/5/23
NO. DESCRIPTION	BY	DATE
REVISIONS		
TITLE SHEET		
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD		
PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810		
GPI	Engineering Design Planning Construction Management	Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079
NOT TO SCALE		
 OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819		
APPROVAL		
ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)		
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME
NID	CCC/DRJ	2200130_CVR
PROJECT No.		
SHEET No.		
1 OF 25		

SITE NOTES:

- EXISTING BOUNDARY AND PLANIMETRIC INFORMATION AS SHOWN IS THE RESULT OF AN ACTUAL FIELD SURVEY BY THIS OFFICE.
- TAX MAP 96 LOT 7775
- ZONING DISTRICT: RURAL DISTRICT AND INDUSTRIAL DISTRICT
- LOT AREA = 419,350 Sq.Ft.
= 9.62 Ac.[±]
- EXISTING USE: 6,000 SF STORAGE BARN USED FOR "PRIVATE USE".
- PROPOSED USE: EXISTING STORAGE BARN TO REMAIN AND CHANGE USE TO 2,500 SF OFFICE USE AND 3,500 SF WAREHOUSE/STORAGE USE. A 20,000 SF WAREHOUSE/STORAGE BUILDING TO BE CONSTRUCTED AND PAVED OUTDOOR STORAGE AREAS.
- ALL BUILDINGS AND SITE CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 1990, AS AMENDED.
- THE LOCATIONS OF EXISTING SUBSURFACE UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM AVAILABLE RECORD DRAWINGS AND ARE NOT WARRANTED TO BE CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SUBSURFACE UTILITIES PRIOR TO PERFORMING ANY WORK.
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 811 PRIOR TO ANY EXCAVATION.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF SALEM AND THE STATE OF NEW HAMPSHIRE.
- THE SURVEY TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 330150545E, WITH AN EFFECTIVE DATE OF MARCH 17, 2005.
- ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND THE STANDARD CONSTRUCTION DRAWINGS AS SUPPLIED BY THE DEVELOPER.
- ANY PROPOSED SIGNS WILL REQUIRE A PERMIT PRIOR TO INSTALLATION.
- PROPOSED SNOW STORAGE AREAS ARE LOCATED AS SHOWN. ANY EXCESS SNOW TO BE TRUCKED OFF-SITE.

GRADING & DRAINAGE NOTES:

- ALL SITE DRAINAGE PIPE SHALL BE CORUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR, AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN. THE UNDERGROUND DETENTION SYSTEM SHALL HAVE WATER TIGHT (WT) JOINTS MEETING ASTM D3212 SPECIFICATIONS.
- ALL ROOF AND CANOPY DRAIN PIPE SHALL BE 6" PVC (SDR-35), EXCEPT WITHIN 10' OF A BUILDING FOUNDATION WHERE CAST IRON PIPE SHALL BE USED. MIN. SLOPE=1%.
- ELEVATIONS ARE BASED ON NGVD29 DATUM.
- ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND COORDINATED WITH THE APPROPRIATE LOCAL UTILITY COMPANY.
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL SERVICES AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (DIAL 811) PRIOR TO COMMENCING ANY EXCAVATION.

- THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE EXCEEDS ONE ACRE (ACTUAL DISTURBANCE = 320,000 SF[±]). THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE OR ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
- ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL MUNICIPAL SERVICES.
- ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO NHODT AND THE TOWN MUNICIPAL SERVICES, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- ALL ADA ACCESSIBLE WALKWAYS CANNOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE. RAMPS CANNOT EXCEED 8.33% RUNNING SLOPE AND 2% CROSS SLOPE, AND ACCESSIBLE PARKING STALLS AND ACCESS AISLES CANNOT EXCEED 2% SLOPE IN ANY DIRECTION, PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
- SEE SITE & UTILITY PLAN FOR DETAILED UTILITY LAYOUT.
- ALL PROPOSED CATCH BASINS SHALL HAVE 4" SUMPS AND OUTLETS EQUIPPED WITH "ELIMINATOR" OIL HOODS OR APPROVED EQUAL.
- ALL PIPE DATA IS CALCULATED TO CENTER OF STRUCTURE, TYP.
- CONTRACTOR SHALL REFER TO THE OPERATION & MAINTENANCE (O&M) MANUAL FOR STORMWATER MANAGEMENT SYSTEMS & SITE MAINTENANCE DURING AND AFTER CONSTRUCTION.
- CONTRACTOR SHALL INSTALL RISER STRUCTURES AT EACH CORNER OF UNDERGROUND DETENTION SYSTEMS AND CLEANOUTS AT EACH END OF EACH ROW TO PROVIDE ACCESS POINTS FOR CLEANING AND MAINTENANCE.
- TOTAL RISERS PROPOSED = 8
- TOTAL CLEANOUTS PROPOSED = 36

UTILITY NOTES:

- ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED.
- ALL WATER PIPE SHALL BE COPPER (TYPE K), UNLESS OTHERWISE NOTED.
- ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND COORDINATED WITH THE APPROPRIATE LOCAL UTILITY COMPANY.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES.
- ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL SERVICES AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 811 PRIOR TO ANY EXCAVATION.
- ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO SALEM MUNICIPAL SERVICES SPECIFICATIONS.
- THIS SITE IS SERVED BY MUNICIPAL WATER AND PRIVATE SEPTIC SYSTEM.
- ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE UNDERGROUND AND INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS.
- ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL MUNICIPAL SERVICES.
- SEE GRADING & DRAINAGE PLAN FOR DETAILED DRAINAGE INFORMATION.
- REFER TO DETAIL SHEETS FOR ALL UTILITY AND DRAINAGE STRUCTURE DETAILS AND ADDITIONAL INFORMATION.
- REFER TO SEPTIC SYSTEM PLANS FOR THE PROPOSED SEPTIC CONNECTION FOR THE 20,000 SF WAREHOUSE PROPOSED IN PHASE 2.

SALEM FIRE DEPARTMENT NOTES:

- EVERY BUILDING SHALL BE PROVIDED THROUGHOUT WITH AN AUTOMATIC FIRE ALARM SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH SALEM FIRE DEPARTMENT REGULATIONS.
- THE PROPOSED BUILDING SHALL BE PROVIDED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH SALEM FIRE DEPARTMENT RULES AND REGULATIONS.
- ALL SITE AND CONSTRUCTION PLANS MAY BE REVIEWED BY A THIRD PARTY CONSULTANT OF THE TOWNS CHOOSING. ALL COST ASSOCIATED WITH THIRD PARTY REVIEWS AND INSPECTION SHALL BE PAID BY THE DEVELOPER.
- FIRE HYDRANT AND REQUIRED FLOW REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE 2015 EDITION AND SALEM WATER DEPARTMENT REGULATIONS. FLOW CALCULATIONS AND BUILDING CONSTRUCTION CLASSIFICATION SHALL BE INCLUDED WITH THE SITE PLAN.
- PLANS FOR CONSTRUCTION OF BUILDINGS AND FIRE PROTECTION SYSTEMS SHALL BE SUBMITTED TO THE SALEM FIRE DEPARTMENT AND RELEASED FOR CONSTRUCTION PRIOR TO STARTING WORK. ALL CONTRACTORS INVOLVED IN FIRE PROTECTION SYSTEMS SHALL HOLD A CERTIFICATE OF FITNESS FROM THE SALEM FIRE DEPARTMENT.
- ALL UNDERGROUND WATER MAINS SERVING SPRINKLER OR STANDPIPE SYSTEM SHALL BE FLUSHED IN ACCORDANCE WITH NFPA 24 AND SHALL BE WITNESSED BY SALEM FIRE DEPARTMENT PERSONNEL.
- REFER TO SUBSURFACE SEWAGE DISPOSAL SYSTEM PLANS FOR PHASE 2 SEPTIC SYSTEM CONNECTION.
- IN PHASE 2, ALL ROOF TOP MECHANICAL UNITS SHALL BE SCREENED.

SALEM MUNICIPAL SERVICES DEPARTMENT NOTES:

- REQUIRED METERING AND BACKFLOW PREVENTION DEVICES WILL BE INSTALLED ON WATER SERVICES. THESE DEVICES WILL BE LOCATED AT THE POINT SERVICE LINES ENTER THE BUILDING. SERVICE LINES ARE NOT ALLOWED TO RUN THROUGH THE BUILDING, UNDER FLOORS, OVERHEAD OR OTHERWISE.
- ALL EXISTING WATER AND SEWER SERVICES FOR BUILDINGS TO BE RADED MUST BE CUT AND CAPPED PRIOR TO A RADE PERMIT BEING ISSUED.

NEW HAMPSHIRE FISH AND GAME RECOMMENDED PERMIT CONDITIONS:

- BLANDING'S TURTLE (STATE ENDANGERED) AND SPOTTED TURTLE (STATE THREATENED) OCCUR WITHIN THE VICINITY OF THE PROJECT AREA. ALL OPERATORS AND PERSONNEL WORKING ON OR ENTERING THE SITE SHALL BE MADE AWARE OF THE POTENTIAL PRESENCE OF THESE SPECIES AND SHALL BE PROVIDED FLYERS TO HELP TO IDENTIFY THESE SPECIES ALONG WITH NHFG CONTACT INFORMATION. SEE PLAN SHEET 1.
- RARE SPICES INFORMATION (E.G. IDENTIFICATION, OBSERVATION AND REPORTING OF OBSERVATIONS) RELATED TO THE NHFG IMMEDIATELY AND NHFG CONTACT INFORMATION SHALL BE COMMUNICATED DURING MORNING TAILGATE MEETINGS PRIOR TO WORK COMMENCEMENT.
- TURTLES MAY BE ATTRACTED TO DISTURBED GROUND DURING NESTING SEASON. TURTLE NESTING SEASON OCCURS APPROXIMATELY MAY 15TH - JUNE 30TH. ALL TURTLE SPECIES NESTS ARE PROTECTED BY NH LAWS. IF A NEST IS OBSERVED OR SUSPECTED, OPERATORS SHALL CONTACT MELISSA WINTERS (603-479-1129) OR JOSH MEGEYEV (978-578-0802) AT NHFG IMMEDIATELY FOR FURTHER CONSULTATION. THE NEST OR SUSPECTED NEST SHALL BE MARKED (SURROUNDING ROPE OR FENCE) AND LEFT UNDISTURBED. THIS SHALL BE COMMUNICATED TO ALL PERSONNEL ON SITE. SITE ACTIVITIES SHALL NOT OCCUR IN THE AREA SURROUNDING THE NEST OR SUSPECTED NEST UNTIL FURTHER GUIDANCE IS PROVIDED BY NHFG.
- ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, WITH THE EXCEPTION OF TURF REINFORCEMENT MATS, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, INLET PROTECTION, CHECK DAMS, AND TURF TRAPS SHALL NOT CONTAIN PLASTIC, OR MULTIFILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE GREATER THAN 1/8 INCHES. SEE PLAN SHEET 2.
- ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES ON THE PROJECT SITE SHALL BE REPORTED IMMEDIATELY TO THE NHFG NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHFGREVIEW@WILDLIFE.NH.GOV, WITH THE EMAIL SUBJECT LINE CONTAINING THE NHB DATACHECK TOOL RESULTS LETTER ASSIGNED NUMBER. THE REPORT SHALL INCLUDE THE DATE, TIME, AND SPECIES OBSERVED.
- PHOTOGRAPHIC OR OBSERVED SPECIES AND NEARBY ELEMENTS OF HABITAT OR AREAS OF LAND DISTURBANCE SHALL BE PROVIDED TO NHFG IN DIGITAL FORMAT AT THE ABOVE EMAIL ADDRESS FOR VERIFICATION, AS FEASIBLE.
- IN THE EVENT A THREATENED OR ENDANGERED SPECIES IS OBSERVED ON THE PROJECT SITE DURING THE TERM OF THE PERMIT, THE SPECIES SHALL NOT BE DISTURBED, HANDLED, OR HARMED IN ANY WAY PRIOR TO CONSULTATION WITH NHFG AND IMPLEMENTATION OF CORRECTIVE ACTIONS RECOMMENDED BY NHFG.
- SITE OPERATORS SHALL BE ALLOWED TO RELOCATE WILDLIFE ENCOUNTERED IF DISCOVERED. SHAL BE RELOCATED IN CLOSE PROXIMITY TO THE CAPTURE LOCATION BUT OUTSIDE OF THE WORK ZONE AND IN THE DIRECTION THE INDIVIDUAL WAS HEADING. NHFG SHALL BE CONTACTED IMMEDIATELY IF THIS ACTION OCCURS.
- THE NHFG, INCLUDING ITS EMPLOYEES AND AUTHORIZED AGENTS, SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

EROSION CONTROL NOTES:

- THE EROSION CONTROL PROCEDURES SHALL CONFORM TO THE NH STORMWATER MANUAL, VOLUME 3: EROSION & SEDIMENT CONTROLS DURING CONSTRUCTION, DECEMBER 2008, OR LATEST EDITION.
- DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME AS APPROVED BY THE ENGINEER. LAND SHOULD NOT BE LEFT EXPOSED DURING THE WINTER MONTHS.
- LIMIT OF MAXIMUM AREA OF EXPOSED SOIL AT ANY ONE TIME TO LESS THAN 5 ACRES. THE EXPOSED AREA THAT IS BEING ACTIVELY WORKED DURING WINTER IS TO BE LESS THAN 3 ACRES DURING THE WINTER SEASON.
- ALL PERMANENT STORM WATER STRUCTURES SHALL BE STABILIZED PRIOR TO DIRECTING FLOW INTO THEM. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS BEEN INSTALLED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
 - OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- SEDIMENT CONTROL FENCE SHALL BE INSTALLED AND MAINTAINED DURING AND AFTER DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER AND FROM LAND UNDERGOING DEVELOPMENT. WHERE POSSIBLE, NATURAL DRAINAGE WAYS SHOULD BE UTILIZED AND LEFT OPEN TO REMOVE EXCESS SURFACE WATER. SEDIMENT CONTROL FENCE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
- ALL DISTURBED AREAS AND SIDE SLOPES WHICH ARE FINISHED GRADED, WITH NO FURTHER CONSTRUCTION TO TAKE PLACE, SHALL BE LOAMED AND SEEDED WITHIN 72 HOURS AFTER FINAL GRADING. A MINIMUM OF 4" OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. THE SEED MIX SHALL BE AS DESIGNATED BELOW.
- ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION, SHALL BE MACHINE HAY MULCHED AND SEEDED WITH HAY OR STRAW TO PREVENT EROSION. THE HAY OR STRAW SHALL BE PLACED ON THE EXPOSED OR DISTURBED SOIL AND SHALL STAY 45 DAYS. HAY OR STRAW MULCH SHALL BE APPLIED TO ALL FRESHLY SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE. BALES SHALL BE UNPOUNDED, AIR DRIED, AND FREE FROM WEED, SEEDS AND ANY COARSE MATERIAL.

- ALL STONE-COVERED SLOPES SHOULD BE CONSTRUCTED AND STABILIZED WITHIN 10 DAYS OF THE DATE THAT THE SLOPES ARE EXPOSED. SLOPES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE NOT STABILIZED WITH STONE, SHALL BE REGRADED AND SEEDED WITH A PROPERLY INSTALLED AND ANCHORED EROSION CONTROL BLANKET OR WITH A MINIMUM 4-INCH THICKNESS OF EROSION CONTROL MIX, UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. NOTE THAT COMPOST BLANKETS SHOULD NOT EXCEED 2 INCHES IN THICKNESS OR THEY MAY OVERHEAT.
- ALL STONE-COVERED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15TH.
- INSTALLATION OF ANCHORED HAY MULCH OR EROSION CONTROL MIX SHOULD NOT OCCUR OVER SNOW OF GREATER THAN ONE INCH IN DEPTH.
- ALL MULCH SHOULD BE ANCHORED (E.G., BY NETTING, TIE-UPS, WOOD, ETC.)
- STOCKPILES OF SOIL MATERIALS SHOULD BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A FOUR-INCH LAYER OF EROSION CONTROL MIX. MULCHING SHOULD BE DONE WITHIN 24 HOURS OF STOCKING, AND RE-ESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL. NO SOIL STOCKPILE SHOULD BE PLACED (EVEN COVERED WITH MULCH) WITHIN 100 FEET FROM ANY WETLAND OR OTHER WATER RESOURCE AREA.
- FROZEN MATERIALS, (E.G., FROST-LAYER THAT IS REMOVED DURING WINTER) SHOULD BE PLACED ON THE GROUND STABILIZED AND IN A LOCATION THAT IS AWAY FROM ANY AREA NEEDING TO BE PROTECTED. STOCKPILES OF FROZEN MATERIAL CAN MELT IN THE SPRING AND BECOME UNWORKABLE AND DIFFICULT TO TRANSPORT DUE TO THE HIGH MOISTURE CONTENT IN THE SOIL.
- INSTALLATION OF EROSION CONTROL BLANKETS SHOULD NOT OCCUR OVER SNOW OF GREATER THAN ONE INCH IN DEPTH ON FROZEN GROUND.
- ALL GRASS-LINED DITCHES AND CHANNELS SHOULD BE CONSTRUCTED AND STABILIZED BY SEPTEMBER 1, ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, SHOULD BE REGRADED AND SEEDED WITHIN 10 DAYS OF THE DATE THAT THE DITCHES OR SWALES ARE EXPOSED. DITCHES AND CHANNELS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH SHOULD BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS, AS DETERMINED BY A QUALIFIED PROFESSIONAL ENGINEER OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL AS CERTIFIED BY THE CSPCSC COUNCIL OF ENVIROCERT INTERNATIONAL. IN, IF A STONE LINING IS NECESSARY, THE CONTRACTOR MAY NEED TO RE-GRADE THE DITCH AS REQUIRED TO PROVIDE ADEQUATE CROSS-SECTION AFTER ALLOWING FOR PLACEMENT OF THE STONE.
- ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15TH.
- AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDT ITEM 304.3.
- SEDIMENT BARRIERS THAT ARE INSTALLED DURING FROZEN CONDITIONS SHOULD CONSIST OF EROSION CONTROL MIX BERMS, OR CONTINUOUS CONTAINED BERMS. SILT FENCES AND HAY BALES SHOULD NOT BE INSTALLED WHEN FROZEN CONDITIONS PREVENT PROPER EMBEDMENT OF THESE BARRIERS.

TEMPORARY EROSION CONTROL MEASURES:

- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
- SEDIMENT CONTROL FENCE SHALL BE INSTALLED AS REQUIRED. FENCE IS TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
- BALED HAY AND MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
- FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
- STOCKPILED MATERIALS SHALL BE PLACED ONLY IN AREAS SHOWN ON THE PLANS. STOCKPILES SHALL BE PROTECTED BY SEDIMENT CONTROL FENCING AND SEADED TO PREVENT EROSION. THESE MEASURES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
- TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC) MUST BE USED AS NECESSARY UNTIL AREAS ARE STABILIZED.

- ALL DISTURBED AREAS SHALL BE LOAMED AND SEADED. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA.
- SEED MIX SHALL BE EQUAL PARTS OF RED FESCUE (CREEPING), KENTUCKY BLUE GRASS, REDTOP, PERENNIAL RYEGRASS.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- ALL CATCH BASIN INLETS WILL BE PROTECTED WITH INLET PROTECTION.
- ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AND CLEANED AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.

- TO PREVENT TRACKING OF SEDIMENT ONTO THE EXISTING ROADS, ALL CONSTRUCTION TRAFFIC CAN ONLY EXIT THE SITE OVER THE GRAVEL CONSTRUCTION EXITS SHOWN ON THIS PLAN.
- ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, WITH THE EXCEPTION OF TURF REINFORCEMENT MATS, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, INLET PROTECTION, CHECK DAMS, AND TURF TRAPS SHALL NOT CONTAIN PLASTIC, OR MULTIFILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE GREATER THAN 1/8 INCHES. SEE PLAN SHEET 2.

- ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES ON THE PROJECT SITE SHALL BE REPORTED IMMEDIATELY TO THE NHFG NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHFGREVIEW@WILDLIFE.NH.GOV, WITH THE EMAIL SUBJECT LINE CONTAINING THE NHB DATACHECK TOOL RESULTS LETTER ASSIGNED NUMBER. THE REPORT SHALL INCLUDE THE DATE, TIME, AND SPECIES OBSERVED.
- PHOTOGRAPHIC OR OBSERVED SPECIES AND NEARBY ELEMENTS OF HABITAT OR AREAS OF LAND DISTURBANCE SHALL BE PROVIDED TO NHFG IN DIGITAL FORMAT AT THE ABOVE EMAIL ADDRESS FOR VERIFICATION, AS FEASIBLE.
- IN THE EVENT A THREATENED OR ENDANGERED SPECIES IS OBSERVED ON THE PROJECT SITE DURING THE TERM OF THE PERMIT, THE SPECIES SHALL NOT BE DISTURBED, HANDLED, OR HARMED IN ANY WAY PRIOR TO CONSULTATION WITH NHFG AND IMPLEMENTATION OF CORRECTIVE ACTIONS RECOMMENDED BY NHFG.
- SITE OPERATORS SHALL BE ALLOWED TO RELOCATE WILDLIFE ENCOUNTERED IF DISCOVERED. SHAL BE RELOCATED IN CLOSE PROXIMITY TO THE CAPTURE LOCATION BUT OUTSIDE OF THE WORK ZONE AND IN THE DIRECTION THE INDIVIDUAL WAS HEADING. NHFG SHALL BE CONTACTED IMMEDIATELY IF THIS ACTION OCCURS.
- THE NHFG, INCLUDING ITS EMPLOYEES AND AUTHORIZED AGENTS, SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

- ALL CONSTRUCTION AND MAINTENANCE ACTIVITIES SHALL BE CONDUCTED AS DIRECTED BY THE CONTRACTOR AND DEVELOPER. THE CONTRACTOR AND DEVELOPER MUST MANAGE THE PROJECT TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
- CONTRACTOR AND DEVELOPER MUST MAINTAIN THE PROJECT TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

- CONTRACTOR AND DEVELOPER MUST MAINTAIN THE PROJECT TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

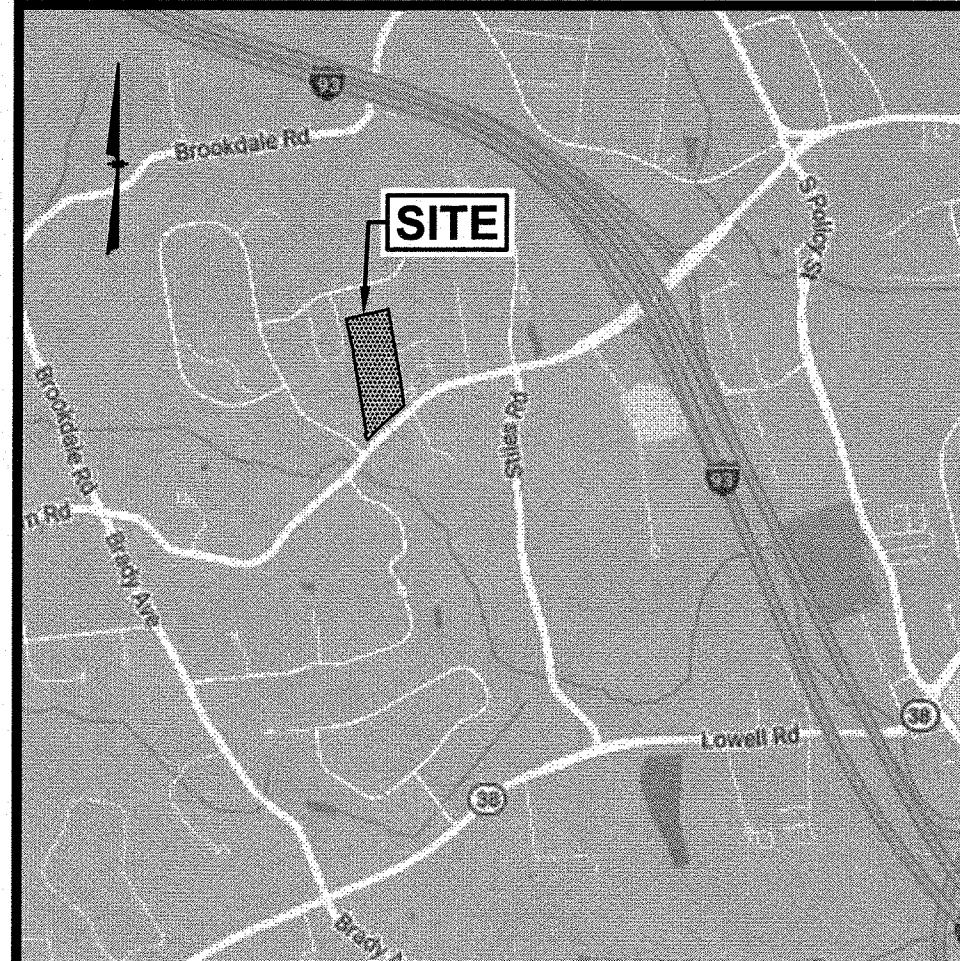
- CONTRACTOR AND DEVELOPER MUST MAINTAIN THE PROJECT TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

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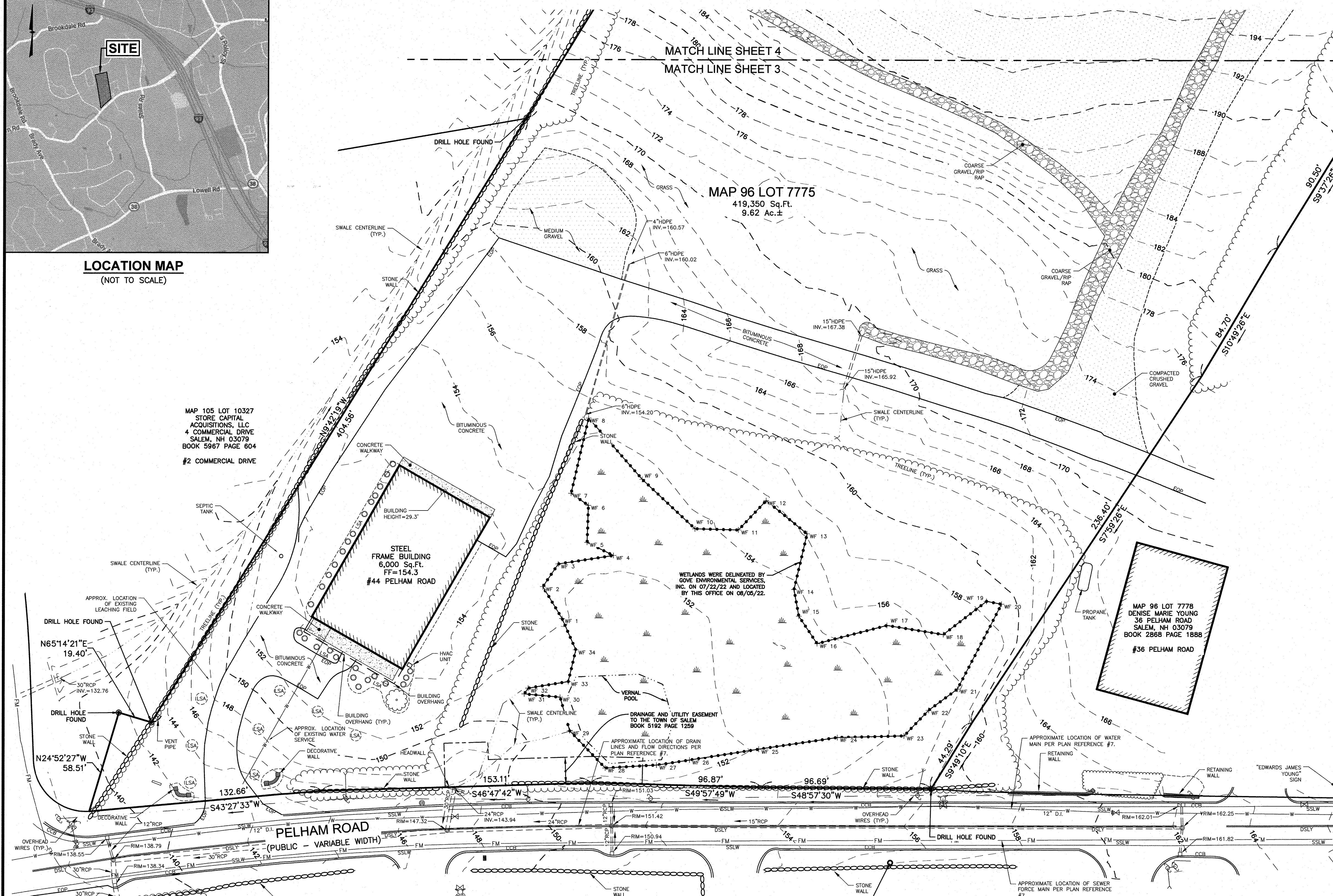
- CONTRACTOR AND DEVELOPER MUST MAINTAIN THE PROJECT TO MEET THE REQUIREMENTS AND INTENT



LOCATION MAP
(NOT TO SCALE)

MAP 105 LOT 10327
SALEM CAPITAL
ACQUISITIONS, LLC
4 COMMERCIAL DRIVE
SALEM, NH 03079
BOOK 5967 PAGE 604

#2 COMMERCIAL DRIVE



PLAN REFERENCES:
ROCKINGHAM COUNTY REGISTRY OF DEEDS

- "PLOT PLAN" PREPARED BY PAUL W. ZARNOWSKI; SCALE: 1"=200'; DATED: SEPTEMBER 20, 2011.
- PLAN D-37810
- PLAN D-20453
- PLAN D-15861
- PLAN D-15160
- PLAN C-10266
- "UTILITY PLANS" PREPARED BY STANTEC; SCALE: 1"=20'; DATED: JANUARY 24, 2012.

MATCH LINE SHEET 4
MATCH LINE SHEET 3

MAP 96 LOT 7775

419,350 Sq.Ft.
9.62 Ac.±

NAD 83

NOTES:

- ZONE: RURAL/INDUSTRIAL DISTRICT (RUR)/(I)
MIN. LOT SIZE: 25,000 N.R. Sq.Ft.
MIN. LOT FRONTAGE: 125/300 Ft.
SETBACKS:
FRONT 30/50 Ft.
SIDE 15/40 Ft.
REAR 30/40 Ft.
REFER TO THE TOWN OF SALEM ZONING ORDINANCE FOR VERIFICATION, ADDITIONAL RESTRICTIONS AND PERMITTED USES. THE ZONING INFORMATION SHOWN HEREON IS BASED ON A REVIEW OF THE SALEM ZONING ORDINANCE.
- THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN JULY 26, 2022 AND FEBRUARY 21, 2023.
- ELEVATIONS SHOWN HEREON ARE BASED ON NGVD29 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JULY 26, 2022. BENCHMARK: RM 15 - DISK STAMPED 'F-2' LOCATED IN THE WEST END OF THE NORTH ABUTMENT OF THE BOSTON & MAINE RAILROAD BRIDGE OVER POLICY BROOK NEAR ROCKINGHAM PARK. ELEVATION = 124.12 (NGVD 29).
- LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED.
- THE SURVEY TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33015C0545E, WITH AN EFFECTIVE DATE OF MARCH 17, 2005.

2	RESPONSE TO COMMENTS	CMY	8/16/23
1	ADD VERNAL POOL LOCATION	NID	4/24/23
NO.	DESCRIPTION	BY	DATE
	REVISIONS		

EXISTING CONDITIONS PLAN

SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

PREPARED FOR:

SURAJ REALTY

345 RIVER ROAD

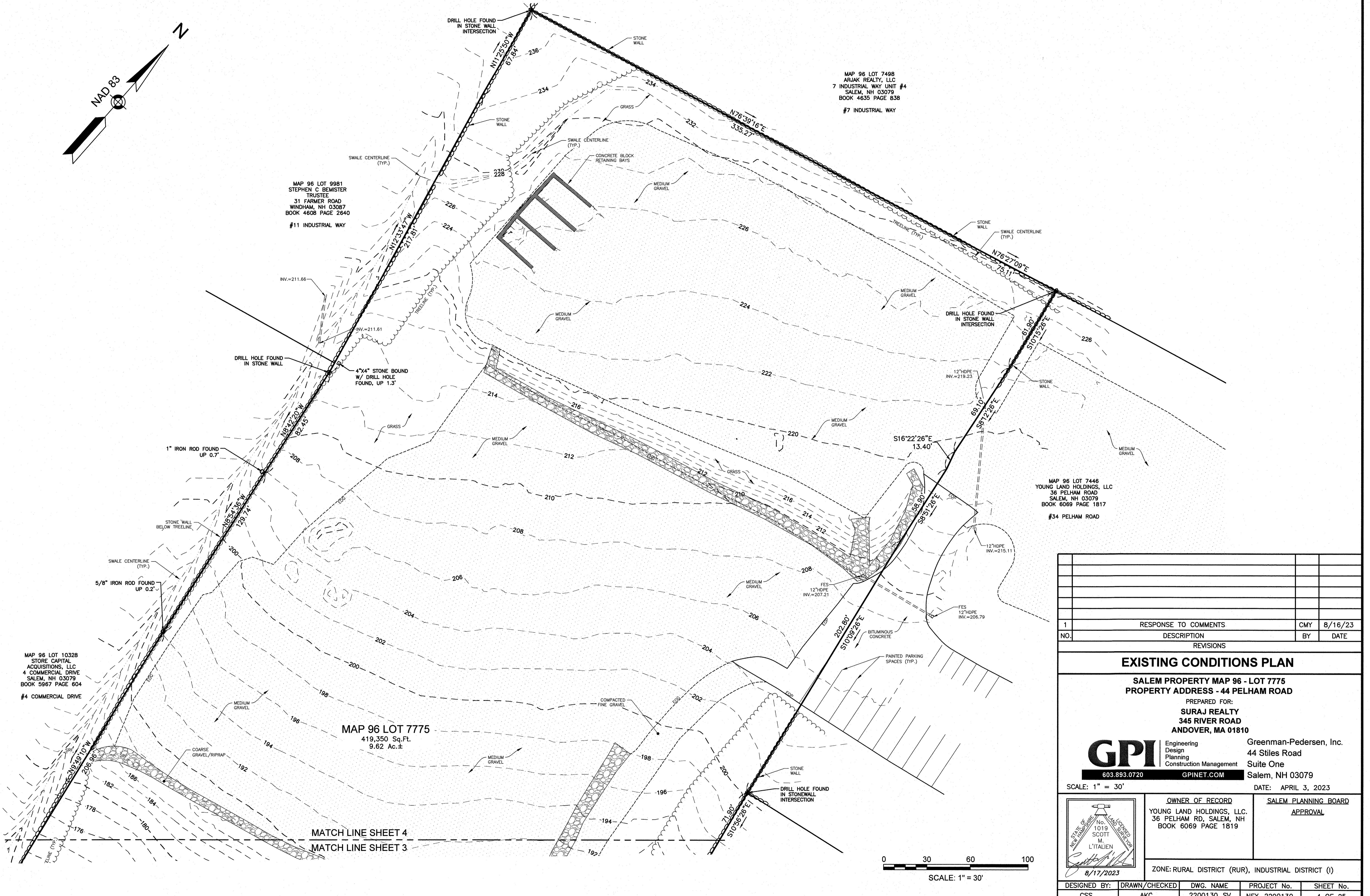
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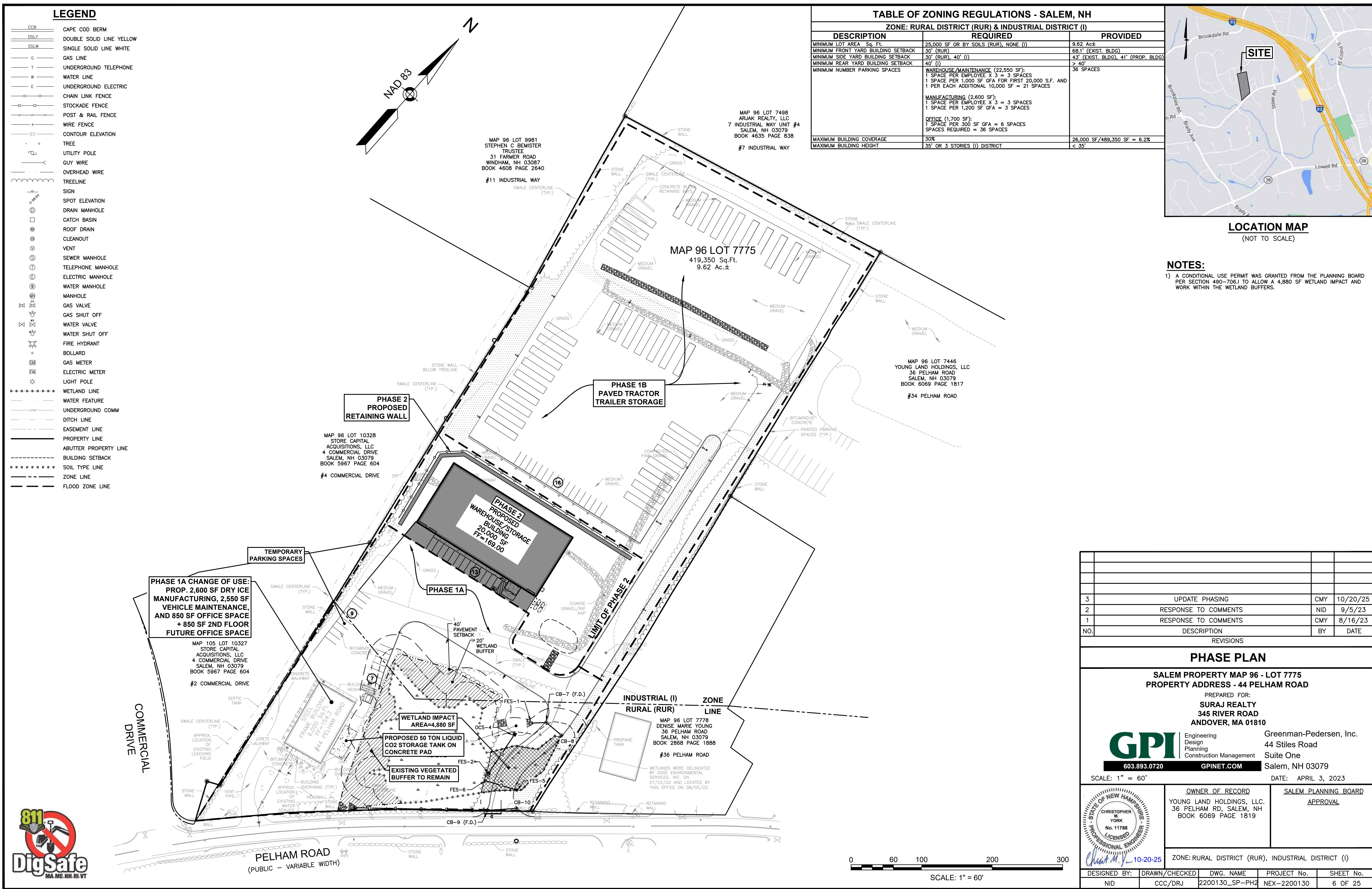
Greenman-Pedersen, Inc.
Engineering
Design
Planning
Construction Management

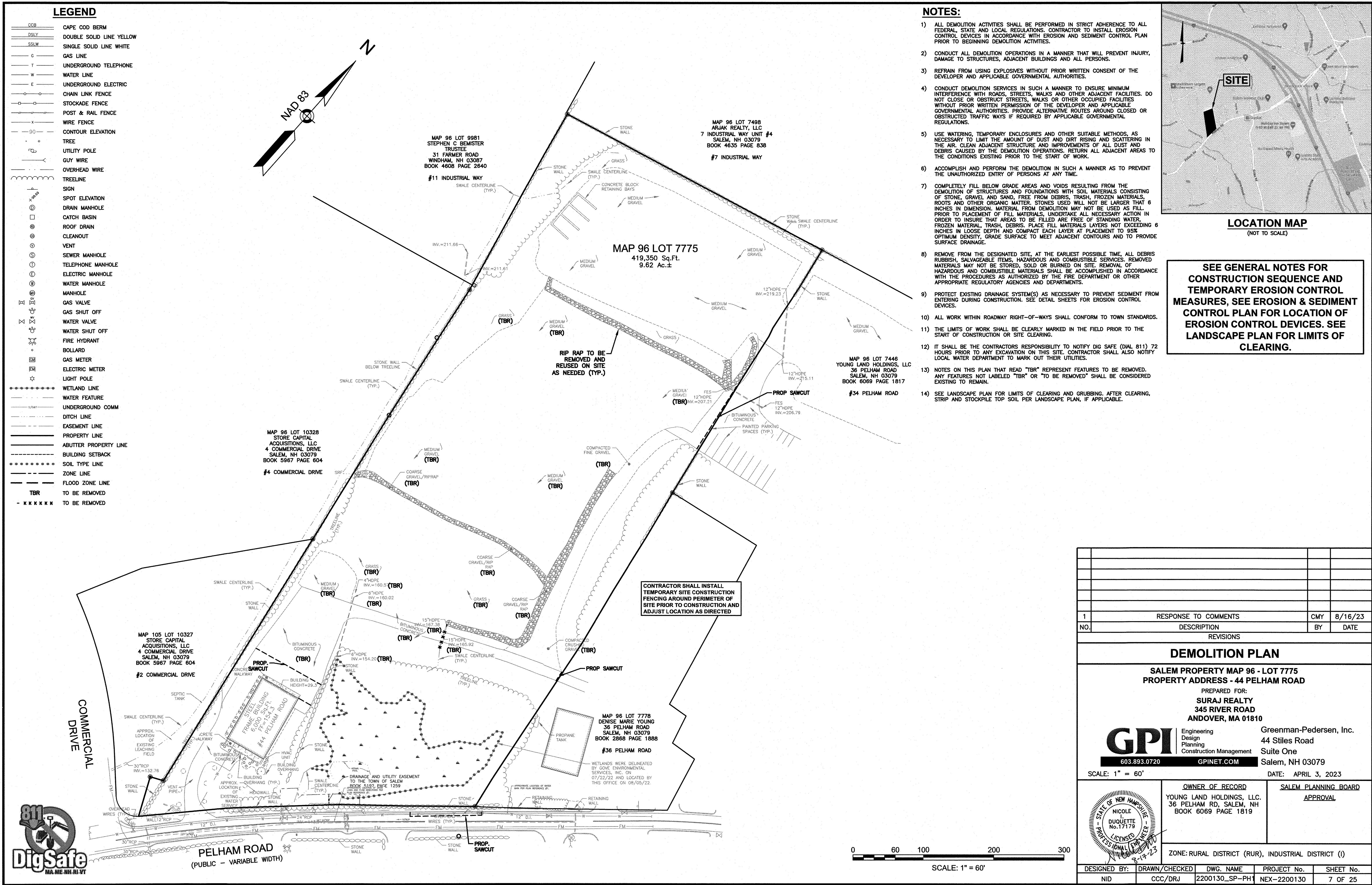
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GPINET.COM

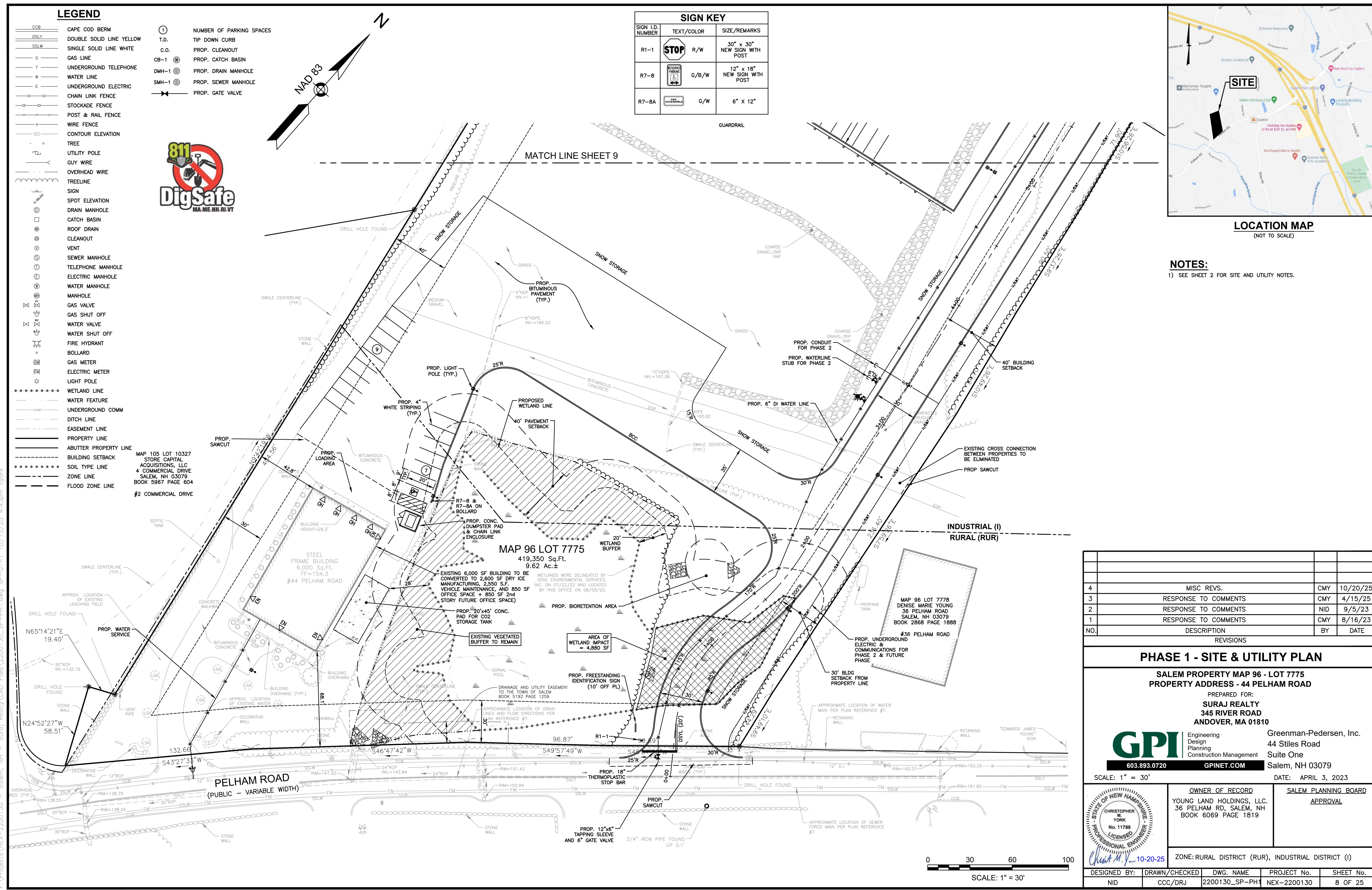
Salem, NH 03079
DATE: APRIL 3, 2023

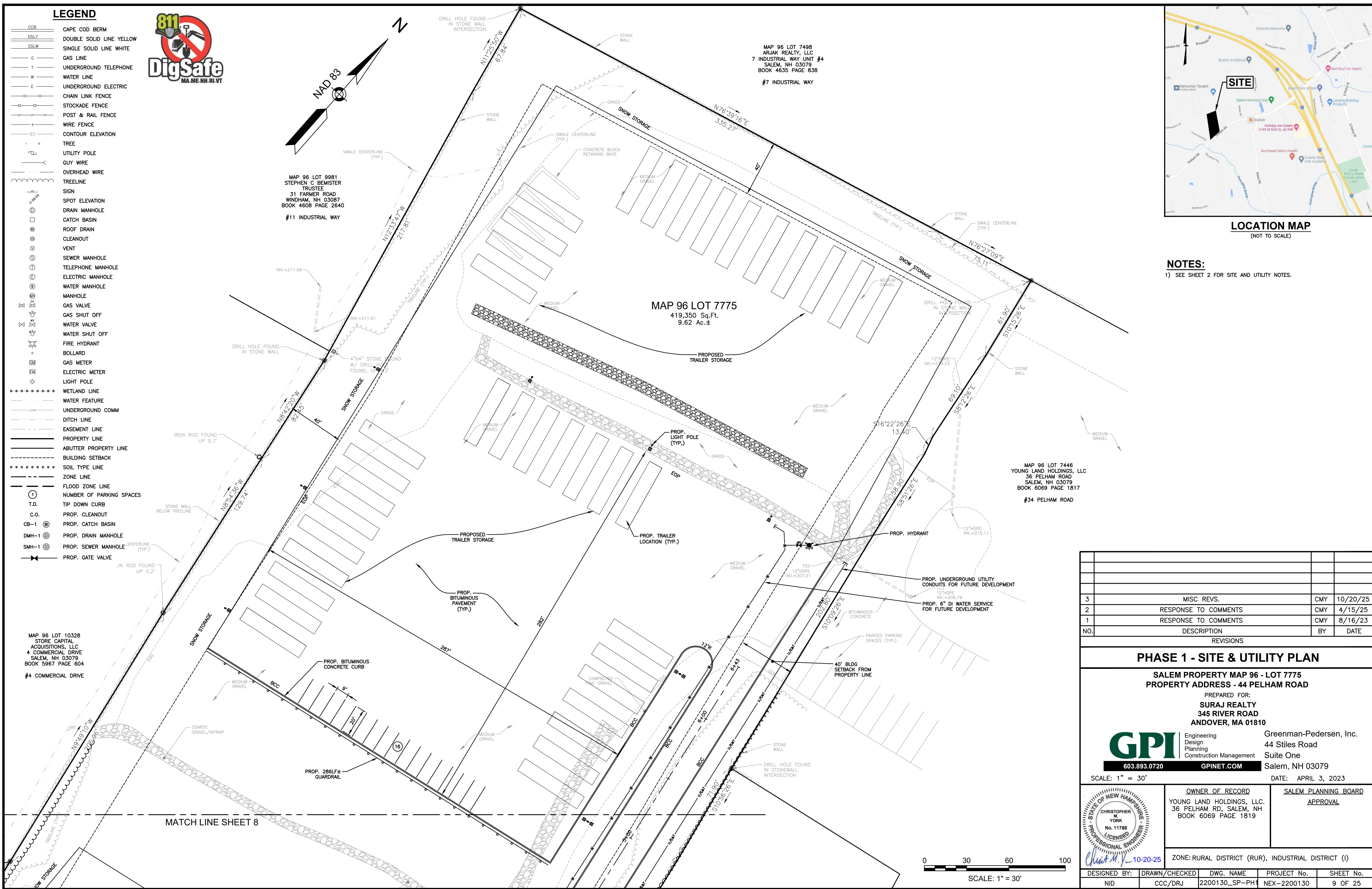
	OWNER OF RECORD	SALEM PLANNING BOARD APPROVAL
	YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819	
	ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)	
DESIGNED BY: CSS	DRAWN/CHECKED: AKC	DWG. NAME: 2200130_SV
		PROJECT NO. NEX-2200130
		SHEET No. 3 OF 25

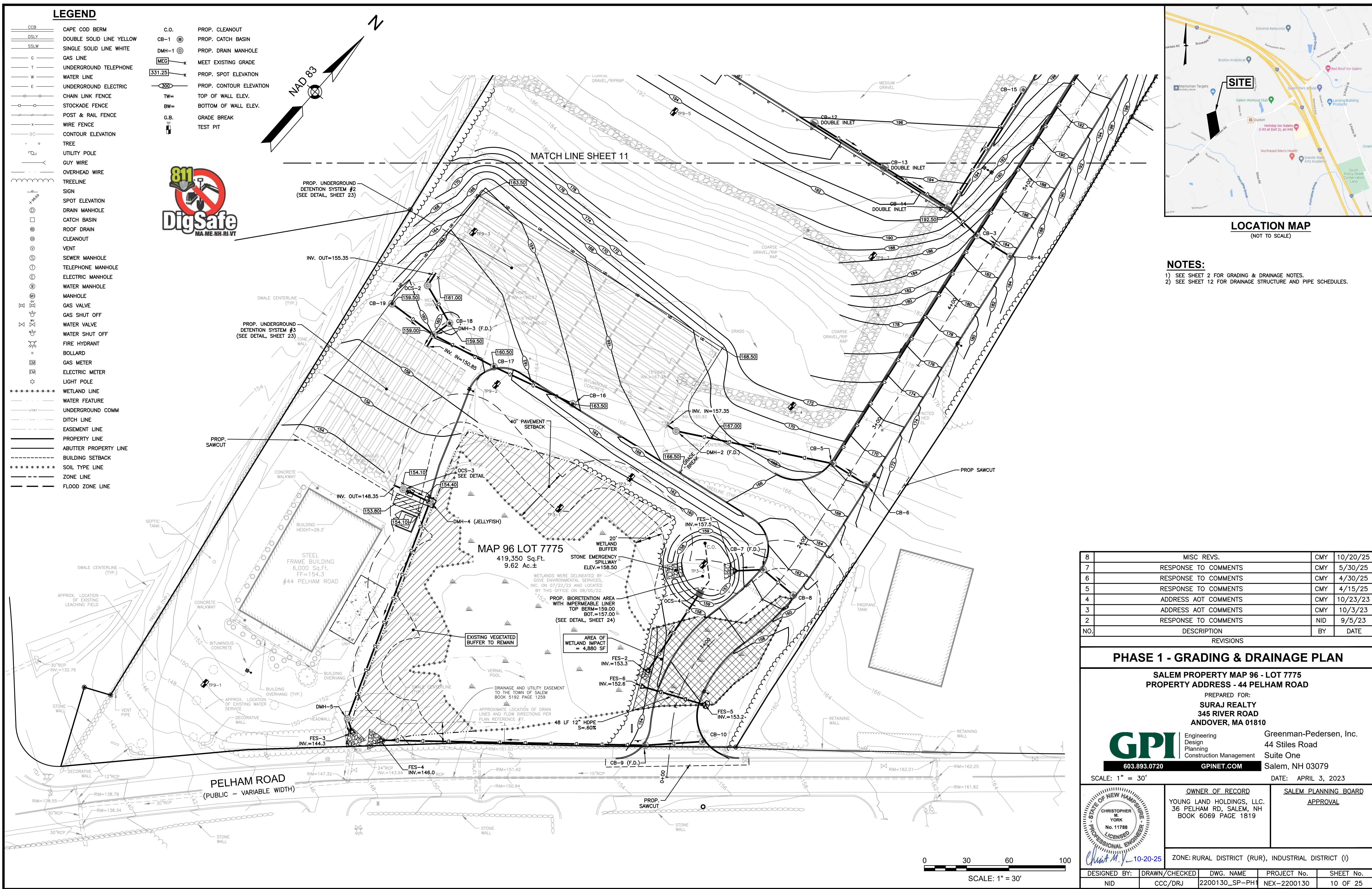


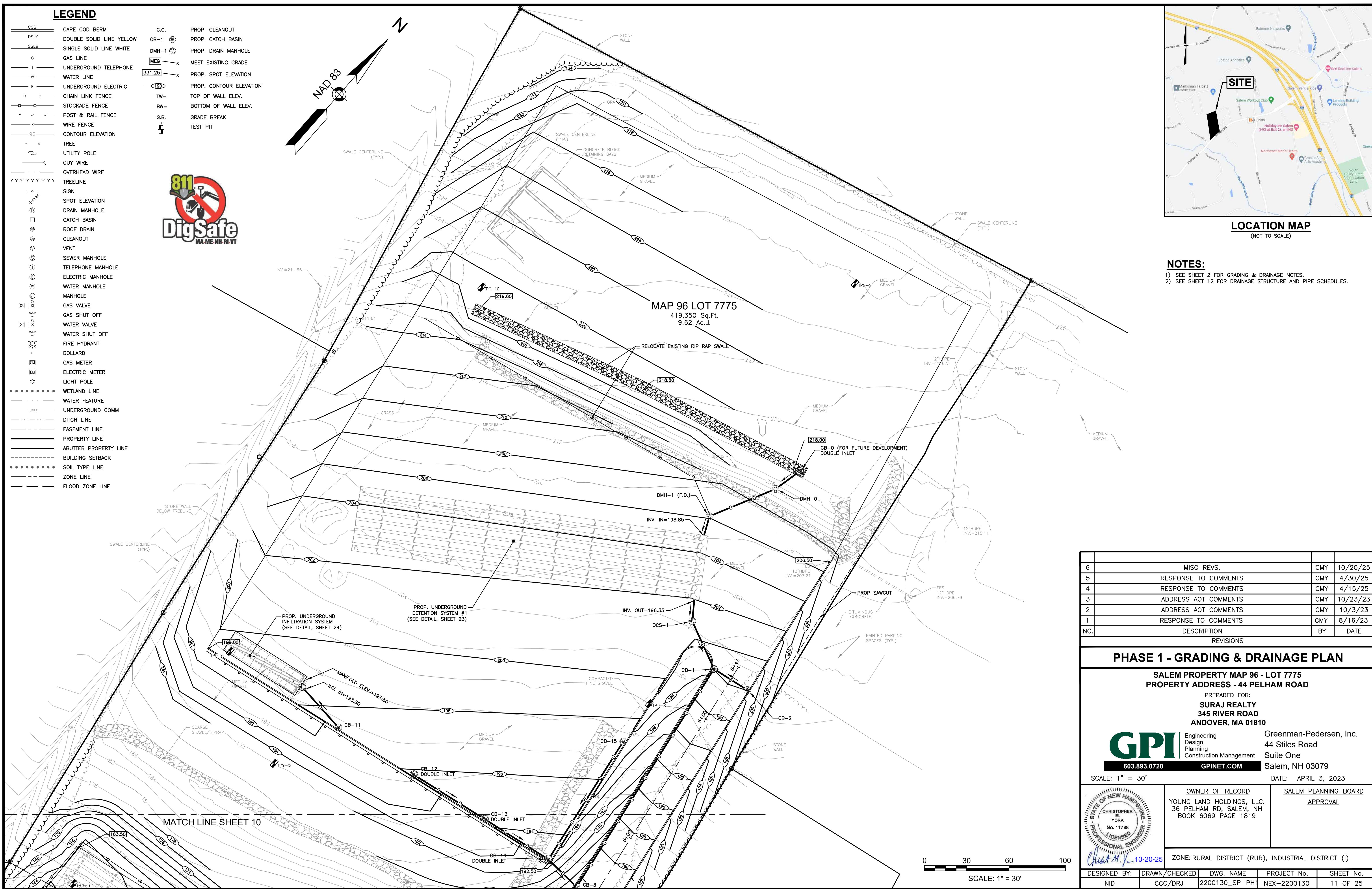


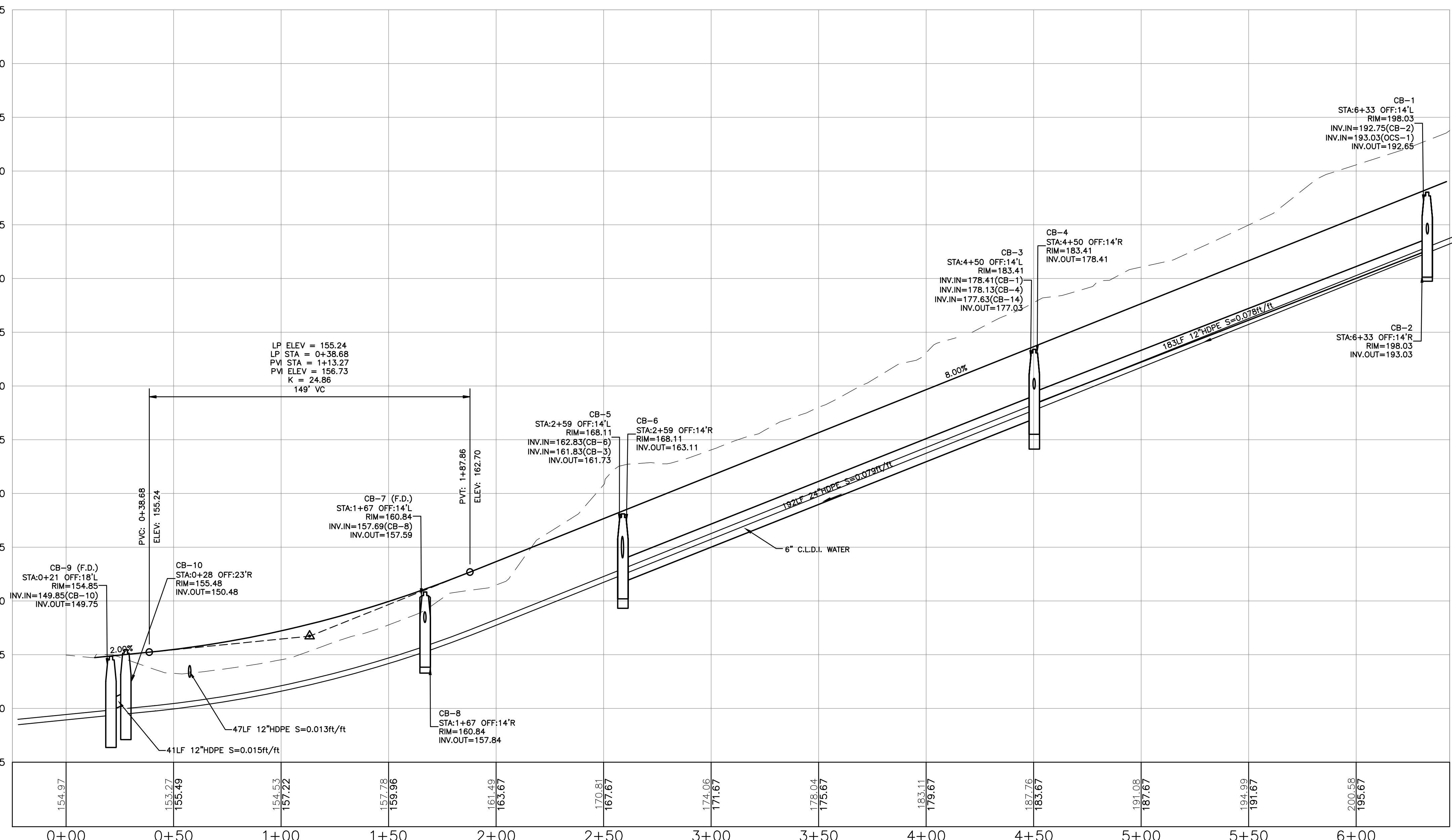






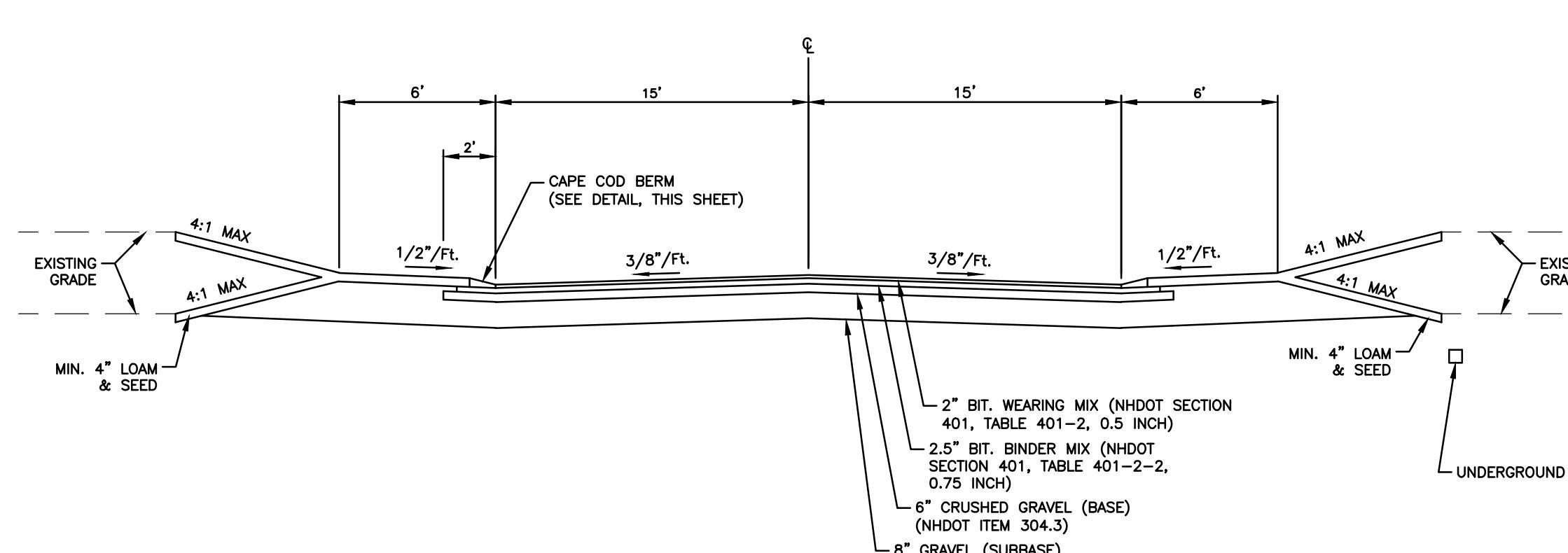






DRIVEWAY PROFILE

SCALE: 1"=30'H/6'V



TYPICAL DRIVEWAY CROSS SECTION

NOT TO SCALE

FROM- STRUCTURE NUMBER	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FEET)	SLOPE (FT./FT.)	TO- STRUCTURE NUMBER
CB-0 (FOR FUTURE DEVELOPMENT)	18	HDPE	21	0.102	DMH-0
CB-1	12	HDPE	183	0.078	CB-3
CB-2	12	HDPE	28	0.010	CB-1
CB-3	24	HDPE	191	0.079	CB-5
CB-4	12	HDPE	28	0.010	CB-3
CB-5	24	HDPE	114	0.013	DMH-2 (F.D.)
CB-6	12	HDPE	28	0.010	CB-5
CB-7 (F.D.)	12	HDPE	21	0.005	FES-1
CB-8	12	HDPE	29	0.005	CB-7 (F.D.)
CB-9 (F.D.)	12	HDPE	188	0.020	FES-4
CB-10	12	HDPE	41	0.015	CB-9 (F.D.)
CB-11	12	HDPE	38	0.008	INF-IN
CB-12	12	HDPE	59	0.030	CB-13
CB-13	18	HDPE	54	0.021	CB-14
CB-14	18	HDPE	28	0.075	CB-3
CB-15	12	HDPE	99	0.053	CB-14
CB-16	12	HDPE	62	0.047	CB-17
CB-17	12	HDPE	48	0.045	DMH-3 (F.D.)
CB-18	12	HDPE	14	0.084	DMH-3 (F.D.)
CB-19	12	HDPE	37	0.032	DMH-3 (F.D.)

NOTES:

1) SEE SHEET 2 FOR GRADING & DRAINAGE NOTES.SCALE: 1" = 30' (H)
1" = 6' (V)

DRAINAGE PIPE SCHEDULE					
FROM- STRUCTURE NUMBER	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FEET)	SLOPE (FT./FT.)	TO- STRUCTURE NUMBER
DET-1 OUT	12	HDPE	15	0.000	OCS-1
DET-2 OUT	12	HDPE	11	0.000	OCS-2
DET-3 OUT	12	HDPE	7	0.000	OCS-3
DMH-0	18	HDPE	51	0.077	DMH-1 (F.D.)
DMH-1 (F.D.)	18	HDPE	14	0.043	DET-1 IN
DMH-2 (F.D.)	24	HDPE	7	0.014	DET-2 IN
DMH-3 (F.D.)	18	HDPE	10	0.011	DET-3 IN
DMH-4 (JELLYFISH)	12	HDPE	164	0.019	DMH-5
DMH-5	12	HDPE	11	0.010	FES-3
FES-5	12	HDPE	47	0.013	FES-4
OCS-1	12	HDPE	37	0.089	CB-1
OCS-2	12	HDPE	31	0.010	CB-18
OCS-3	12	HDPE	21	0.011	DMH-4 (JELLYFISH)
OCS-4	12	HDPE	67	0.010	FES-2

CB-0 (FOR FUTURE DEVELOPMENT)	RIM=218.00	INV.OUT=212.00	* DENOTES LOW PROFILE FRAME, GRATE, AND TOP SLAB
CB-1	RIM=198.03	INV.IN=192.75(CB-2)	(FD) DENOTES FIRST DEFENSE FD-4HC HYDRODYNAMIC PARTICLE SEPARATOR OR APPROVED EQUAL (SEE DETAIL)
CB-2	RIM=198.03	INV.IN=193.03(CB-5)	
CB-3	RIM=183.41	INV.IN=178.41(CB-1)	
CB-4	RIM=183.41	INV.IN=178.41(CB-4)	
CB-5	RIM=168.11	INV.IN=161.83(CB-3)	
CB-6	RIM=168.11	INV.OUT=161.73	
CB-7 (F.D.) *	RIM=160.84	INV.IN=157.69(CB-8)	
CB-8 *	RIM=160.84	INV.OUT=157.59	
CB-9 (F.D.)	RIM=154.00	INV.IN=148.33(OCS-3)	
CB-10	RIM=156.48	INV.OUT=150.48	
CB-11	RIM=197.50	INV.OUT=194.10	
CB-12	RIM=195.50	INV.OUT=190.10	
CB-13	RIM=188.50	INV.IN=188.34(CB-12)	
CB-14	RIM=186.72(CB-13)	INV.IN=186.72(CB-15)	UNDERGROUND DETENTION SYSTEM #1 (DET-1) WITH IMPERMEABLE LINER 48" CMP PIPES, 8 ROWS x 24" LF/ROW S=0.000 FT/FT INV.N=198.85 (DMH-1) INV.OUT=196.35
CB-15	RIM=197.00	INV.OUT=192.00	
CB-16	RIM=163.50	INV.OUT=158.50	UNDERGROUND DETENTION SYSTEM #2 (DET-2) WITH IMPERMEABLE LINER 48" CMP PIPES, 11 ROWS x 200 LF/ROW S=0.000 FT/FT INV.N=157.35 (DMH-2) INV.OUT=155.35
CB-17	RIM=160.50	INV.IN=155.60(CB-16)	
CB-18	RIM=159.50	INV.IN=155.04(OCS-2)	UNDERGROUND DETENTION SYSTEM #3 (DET-3) WITH IMPERMEABLE LINER 48" CMP PIPES, 12 ROWS x 100 LF/ROW S=0.000 FT/FT INV.N=150.85 (DMH-3) INV.OUT=148.35
CB-19	RIM=159.50	INV.OUT=154.50	

NO.	DESCRIPTION	BY	DATE
	REVISIONS		
5	RESPONSE TO COMMENTS	CMY	5/30/25
4	RESPONSE TO COMMENTS	CMY	4/15/25
3	ADDRESS AOT COMMENTS	CMY	10/23/23
2	ADDRESS AOT COMMENTS	CMY	10/3/23
1	RESPONSE TO COMMENTS	CMY	8/16/23

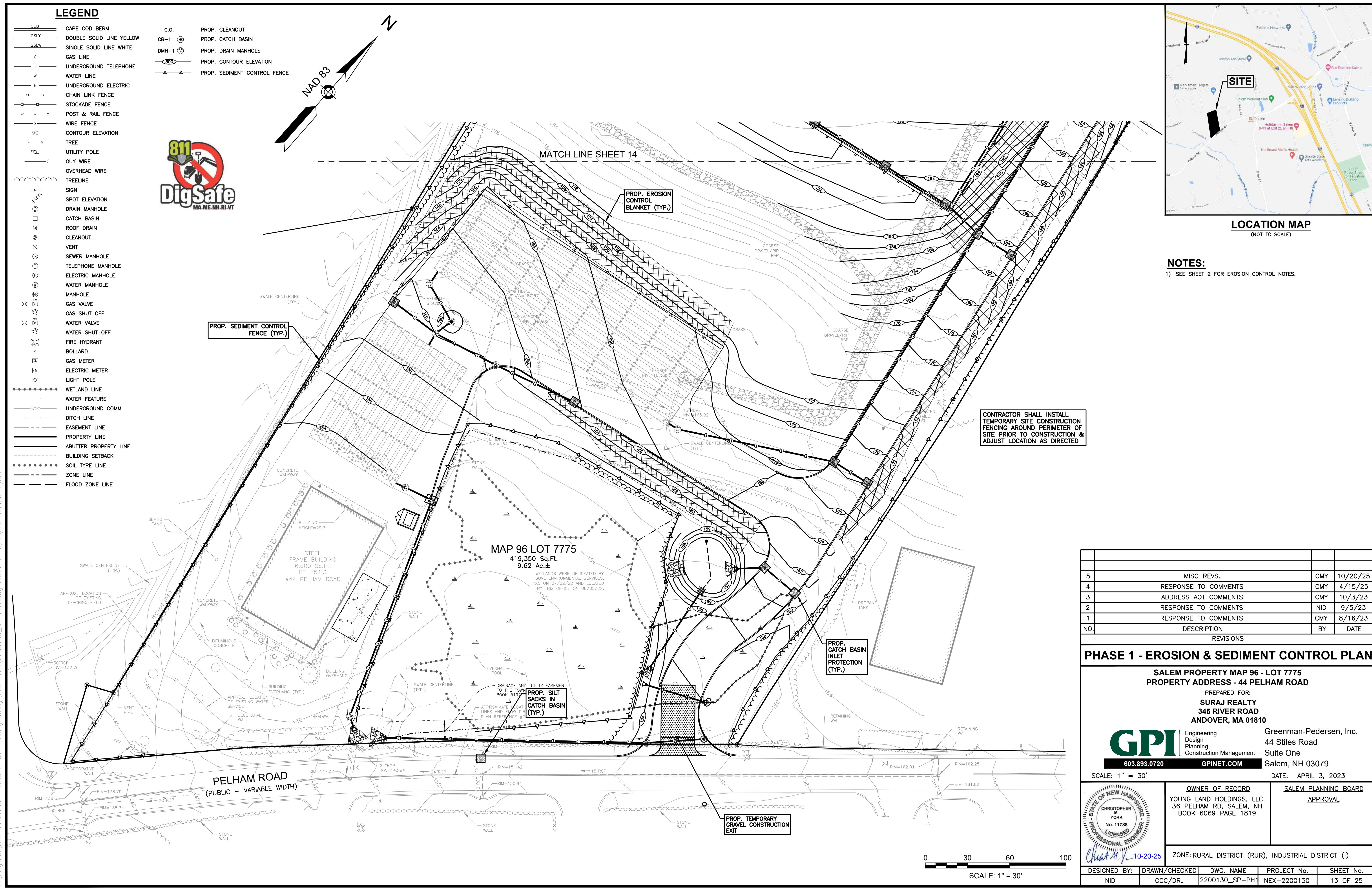
DRIVEWAY PROFILE & DRAINAGE SCHEDULE

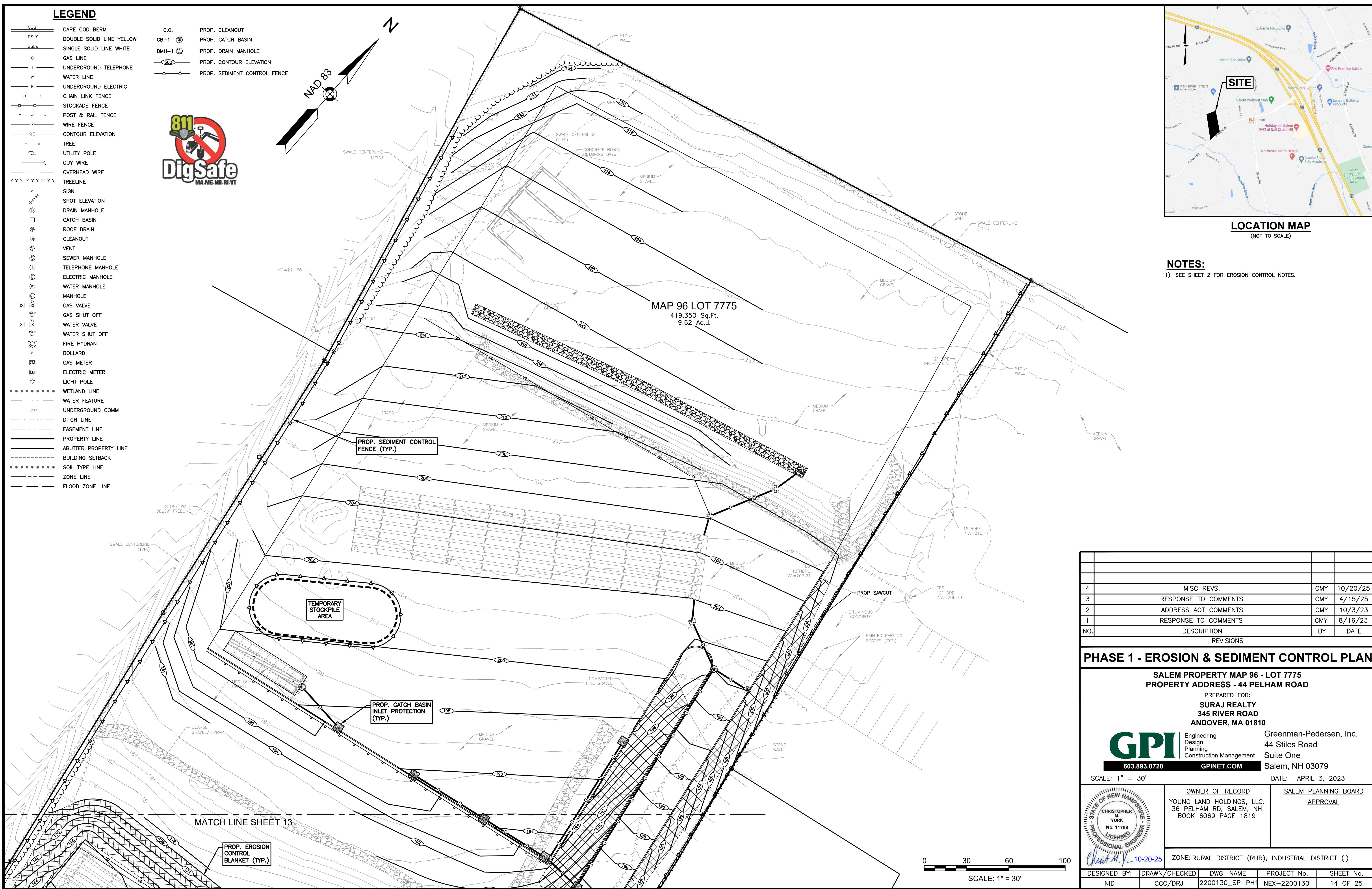
SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROADPREPARED FOR:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810

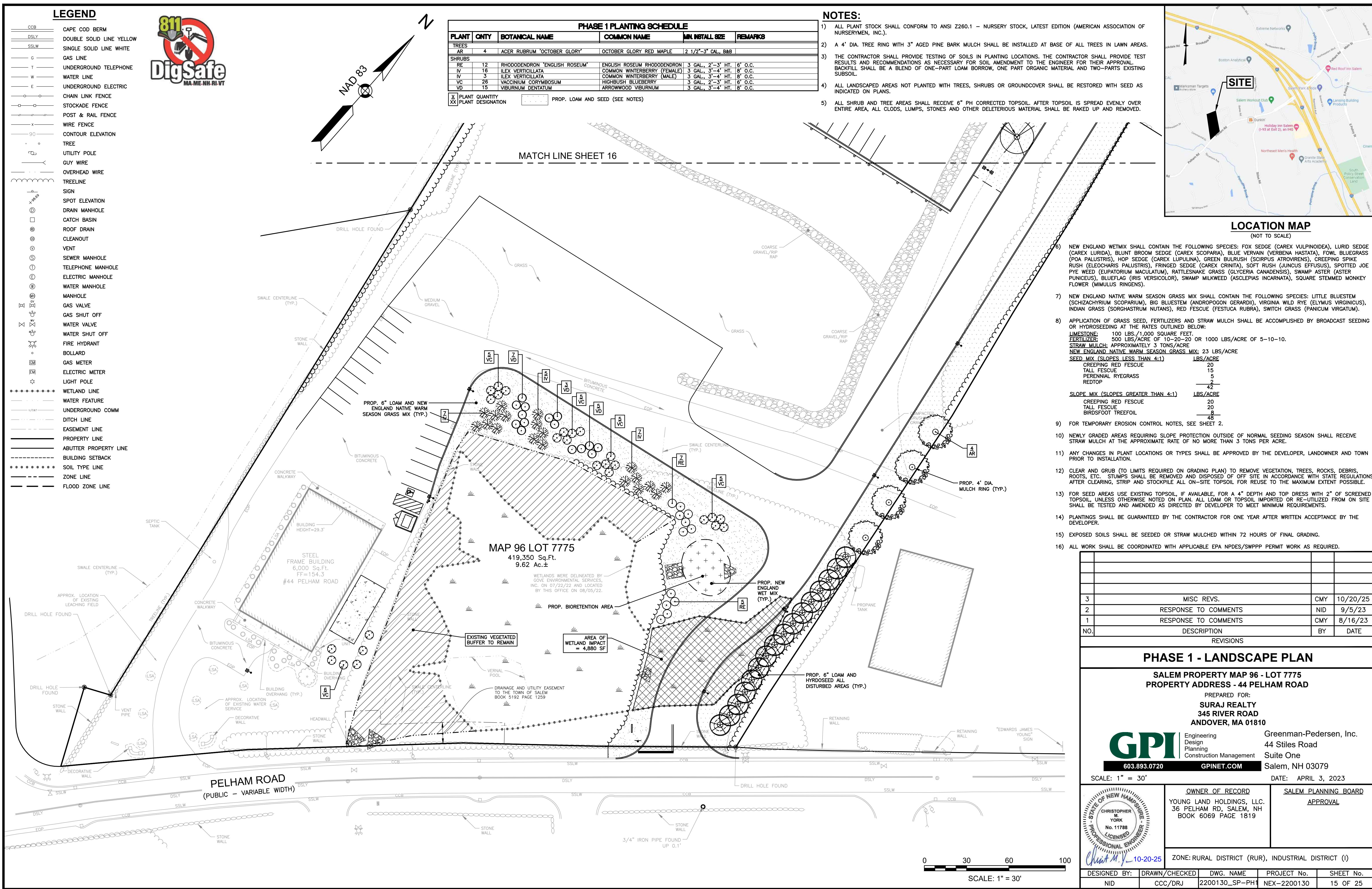
GPI | Engineering
Design
Planning
Construction Management
603.893.0720 | GPINET.COM
Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

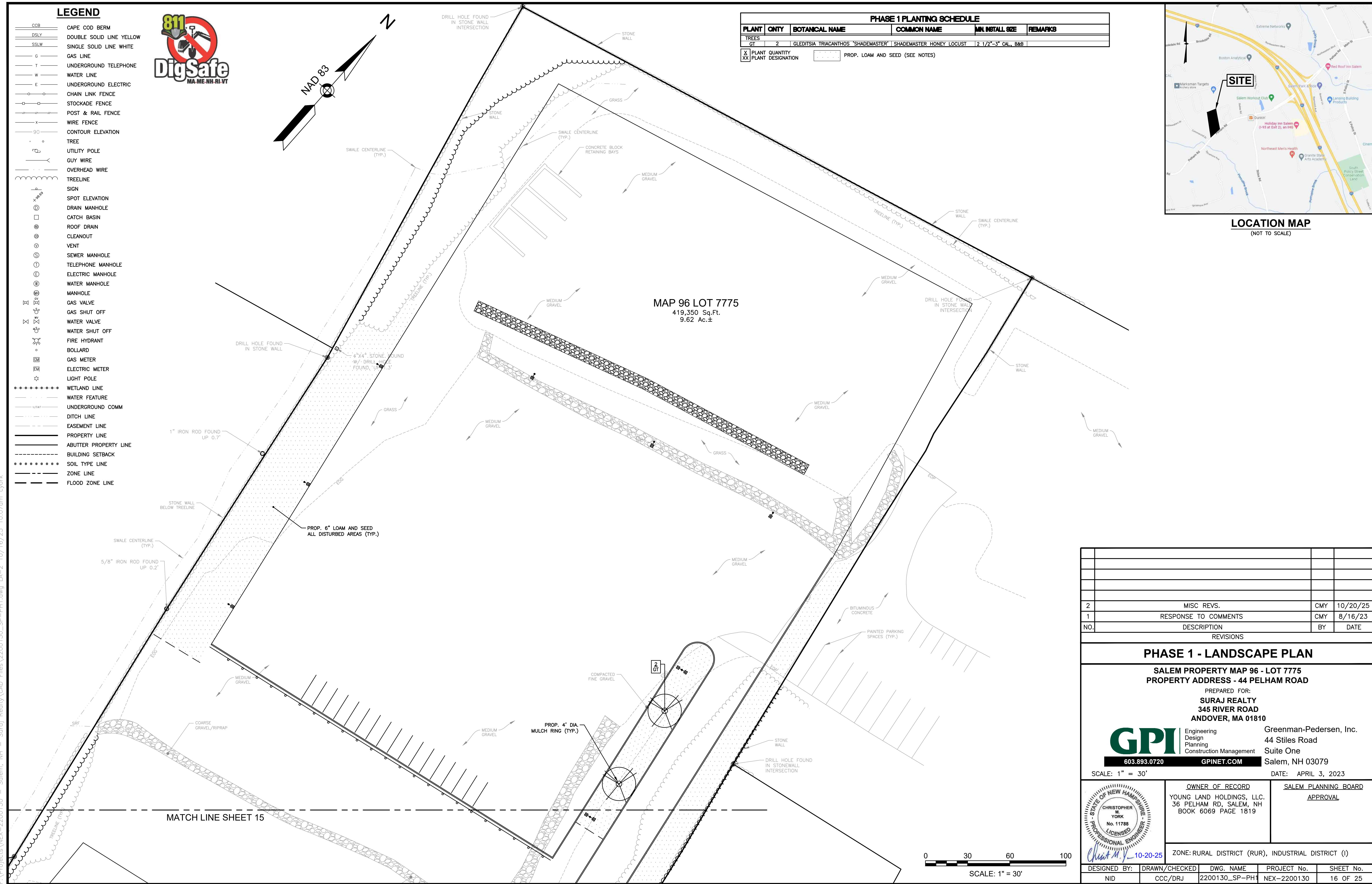
SCALE: AS NOTED
OWNER OF RECORD
YOUNG LAND HOLDINGS, LLC.
36 PELHAM RD, SALEM, NH
BOOK 6069 PAGE 1619
APPROVAL
STATE OF NEW HAMPSHIRE
CHRISTOPHER YORK
No. 11788
PROFESSIONAL ENGINEER
LICENCED

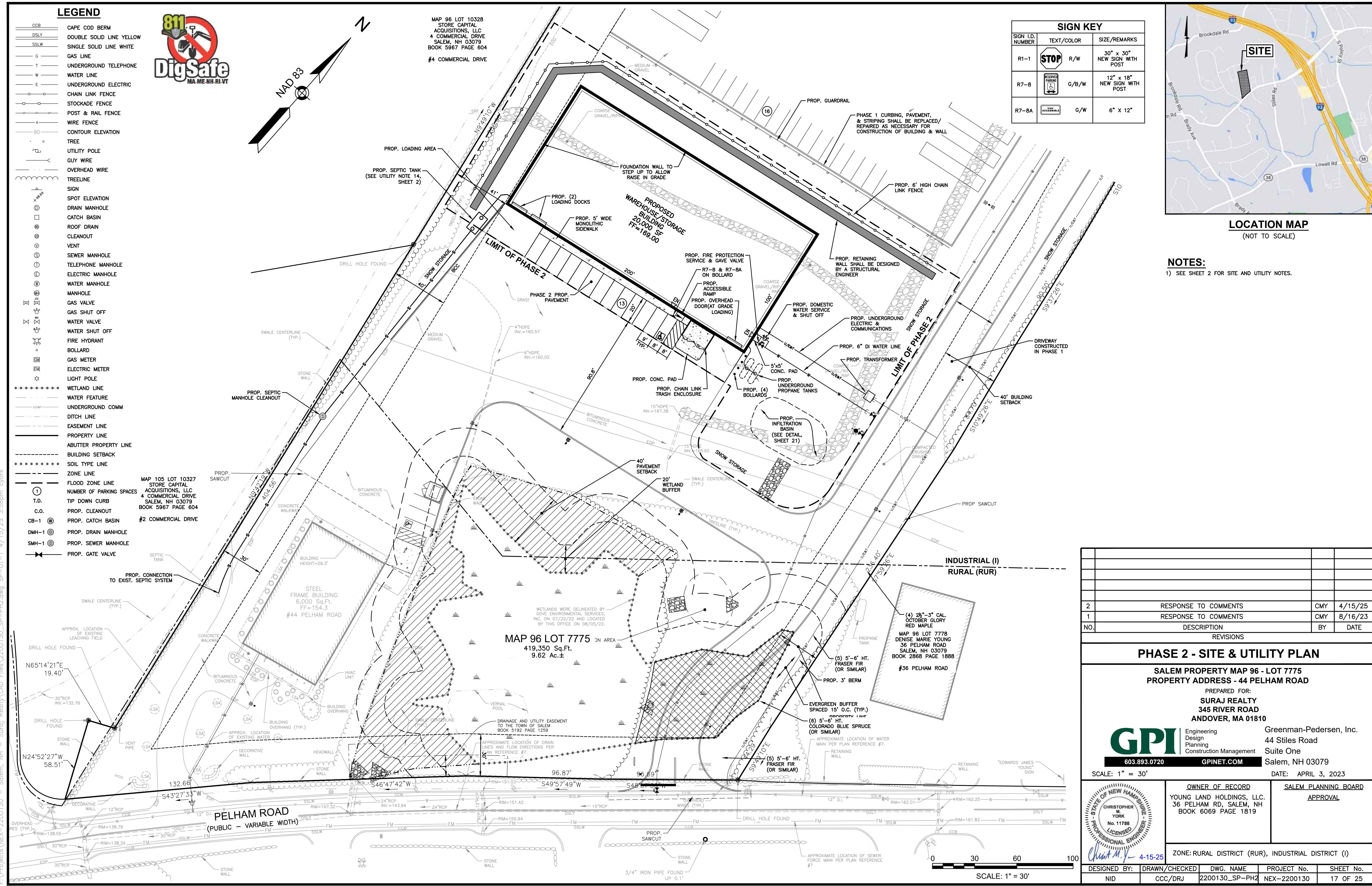
Chet M. 5-30-25
ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)
DESIGNED BY: DRAWN/CHECKED DWG. NAME PROJECT No. SHEET No.
NID CCC/DRJ 2200130_SP-PH1 NEX-2200130 12 OF 25

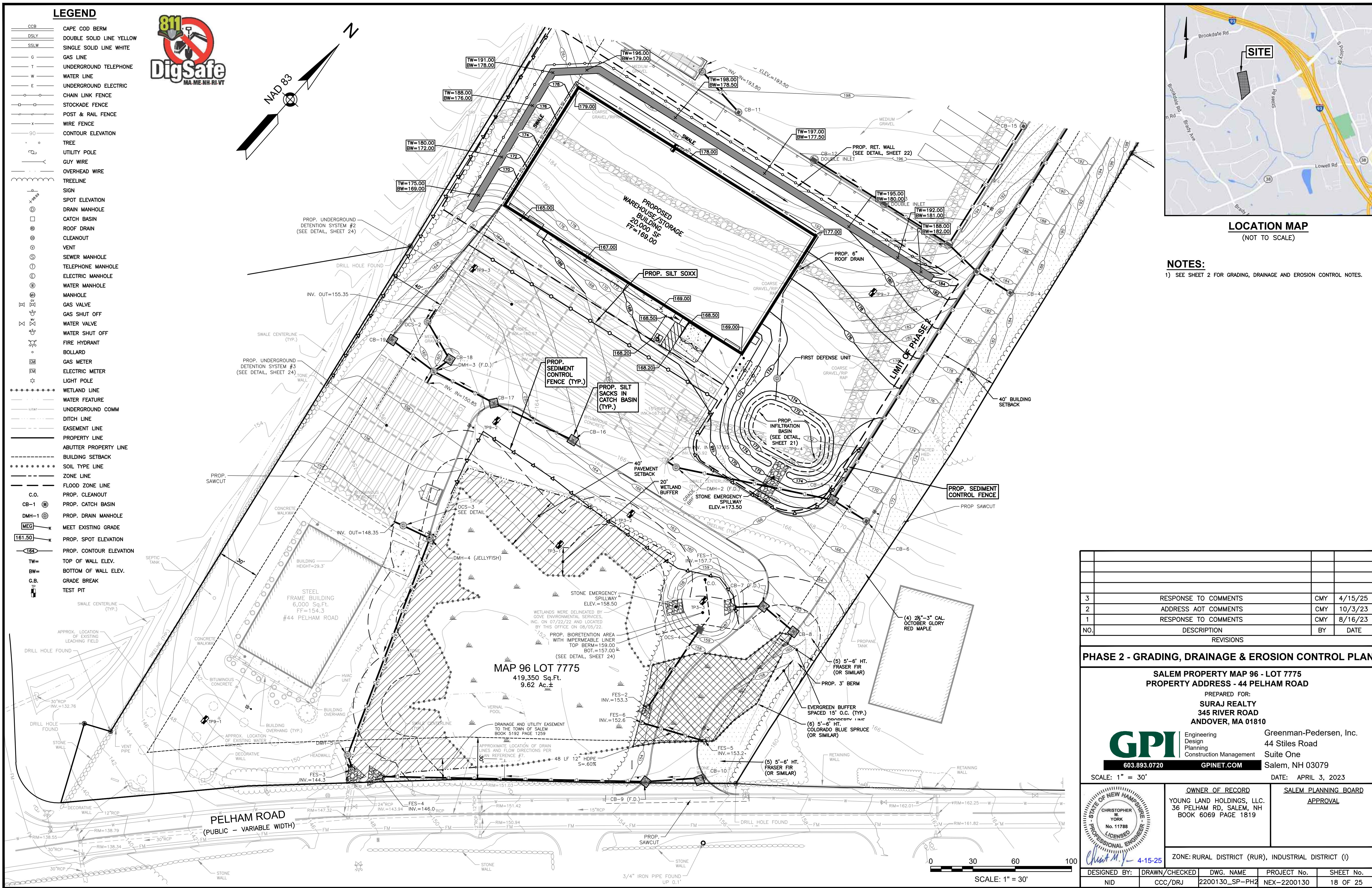


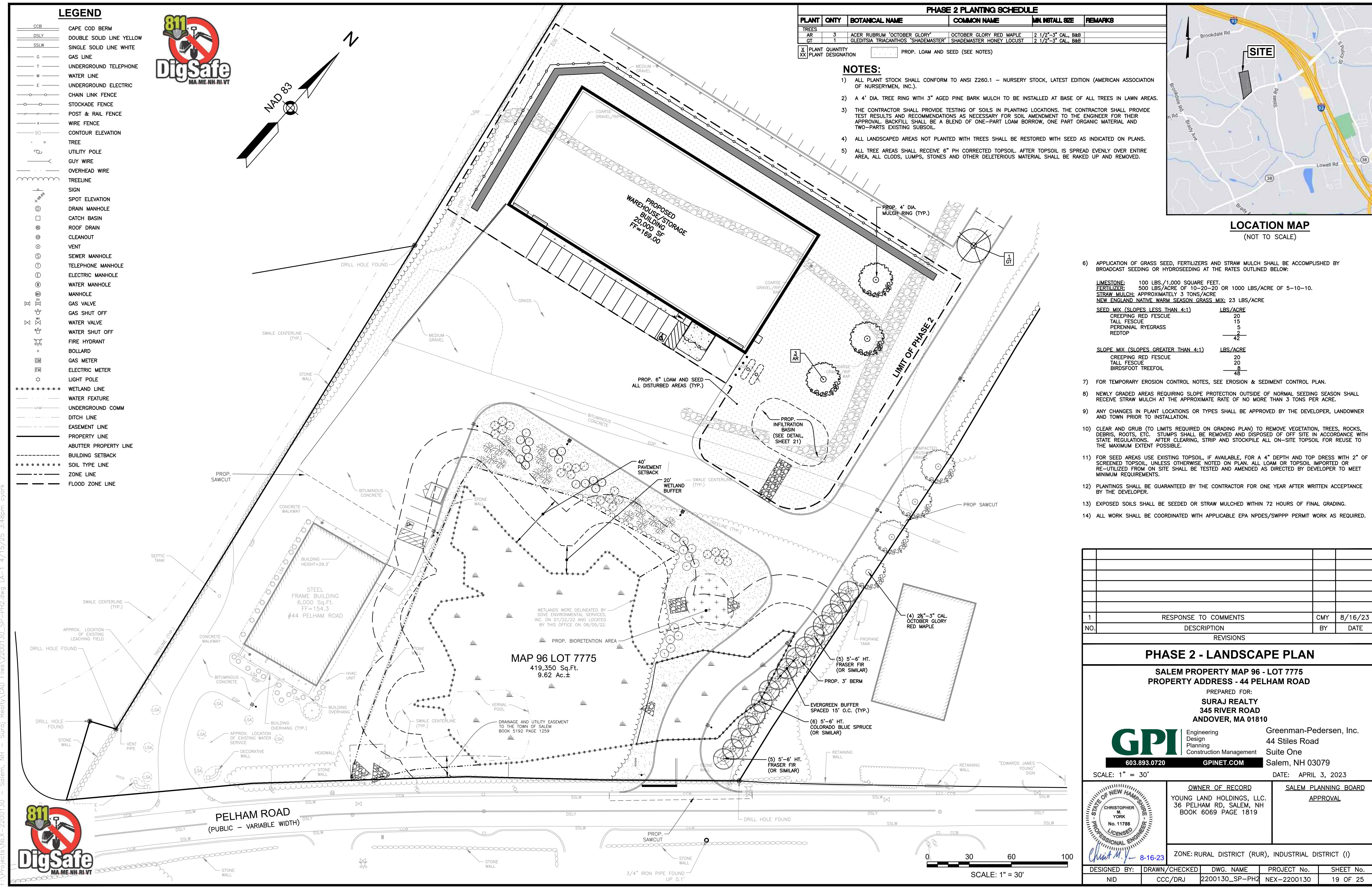


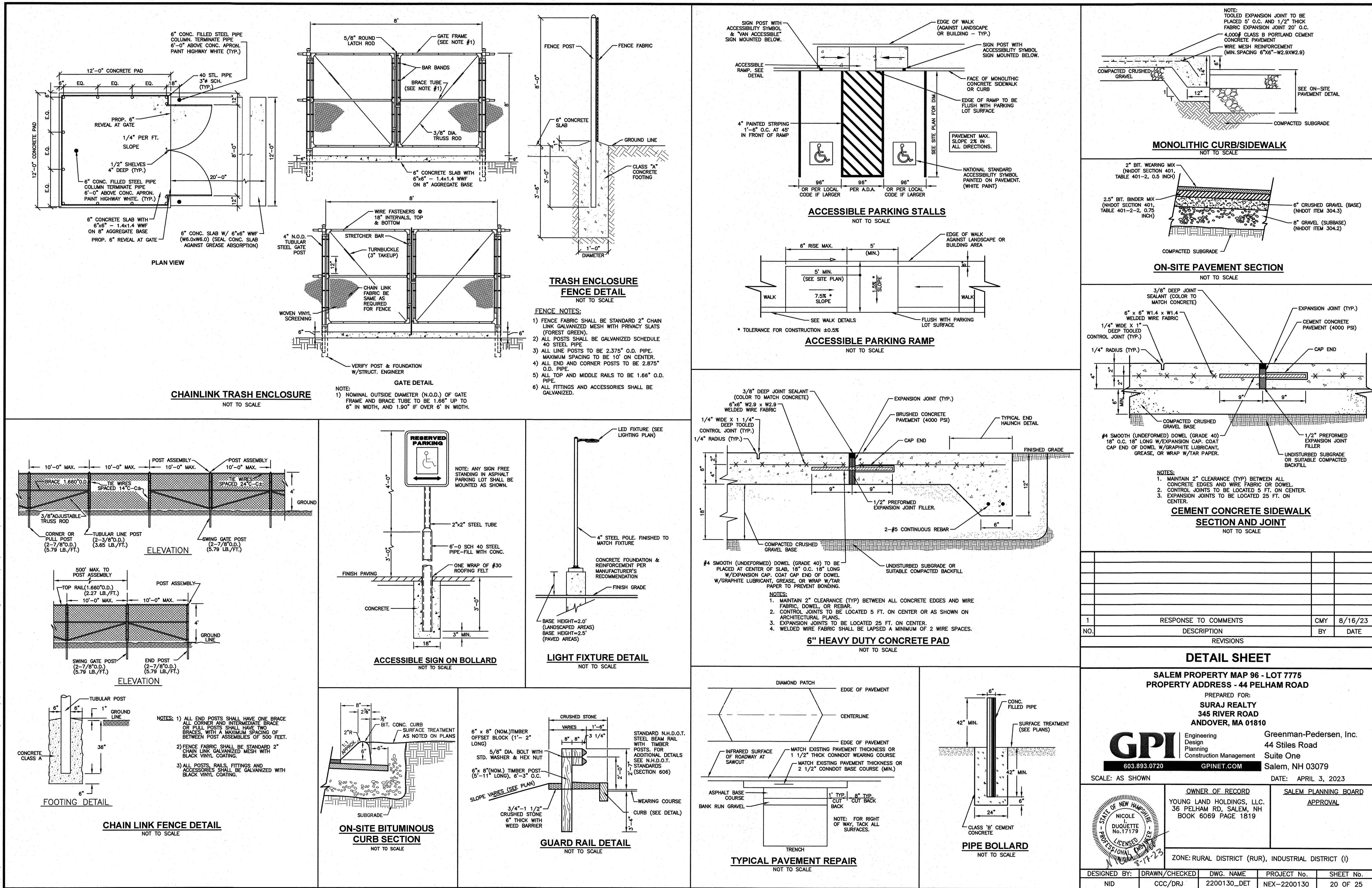


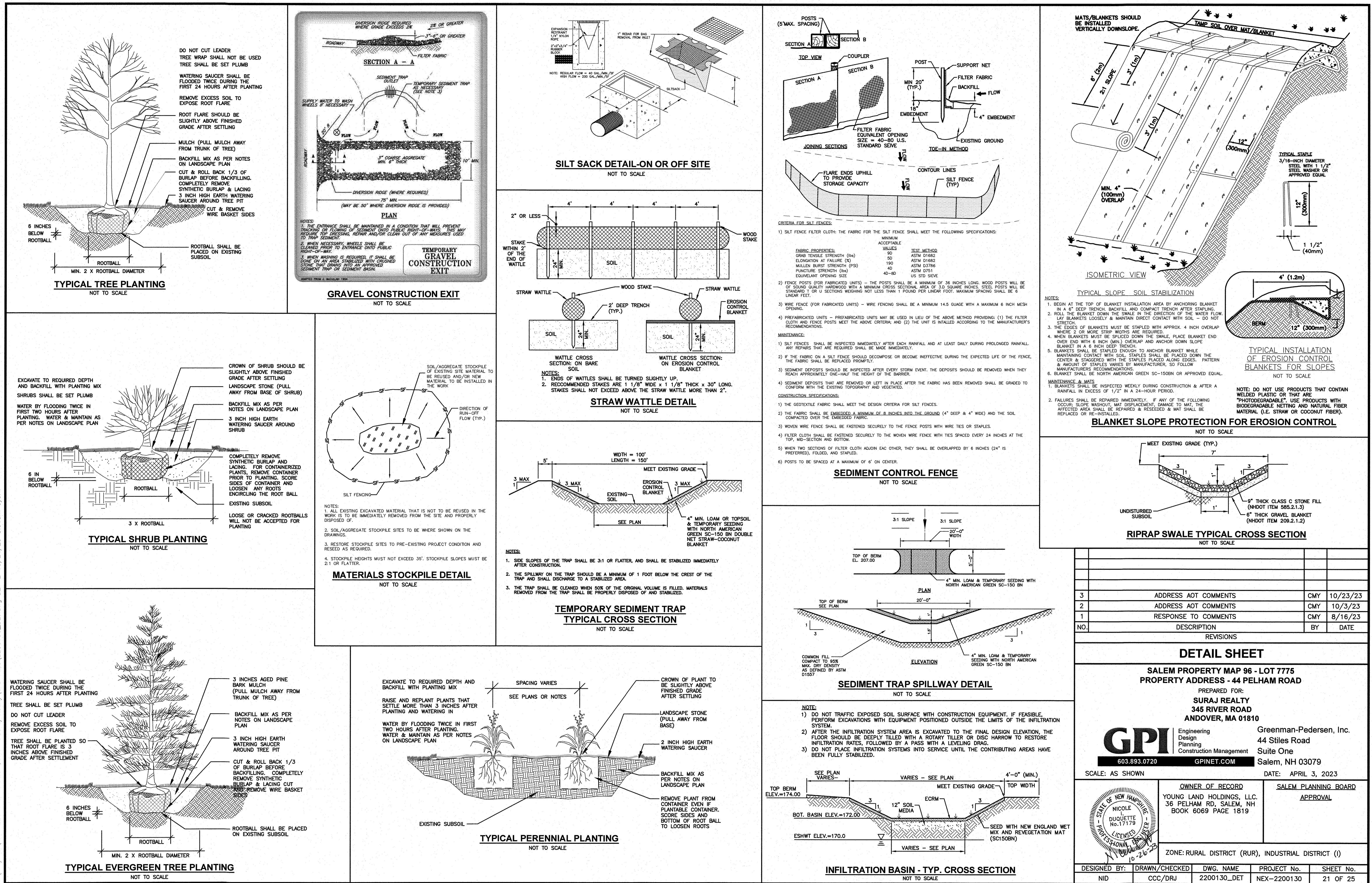


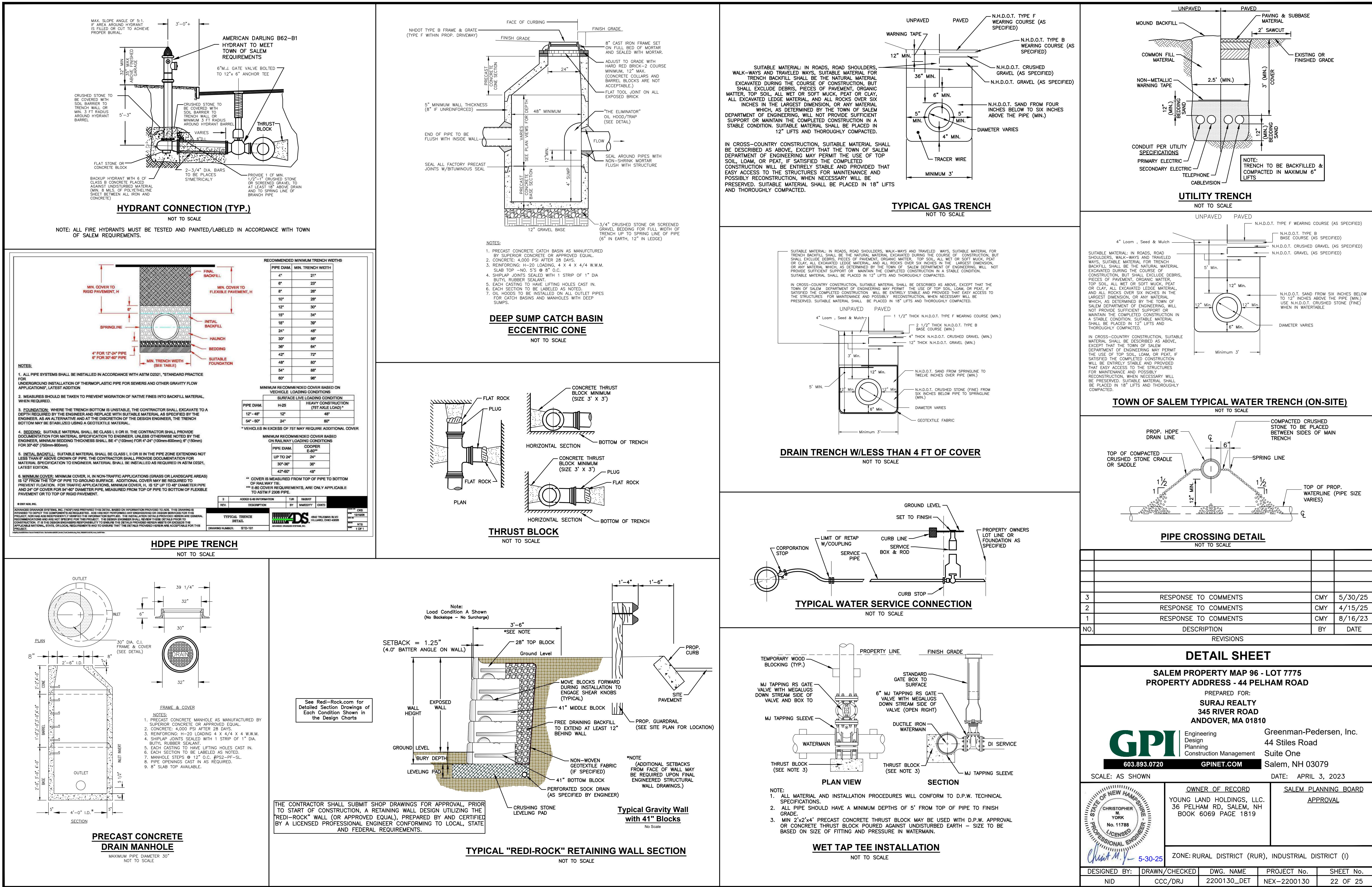


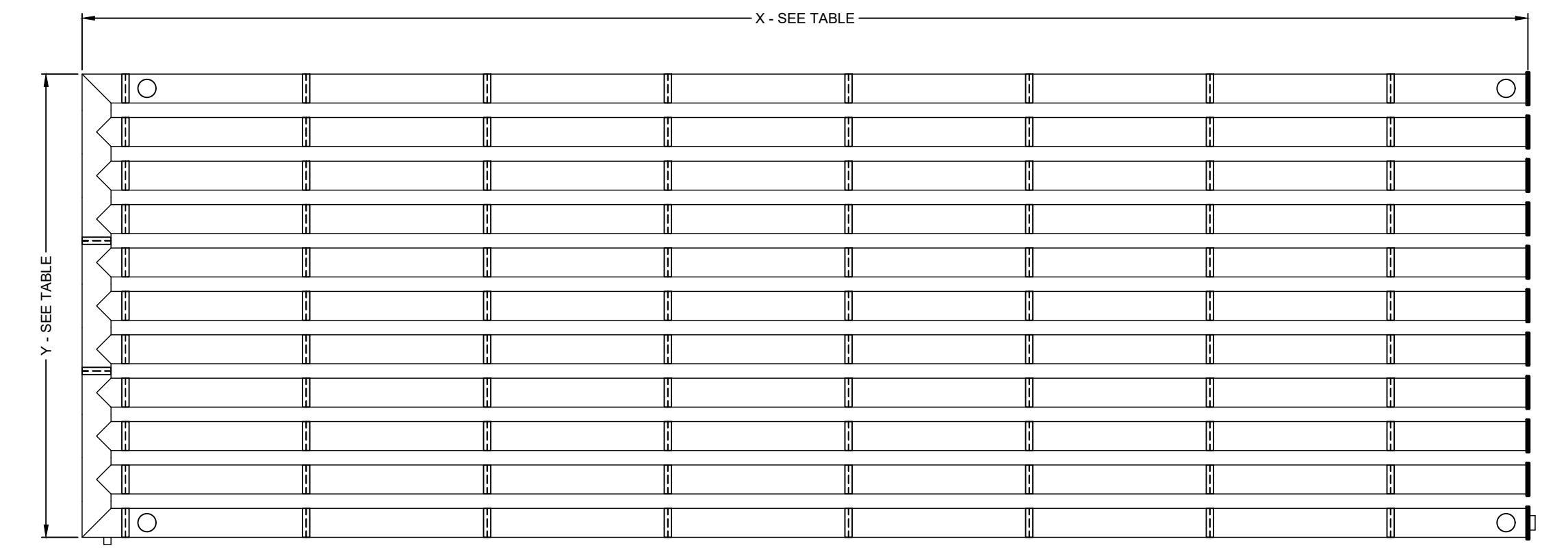










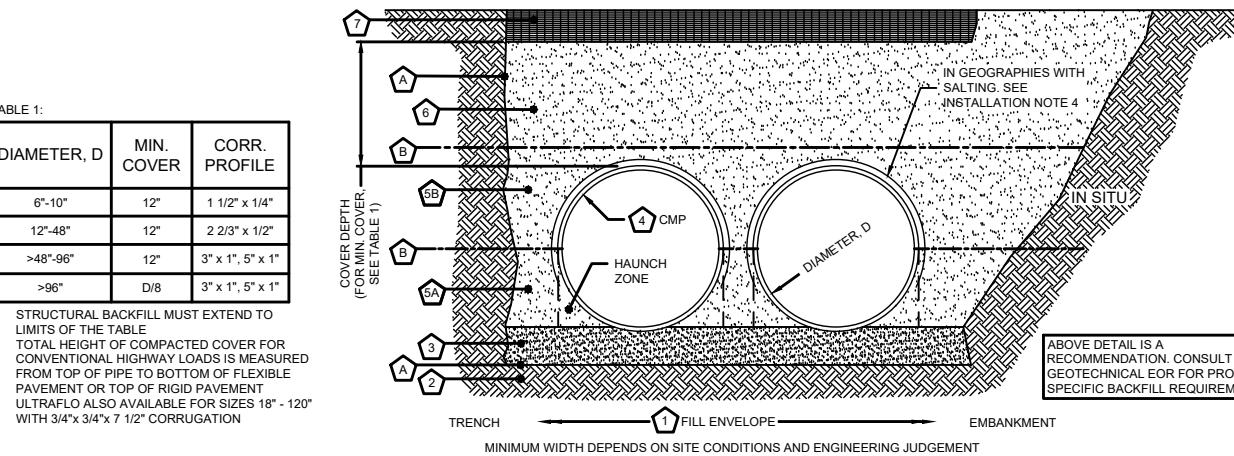


UNDERGROUND STORMWATER DETENTION SYSTEM TABLE						
UG DETENTION SYSTEM	LENGTH (X)	WIDTH (Y)	SPACING (Y1) (O.C. TYP.)	PIPE SIZE (INCHES) SOLID	INV. PIPE ELEV. (A)	INV. PIPE ELEV./BOTTOM OF PIPE (B)
UG-DET #1	249.00'	46.00'	72.0"	48" SOLID (WT)	199.35	196.35
UG-DET #2	200.00'	64.00'	72.0"	48" SOLID (WT)	157.00	155.35
UG-DET #3	100.00'	70.00'	72.0"	48" SOLID (WT)	150.00	148.35

WT = WATERTIGHT JOINTS

DETENTION SYSTEM NOTES:

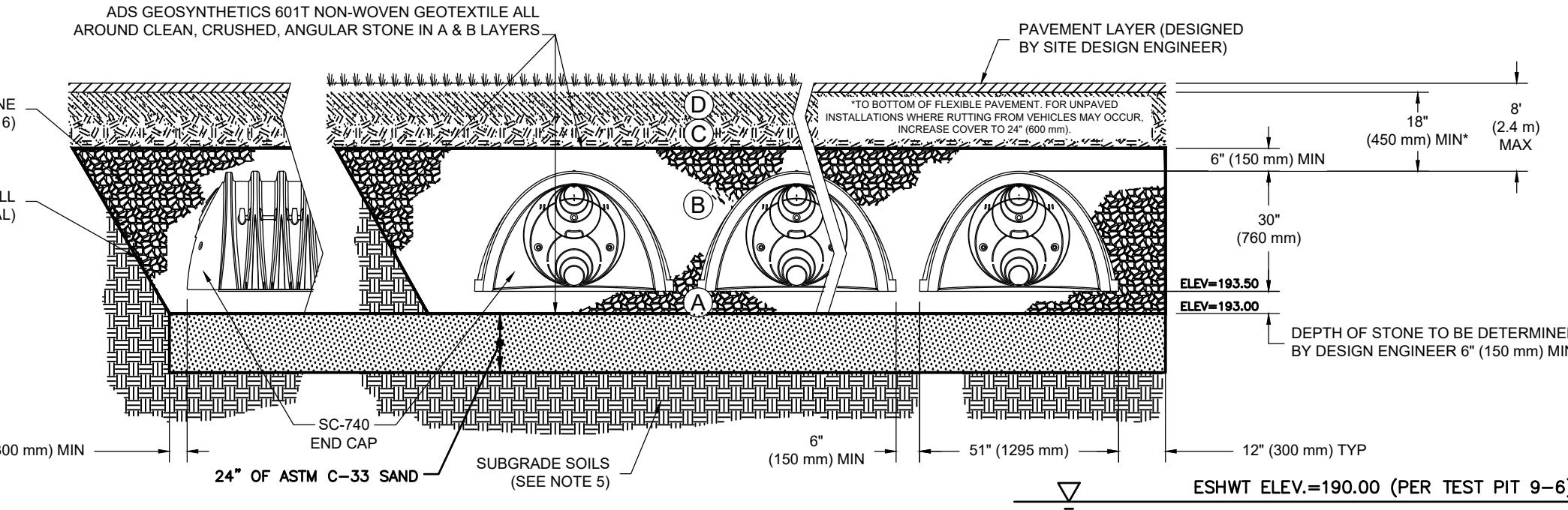
- 1) ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED METAL PIPE, SOLID WALL, SMOOTH INTERIOR AS MANUFACTURED BY CONTECH ENGINEERED SOLUTIONS LLC.
- 2) CONTRACTOR SHOULD CONFIRM SYSTEM PARTS AND OBTAIN SHOP DRAWINGS FROM MANUFACTURER. SUBSTITUTIONS AND SHOP DRAWINGS SHOULD BE APPROVED BY THE ENGINEER.
- 3) PARTS SPECIFICATIONS SHOWN ARE AS PROVIDED BY CONTECH ENGINEERED SOLUTIONS LLC. ANY CHANGES TO THESE SPECIFICATIONS SHOULD BE APPROVED BY DESIGN ENGINEER FOR PERFORMANCE.
- 4) SYSTEM TO BE LAID LEVEL.



CMP DETENTION AND CMP DRAINAGE STANDARD BACKFILL SPECIFICATIONS		
MATERIAL LOCATION	MATERIAL SPECIFICATION	DESCRIPTION
FILL ENVELOPE WIDTH	PER ENGINEER OF RECORD	MINIMUM TRENCH WIDTH MUST ALLOW ROOM FOR PROPER COMPACTION OF THE SUGGESTED MINIMUM TRENCH WIDTH OR EOR RECOMMENDATION. MINIMUM ENVELOPE WIDTH (IN FEET) FOR INITIAL FILL ENVELOPE: PIPE = 24" D + 4" 6" - 12" 12" - 18" 22" - 1" 18" - 24" 30" - 1" 24" - 30" 36" - 1" 30" - 36" 42" - 1" 36" - 42" 48" - 1" 42" - 48" 54" - 1" 48" - 54" 60" - 1" 54" - 60" 66" - 1" 54" - 66" 72" - 1" 60" - 72" 78" - 1" 66" - 78" 84" - 1" 72" - 84" 90" - 1" 78" - 90" 96" - 1" 84" - 96" 102" - 1" 90" - 102" 108" - 1" 96" - 108" 114" - 1" 102" - 114" 120" - 1" 114" - 120" 126" - 1" 120" - 126" 132" - 1" 126" - 132" 138" - 1" 132" - 138" 144" - 1" 138" - 144" 150" - 1" 144" - 150" 156" - 1" 150" - 156" 162" - 1" 156" - 162" 168" - 1" 162" - 168" 174" - 1" 168" - 174" 180" - 1" 174" - 180" 186" - 1" 180" - 186" 192" - 1" 186" - 192" 198" - 1" 192" - 198" 204" - 1" 198" - 204" 210" - 1" 204" - 210" 216" - 1" 210" - 216" 222" - 1" 216" - 222" 228" - 1" 222" - 228" 234" - 1" 228" - 234" 240" - 1" 234" - 240" 246" - 1" 240" - 246" 252" - 1" 246" - 252" 258" - 1" 252" - 258" 264" - 1" 258" - 264" 270" - 1" 264" - 270" 276" - 1" 270" - 276" 282" - 1" 276" - 282" 288" - 1" 282" - 288" 294" - 1" 288" - 294" 300" - 1" 294" - 300" 306" - 1" 300" - 306" 312" - 1" 306" - 312" 318" - 1" 312" - 318" 324" - 1" 318" - 324" 330" - 1" 324" - 330" 336" - 1" 330" - 336" 342" - 1" 336" - 342" 348" - 1" 342" - 348" 354" - 1" 348" - 354" 360" - 1" 354" - 360" 366" - 1" 360" - 366" 372" - 1" 366" - 372" 378" - 1" 372" - 378" 384" - 1" 378" - 384" 390" - 1" 384" - 390" 396" - 1" 390" - 396" 402" - 1" 396" - 402" 408" - 1" 402" - 408" 414" - 1" 408" - 414" 420" - 1" 414" - 420" 426" - 1" 420" - 426" 432" - 1" 426" - 432" 438" - 1" 432" - 438" 444" - 1" 438" - 444" 450" - 1" 444" - 450" 456" - 1" 450" - 456" 462" - 1" 456" - 462" 468" - 1" 462" - 468" 474" - 1" 468" - 474" 480" - 1" 474" - 480" 486" - 1" 480" - 486" 492" - 1" 486" - 492" 498" - 1" 492" - 498" 504" - 1" 498" - 504" 510" - 1" 504" - 510" 516" - 1" 510" - 516" 522" - 1" 516" - 522" 528" - 1" 522" - 528" 534" - 1" 528" - 534" 540" - 1" 534" - 540" 546" - 1" 540" - 546" 552" - 1" 546" - 552" 558" - 1" 552" - 558" 564" - 1" 558" - 564" 570" - 1" 564" - 570" 576" - 1" 570" - 576" 582" - 1" 576" - 582" 588" - 1" 582" - 588" 594" - 1" 588" - 594" 600" - 1" 594" - 600" 606" - 1" 600" - 606" 612" - 1" 606" - 612" 618" - 1" 612" - 618" 624" - 1" 618" - 624" 630" - 1" 624" - 630" 636" - 1" 630" - 636" 642" - 1" 636" - 642" 648" - 1" 642" - 648" 654" - 1" 648" - 654" 660" - 1" 654" - 660" 666" - 1" 660" - 666" 672" - 1" 666" - 672" 678" - 1" 672" - 678" 684" - 1" 678" - 684" 690" - 1" 684" - 690" 696" - 1" 690" - 696" 702" - 1" 696" - 702" 708" - 1" 702" - 708" 714" - 1" 708" - 714" 720" - 1" 714" - 720" 726" - 1" 720" - 726" 732" - 1" 726" - 732" 738" - 1" 732" - 738" 744" - 1" 738" - 744" 750" - 1" 744" - 750" 756" - 1" 750" - 756" 762" - 1" 756" - 762" 768" - 1" 762" - 768" 774" - 1" 768" - 774" 780" - 1" 774" - 780" 786" - 1" 780" - 786" 792" - 1" 786" - 792" 798" - 1" 792" - 798" 804" - 1" 798" - 804" 810" - 1" 804" - 810" 816" - 1" 810" - 816" 822" - 1" 816" - 822" 828" - 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TEST PIT DATA

Test Pit No.	3-1	SCS Soil:	Canton Fine Sandy	Test Pit No.	9-5	SCS Soil:	Canton Fine Sandy
ESHW: Refusal:	>24" >84"	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Loamy Sand 10yr 3/2 FR @24" Distinct	ESHW: Refusal:	>120" >120"	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Loam None None
Depth: 0.12" 18-30" 30-84"	A B C	Loamy Sand 10yr 5/6 FR 2.5y 7/4 FR	5-108" 10yr 5/6 FR 108-120"	Depth: 5-108" 10yr 5/6 FR	10yr 5/6 FR	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Loam None None
Test Pit No.	3-2	SCS Soil:	Canton Fine Sandy	Test Pit No.	9-6	SCS Soil:	Canton Fine Sandy
ESHW: Refusal:	>24" >84"	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Loamy Sand 10yr 3/2 FR 2.5y 7/4 FR	ESHW: Refusal:	>74" >74"	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Loam None None
Depth: 0.72" 72-90"	C	Sand	FR	Depth: 0-74"	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Mixed Soils 0-108" 0.108"	FR
Test Pit No.	3-3	SCS Soil:	Canton Fine Sandy	Test Pit No.	9-7	SCS Soil:	Canton Fine Sandy
ESHW: Refusal:	>24" >78"	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Loamy Sand 10yr 3/2 FR 2.5y 7/4 FR	ESHW: Refusal:	>108" >32"	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Loam None None
Depth: 0.12" 12-24" 24-78"	A B C	Loamy Sand 10yr 5/6 FR 2.5y 7/4 FR	Depth: 0-108" 0.108"	Depth: 0-108" 0.108"	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Mixed Soils 0-108" 0.108"	FR
Test Pit No.	9-4	SCS Soil:	Canton Fine Sandy	Test Pit No.	9-8	SCS Soil:	Canton Fine Sandy
ESHW: Refusal:	>24" >72"	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Loamy Sand 10yr 3/2 FR 2.5y 6/3 FR	ESHW: Refusal:	>48" >108"	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Loam None None
Depth: 0.30" 30-72"	C	Sand Mixed Soils	FR	Depth: 0-60"	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Mixed Soils 0-108" 0.108"	FR
Test Pit No.	9-2	SCS Soil:	Canton Fine Sandy	Test Pit No.	9-9	SCS Soil:	Canton Fine Sandy
ESHW: Refusal:	>24" >50"	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Loamy Sand 10yr 3/2 FR 2.5y 6/3 FR	ESHW: Refusal:	>24" >60"	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Loam None None
Depth: 0.50" 50-72"	C	Sand Mixed Soils	FR	Depth: 0-60"	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Mixed Soils 0-108" 0.108"	FR
Test Pit No.	9-3	SCS Soil:	Canton Fine Sandy	Test Pit No.	9-10	SCS Soil:	Canton Fine Sandy
ESHW: Refusal:	>24" >60"	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Loamy Sand 10yr 2/2 FR 2.5y 6/3 FR	ESHW: Refusal:	>102" >102"	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Loam None None
Depth: 0.4" 4-30" 30-60"	A C	Sandy Loam Sandy Loam Fine Loamy Sand	FR	Depth: 0-72"	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Mixed Soils 0-108" 0.108"	FR
Test Pit No.	9-4	SCS Soil:	Canton Fine Sandy	Test Pit No.	9-11	SCS Soil:	Canton Fine Sandy
ESHW: Refusal:	>24" >74"	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Loamy Sand 10yr 6/4 FR 2.5y 6/3 FR	ESHW: Refusal:	>102" >102"	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Loam None None
Depth: 0.19" 19-74"	C	Sand Mixed Soils	FR	Depth: 0-72"	Horizon: Soil Texture: Color: Consistency: Roots: Mottles: Quantity/Contrast:	Loam Mixed Soils 0-108" 0.108"	FR

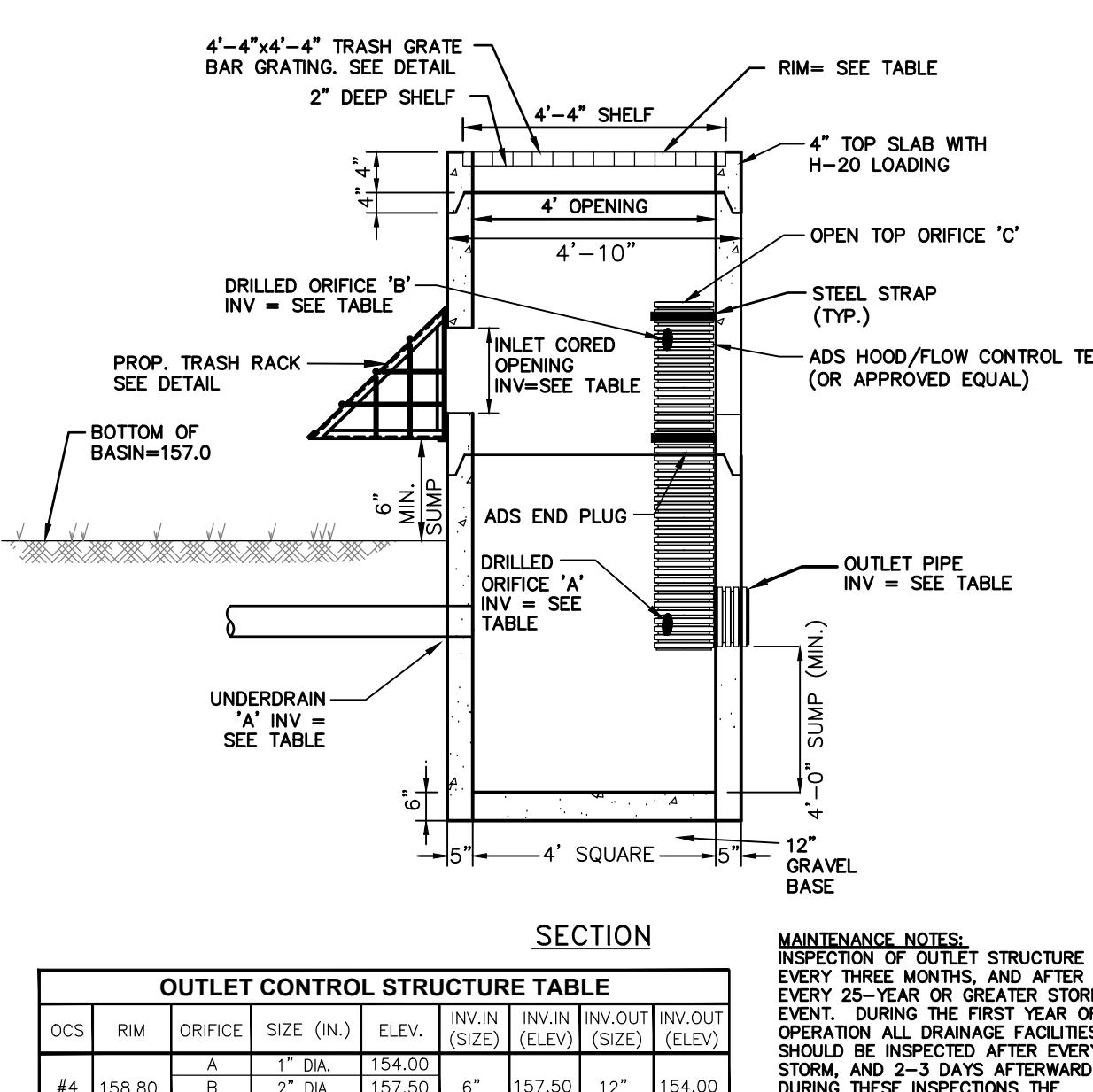
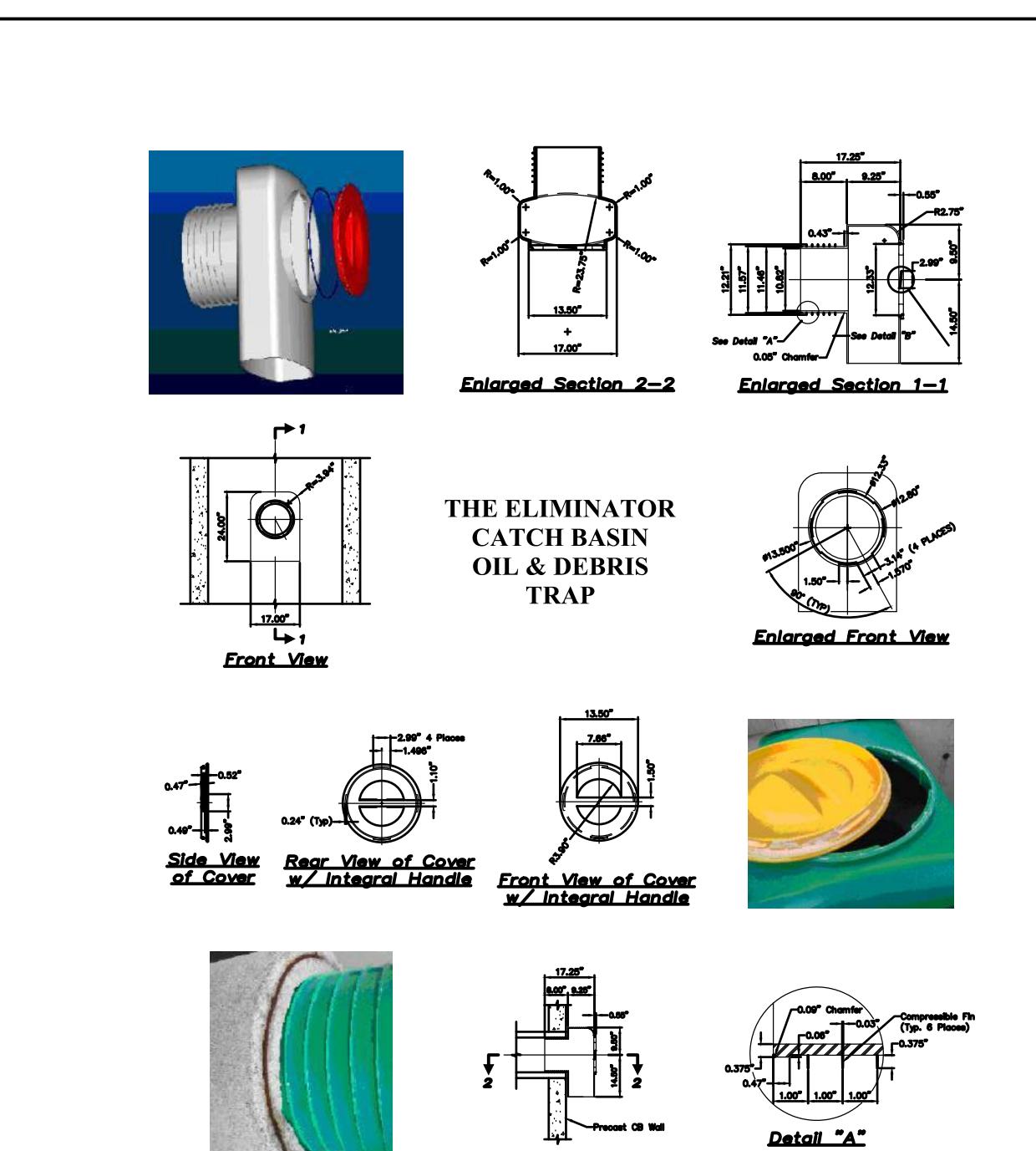


NOTES:

1. SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. THE SITE DESIGN ENGINEER SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2077 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. THE SITE DESIGN ENGINEER REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMWATER COLLECTION CHAMBERS FOR THIS PROJECT.
4. THE SITE DESIGN ENGINEER REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMWATER COLLECTION CHAMBERS FOR THIS PROJECT.
5. WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
6. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
7. THE PERIMETER STONE AND SUBGRADE SOILS CAN BE PLACED IN LAYER D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER C' OR D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
8. SYSTEM TO BE INSTALLED LEVEL.

UNDERGROUND INFILTRATION SYSTEM STORMTECH SC-740 CHAMBER TYPICAL CROSS SECTION DETAIL

NOT TO SCALE



NOTES:

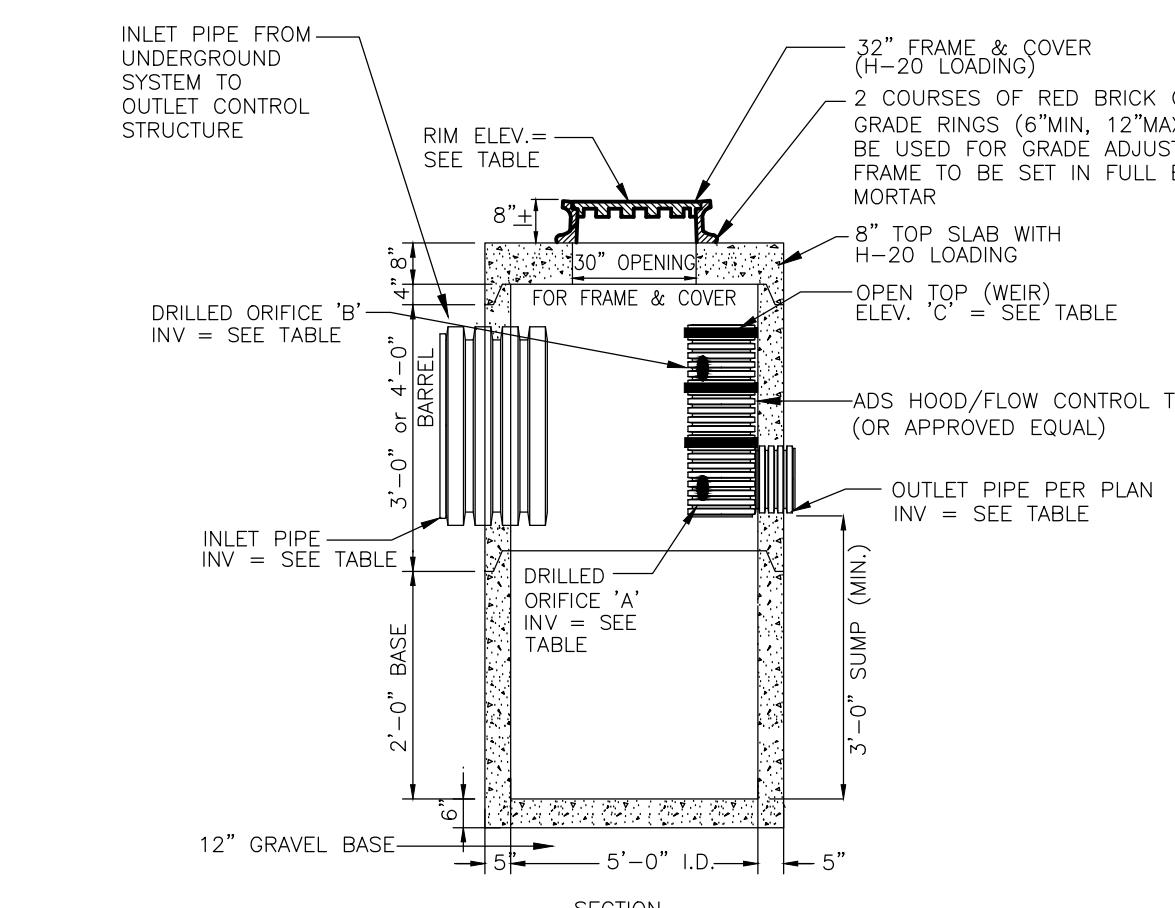
1. PRECAST CONCRETE MAN HOLE AS MANUFACTURED BY SUPERIOR CONCRETE OR APPROVED EQUAL.
2. CONCRETE: 4,000 PSI 28 DAYS.
3. REINFORCING: H-20 (ADAS 4 X 4" X 6" W.W.M. SLAB TOP - NO. 5's @ 8" O.C.).
4. SUMP: 4" DIA. WITH 1" DIA. BUTYL RUBBER SEALANT.
5. EACH CASTING TO HAVE LIFTING HOLES CAST IN.
6. LENGTH AND DIAMETER OF TEE VARIES WITH PIPE.

PRECAST CONCRETE OUTLET CONTROL STRUCTURE (OCS) FOR BIORETENTION SYSTEMS

NOT TO SCALE

BIOPERMATION AREA DETAIL

NOT TO SCALE

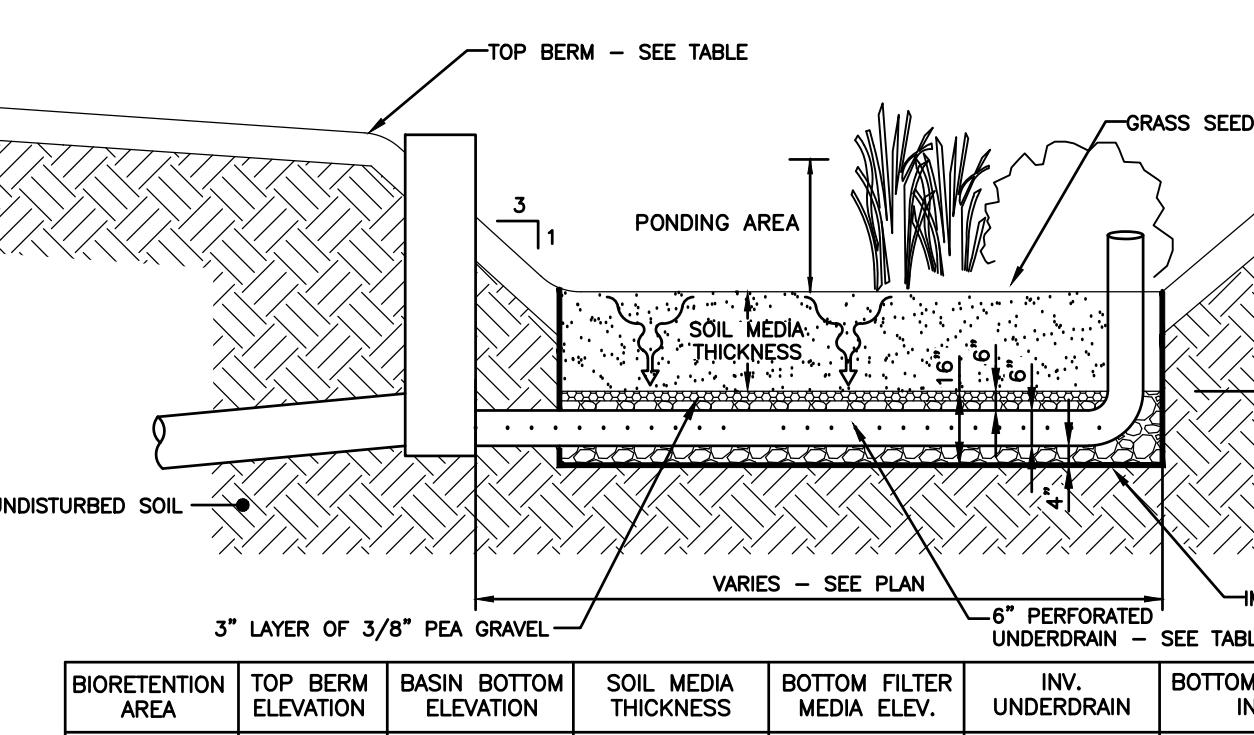


NOTES:

1. PRECAST CONCRETE MAN HOLE AS MANUFACTURED BY SUPERIOR CONCRETE OR APPROVED EQUAL.
2. CONCRETE: 4,000 PSI 28 DAYS.
3. REINFORCING: H-20 (ADAS 4 X 4" X 6" W.W.M. SLAB TOP - NO. 5's @ 8" O.C.).
4. SUMP: 4" DIA. WITH 1" DIA. BUTYL RUBBER SEALANT.
5. EACH CASTING TO HAVE LIFTING HOLES CAST IN.
6. LENGTH AND DIAMETER OF TEE VARIES WITH PIPE.

PRECAST CONCRETE OUTLET CONTROL STRUCTURE (OCS) FOR UNDERGROUND SYSTEMS

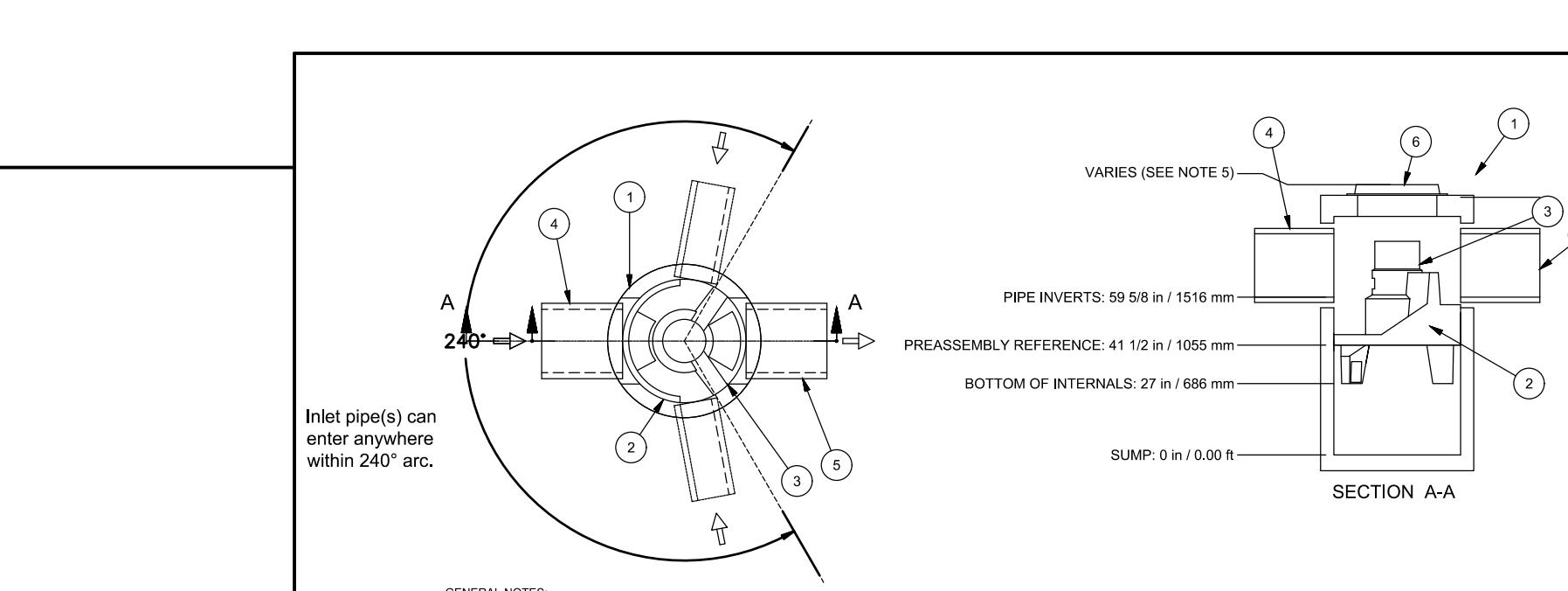
NOT TO SCALE



NOTES:

1. DO NOT PLACE THE BIOPERMATION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY PLANTED.
2. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE BIOPERMATION AREA DURING ANY STAGE OF CONSTRUCTION.
3. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE BIOPERMATION COMPONENTS OF THE SYSTEM.

Table 4-4. Biopermation Filter Media			
Component Material	Percent of Mixture by Volume	Gradation of Material	Percent by Weight Passing Standard Sieve
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
Loamy coarse sand	70 to 80	10	85 to 100
	20	20	70 to 100
	60	15 to 40	
	200	8 to 15	



ITEM	QTY	SIZE (in)	SIZE (mm)	DESCRIPTION
1	1	48	1200	I.D. PRECAST MANHOLE
2	1			INTERNAL COMPONENTS (PRE-INSTALLED)
3	1	30	750	FRAME AND GRATE
4	1	24 (MAX)	600 (MAX)	OUTLET PIPE (BY OTHERS)
5	1	24 (MAX)	600 (MAX)	INLET PIPE (BY OTHERS)

"FIRST DEFENSE" FD-4HC UNIT DETAIL

(OR APPROVED EQUAL)
NOT TO SCALE

1			
2			
3			
4			
5			
6			

NOTE: CONTRACTOR SHALL CONFIRM SYSTEM PARTS AND OBTAIN SHOP DRAWINGS FROM MANUFACTURER PRIOR TO CONSTRUCTION.

GENERAL NOTES:

1. GENERAL ARRANGEMENT DRAWINGS ONLY. CONTACT HYDRO INTERNATIONAL FOR SITE SPECIFIC FABRICATION DRAWINGS.

2. ASSEMBLY DRAWINGS ONLY. OUTLET PIPES MAY BE NO MORE THAN 24".

3. MULTIPLE INLET PIPES POSSIBLE (REFER TO PROJECT PLANS).

4. INLET PIPES CAN VARY TO ALIGN WITH DRAINAGE NETWORK (REFER TO PROJECT PLANS).

5. PEAK FLOW RATE AND MINIMUM HEIGHT LIMITED BY AVAILABLE COVER AND PIPE.

6. LARGER SEDIMENT STORAGE CAPACITY MAY BE PROVIDED WITH A DEEPER SUMP.

PRODUCT SPECIFICATIONS:

A. THE TREATMENT SYSTEM SHALL FIT WITHIN THE LIMITS OF EXCAVATION (AREA AND DEPTH).

B. ASSEMBLY DRAWINGS ONLY. OUTLET PIPES MAY NOT EXCEED THE DIMENSIONS FOR THE

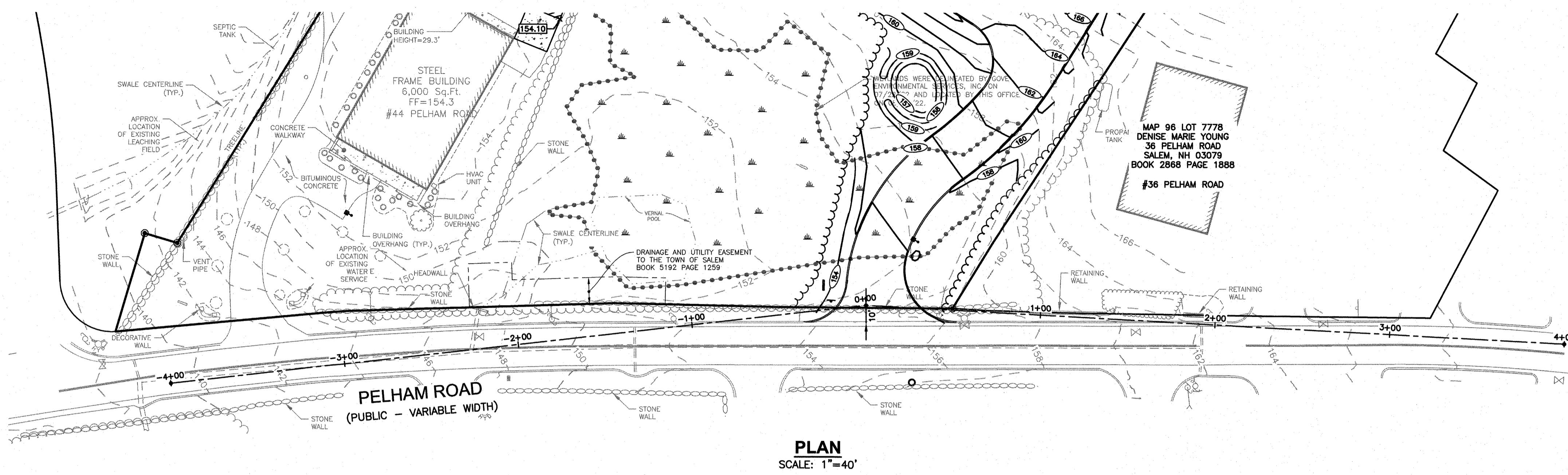
C. DESIGN FLOW RATE AND MINIMUM HEIGHT MAY NOT BE GREATER THAN OR EQUAL TO 90% OF TSS BASED ON TARGET PARTICLE SIZE (TPS) OF 100 MM AND/OR 80% OF TSS BASED ON TPS OF 150 MM.

D. THE TREATMENT SYSTEM SHALL CONVEY THE PEAK ON-LINE FLOW RATES OF UP TO 18 L/S.

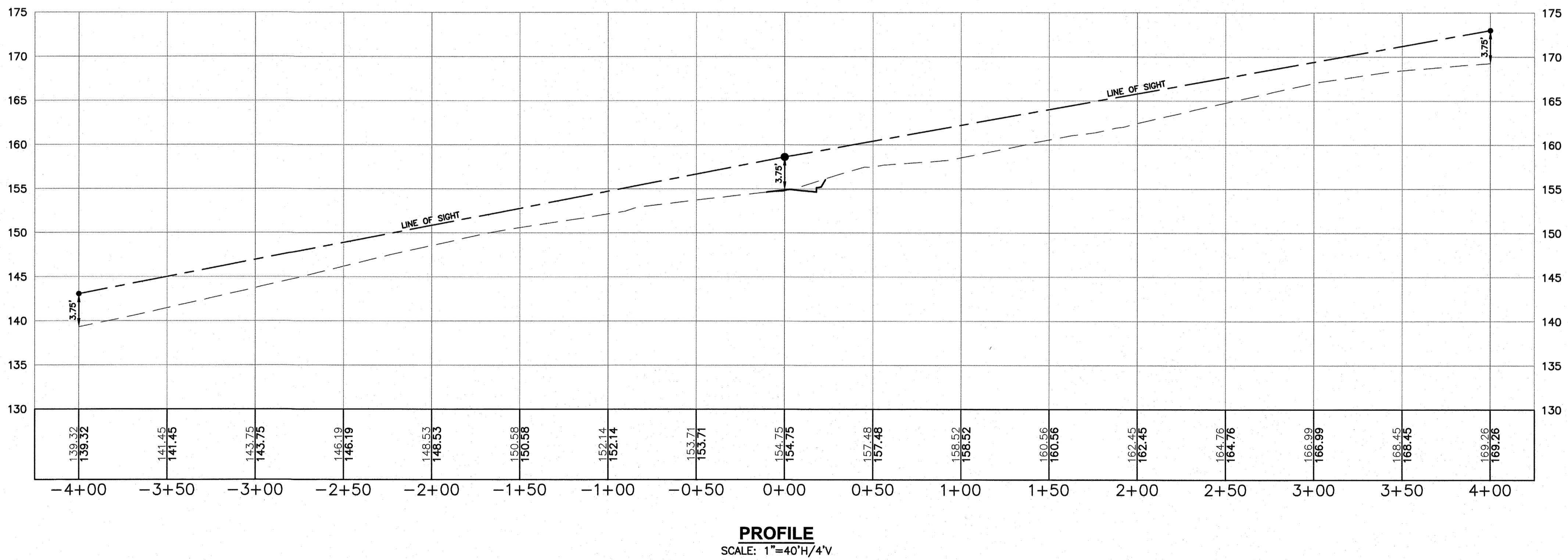
E. LABORATORY SCOUR TESTING SHALL DEMONSTRATE EFFLUENT CONTROL OF LESS THAN OR EQUAL TO 100%.

F. THE TREATMENT SYSTEM SHALL BE CAPABLE OF CAPTURING AND RETAINING FINE SILT AND SEDIMENT.

G. THE TREATMENT SYSTEM SHALL BE DESIGNED TO BE EASILY MAINTAINABLE.



PLAN
SCALE: 1"=40'



PROFILE
SCALE: 1"=40'H/4'V

1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE
	REVISIONS		

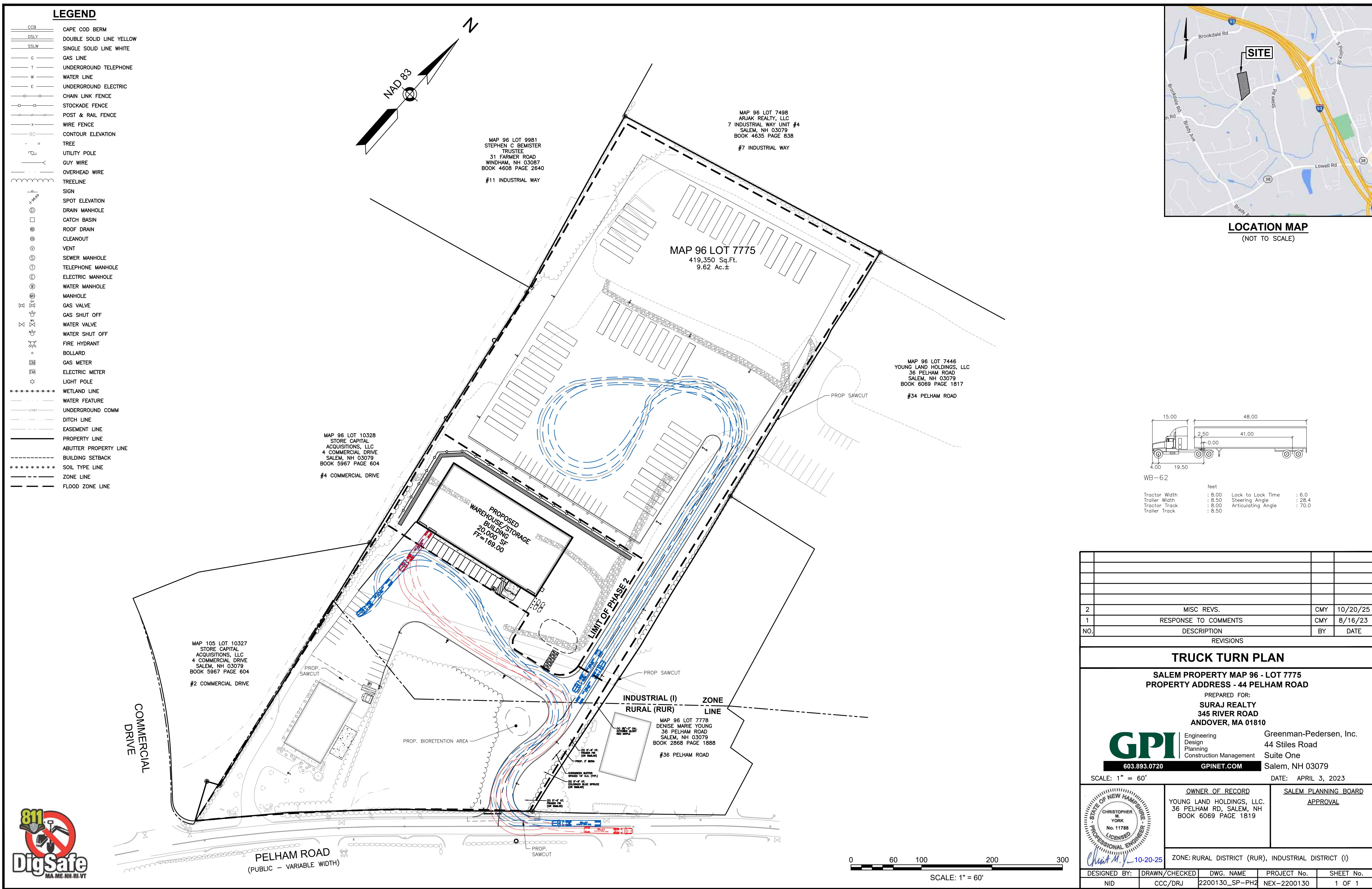
SIGHT DISTANCE PLAN & PROFILE

SALEM PROPERTY MAP 96 - LOT 7778
PROPERTY ADDRESS - 44 PELHAM ROAD

PREPARED FOR:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810

Greenman-Pedersen, Inc.
Engineering
Design
Planning
Construction Management
603.893.0720
GPINET.COM
Salem, NH 03079

	OWNER OF RECORD	SALEM PLANNING BOARD		
	YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819	APPROVAL		
ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)				
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	HEET No.
NID	CCC/DRJ	2200130_SP-PH1	NEX-2200130	25 OF 25





POLICY AND PROCEDURE MEMO

SUBJECT: BAITING ON TOWN-OWNED LAND

No. _____
Date: April 21, 2025

Purpose:

To establish a formal process for permitting baiting for wildlife on town-owned land in accordance with New Hampshire Fish and Game regulations and to ensure the proper use and cleanup of municipal property.

Policy:

The Town of Salem may allow baiting for bear and deer on town-owned property subject to the following requirements:

1. Eligibility & Timing

- a. All baiting activities must comply with New Hampshire Fish and Game regulations.
- b. Bear baiting permits must be postmarked by the first Monday in August.
- c. Deer baiting permits must be postmarked by the first Monday in October.

2. Application Process

- a. Applicants must submit the following to the Town Manager:
 - o Completed NH Fish and Game Permit Application (Form F&G 180)
 - o Letter of request identifying proposed location
 - o Coordinates and a detailed topographic map of the baiting site

b. The Town Manager may deny any application if it is determined that baiting is not appropriate for the requested location.

3. Cleanup Deposit

- a. A deposit check is required with all applications in an amount equal to the cost of two municipal services employees at a three-hour minimum.
- b. The applicant must submit photographs at the end of the season demonstrating the site has been properly cleaned.
- c. Upon staff verification, the check will be returned. If the site is not cleaned, the deposit will be used to cover municipal cleanup efforts.

4. Authorization

The Town Manager is authorized to review, approve, and revoke baiting permits on town-owned land on behalf of the Town.

5. Enforcement & Revocation

Any violation of this policy or NH Fish and Game regulations may result in immediate revocation of permission and forfeiture of the deposit.

Effective Date: April 21, 2025

Adopted By:

Town of Salem, Town Council

Date: April 21, 2025



NH FISH AND GAME DEPARTMENT
11 HAZEN DRIVE — CONCORD NH 03301

F&G 180
Rev. 06/2023
LAW16006.indd

PERMIT TO BAIT WILDLIFE

PLEASE PRINT LEGIBLY

Is this bait site located on state-owned or state-managed land? (Fis 307.01)

Check one: YES, it IS on state-owned or state-managed land NO, it IS NOT on state-owned or state-managed land

If YES, was site awarded in CLHF Lottery? YES NO If YES, what is the CLHF Unit # _____

If permittee is a licensed NH Hunting Guide, indicate whether this bait site is for private or commercial use:

Check one: Private Use Commercial Use

I hereby grant to _____ Date of Birth: _____ Telephone: _____

(ADDRESS: STREET) (TOWN) (STATE) (ZIP)

Permission to bait for _____ on land owned or occupied
(SPECIES ALLOWED MUST BE SPECIFICALLY INDICATED)

by me, hereinafter described, during the period designated by the laws of the State of New Hampshire. Said land located as follows:

Wildlife Management Unit: _____ Town(s): _____

Road(s) _____

Exact Location _____
(MUST INCLUDE SPECIFIC DIRECTIONS TO ALLOW A PERSON TO LOCATE EACH BAIT SITE)

Landowner's Stipulations _____

Landowner's Name _____ Telephone Number: _____

(ADDRESS: STREET) (TOWN) (STATE) (ZIP)

This permit expires December 31st following the date of issuance except as provided by Fis 307.01(e)(1) and Fis 307.05(e)(1).

(DATE OF ISSUANCE)

(SIGNATURE OF LANDOWNER)

This permit is not valid unless ALL information items have been provided and the proper distribution, including USGS topographical map or copy thereof, has been completed.

NOTE: SEE BELOW FOR IMPORTANT INFORMATION AND INSTRUCTIONS!

Baiting: The act of placing meat, carrion, honey, or any other food or ingestible substance capable of luring or attracting coyote, fur-bearing animals, or game animals with the exception of gray squirrel (207:1 II-a)

No person may bait wildlife on the property of another unless he has secured from the owner or occupant of the property upon which the bait is to be deposited a permit (Permit To Bait Wildlife) in writing, signed by the owner or occupant, and until he has filed a copy of the permit with the NH Fish and Game Department as specified below, together with a USGS topographical map or copy thereof showing the specific location of the bait site (207:3-d).

On state-owned or state-managed lands (National Forest) permit applications will be accepted at any time, except applications for baiting bear and deer shall not be considered unless received by the Dept. or postmarked between the **first Monday in June and the first Monday in August**. Note: Special rules apply for the Connecticut Lakes Headwaters Forest baiting permit lottery (see Fis 307.05(k)).

If baiting on state-owned or state-managed land: One copy with a topographical map attached shall be submitted by hand or mailed to the Law Enforcement Division, NH Fish and Game Department, 11 Hazen Drive, Concord, NH 03301. Once it has been approved, our office will send you the signed permit.

On lands other than state-owned or state-managed, permit applications shall not be considered unless received by the Dept. or are postmarked on or before the **first Monday in August if baiting for bear**, or received by the Fish and Game Department or postmarked on or before the **first Monday in October for all other species**, except applicants may apply beginning December 1 for permits to bait coyote for the following year.

Prior to the placement of any bait, copies of this permit and associated topographical maps shall be distributed as follows:

- Original to be retained by permittee.
- One copy to be left with the landowner.

If not baiting on state-owned or state-managed land: Two copies with a topographical map attached shall be submitted by hand to or mailed to the Wildlife Division, NH Fish and Game Department, 11 Hazen Drive, Concord, NH 03301. Other than for deer or bear, the permittee shall not place any bait until 3 days after the date of postmark during the open season.

General Rules

A permit to bait wildlife shall be valid for a single permittee only and shall have only that permittee's name entered on the permit. No person other than the permittee is authorized to place bait. At each bait site, an identification sign at least 3 x 6 inches in size shall bear the name and address of the person placing said bait, and shall bear the names of not more than 2 other persons permitted to hunt over the bait (excluding guides).

No identification sign at a bait site shall be altered by substitution or by changing of the names listed thereon during the open season for taking bear.

A person with a current hunting license may be allowed a maximum of 2 active bait sites, depending on the species and WMU. A bait site shall be considered active if the baiting season for the species allowed on the permit to bait wildlife is open or if no specific expiration date is noted on the permit form.

No person shall engage in the act of baiting for fur-bearing animals, including coyote or game animals, with the exception of gray squirrel from April 15 to August 31.

No person shall place bait less than 300 feet from a dwelling or public roadway, path, or trail.

From the close of the season to take bear with the aid and use of bait thru December 15, baiting for coyote shall be restricted to the use of meat, animal parts, carrion, or fish.

No person shall use the aid of bait to take wild turkeys.

This permit does not convey any rights other than permission to bait the wildlife species indicated according to the laws of the State of New Hampshire, subject to whatever stipulations the landowner may prescribe.

This summary of the baiting regulations is intended only as a guide. The complete Fish and Game Laws may be viewed at www.wildlife.state.nh.us

2026 Calendar Land Use Boards

January							February							March								
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday		
				1 NEW YEAR'S DAY	2	3	1	2	3	4	5	6	7	1	2	3	4	5	6	7		
4	5	6 ★	7	8	9	10	8	9	10	11	12	13	14	8	9	10 TOWN ELECTION	11	12	13	14		
11	12	13	14	15	16	17	15	16 PRESIDENT'S DAY	17	18	19	20	21	15	16	17	18	19	20	21		
18	19 CIVIL RIGHTS DAY	20 ★	21 ★	22	23	24	22	23	24	25	26	27	28	22	23	24 ★	25	26	27	28		
25	26	27	28	29	30	31								29	30	31						
April							May							June								
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday		
			1	2	3	4								1	2		1	2	3	4	5	6
5	6	7 ★	8	9	10	11	3	4	5 ★	6	7	8	9	7	8	9	10	11	12	13		
12	13	14	15	16	17	18	10	11	12	13	14	15	16	14	15	16	17	18	19 JUNETEENTH	20		
19	20	21 ★	22 ★	23	24	25	17	18	19 ★	20	21	22	23	21	22	23 ★	24	25	26	27		
26	27	28	29	30			24	25 MEMORIAL DAY	26	27	28	29	30	28	29	30						
July							August							September								
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday		
			1	2	3 INDEPENDENCE DAY OBSERVED	4 INDEPENDENCE DAY								1			1	2	3	4	5	
5	6	7 ★	8	9	10	11	2	3	4 ★	5	6	7	8	6	7	8	9	10	11	12		
12	13	14	15	16	17	18	9	10	11	12	13	14	15	13	14	15	16	17	18	19		
19	20	21 ★	22 ★	23	24	25	16	17	18 ★	19 ★	20	21	22	20	21	22 ★	23 ★	24	25	26		
26	27	28	29	30	31		23	24	25	26	27	28	29	27	28	29	30					
October							November							December								
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday		
				1	2	3	1	2	3 GENERAL ELECTION	4	5	6	7			1	2	3	4	5		
4	5	6 ★	7	8	9	10	8	9	10	11 VETERANS DAY	12	13	14	6	7	8	9	10	11	12		
11	12 COLUMBUS DAY	13	14	15	16	17	15	16 ★	17 ★	18 ★	19	20	21	13	14	15	16	17	18 ★	19		
18	19 ★	20 ★	21 ★	22	23	24	22	23	24	25	26 THANKSGIVING DAY	27 DAY AFTER THANKSGIVING	28	20	21	22 ★	23 ★	24 CHRISTMAS EVE (1/2 DAY)	25 CHRISTMAS DAY	26		
25	26	27	28	29	30	31	29	30						27	28	29	30	31 NEW YEAR'S EVE (1/2 DAY)				

Conservation

Filing Deadline

603-890-2086

Planning

Filing Deadline

603-890-2083

Zoning

Filing Deadline

603-890-2080

Calendar created by the
Town of Salem Planning Division—Meetings
subject to change due to conflicts in
scheduling, weather or other factors

*Revised 3/7/2025

Salem Town Forest (347 Acres)

Managed by the Salem Conservation Commission



Brubaker, Crayton

From: Glen Edwards <atmplanner@gmail.com>
Sent: Friday, December 19, 2025 8:18 AM
To: Brust, Georgia; Isabelle, Juliann; Brubaker, Crayton
Subject: Salem Town Forest Trail Maps

CAUTION: Security Reminder: External Email This email came from outside the Salem network. Only open links or attachments if you recognize the sender and were expecting the message. Even if a link seems safe, never enter your login information on any site you reached through an email. If you clicked anything or entered credentials by mistake, report it right away through normal support channels.

Hi All,

On September 17, I emailed the following regarding potential changes to trail designations in the Town Forest:

"Just a recap of the things that were mentioned as possibilities:

- * Eliminate Trail B by incorporating it into Trail C.
- * Possibly opening trail between Trails D and I. (Possibly name it Trail "B").
- * At least temporarily Close Trail J and a portion of Trail L."

With the new kiosks being installed soon hopefully, I'm sure we will want new Town Forest maps on display. I wasn't sure if any decisions were made about changes to the map and if so if a request has been made to John Vogl to prepare the maps.

Happy Holidays,
Glen

CONSERVATION FUND 2025

Month	Interest Income		Other Deposits		Payments		Balance		Total
	Sweep	Citizens	Sweep	Citizens	Sweep	Citizens	Sweep	Citizens	
December 2024							\$ 1,781,907.46	\$ 59,473.22	\$ 1,841,380.68
January 2025	\$ 6,885.13	\$ 5.40	\$ -	\$ 84,500.00	\$ -	\$ -	\$ 1,788,792.59	\$ 143,978.62	\$ 1,932,771.21
February 2025	\$ 6,470.65	\$ 2.56	\$ 120,000.00	\$ -	\$ -	\$ 120,000.00	\$ 1,915,263.24	\$ 23,981.18	\$ 1,939,244.42
March 2025	\$ 6,103.05	\$ 1.04	\$ -	\$ 550.00	\$ -	\$ -	\$ 1,921,366.29	\$ 24,532.22	\$ 1,945,898.51
April 2025	\$ 6,857.59	\$ 12.22	\$ -	\$ 43,000.00	\$ 43,000.00	\$ 400.00	\$ 1,885,223.88	\$ 67,144.44	\$ 1,952,368.32
May 2025	\$ 6,547.49	\$ 0.54	\$ -	\$ -	\$ -	\$ 12,310.00	\$ 1,891,771.37	\$ 54,834.98	\$ 1,946,606.35
June 2025	\$ 6,748.18	\$ 0.45	\$ -	\$ -	\$ -	\$ -	\$ 1,898,519.55	\$ 54,835.43	\$ 1,953,354.98
July 2025	\$ 6,553.02	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 1,905,072.57	\$ 54,835.90	\$ 1,959,908.47
August 2025	\$ 6,714.73	\$ 0.56	\$ -	\$ 29,500.00	\$ -	\$ 9,149.69	\$ 1,911,787.30	\$ 75,186.77	\$ 1,986,974.07
September 2025	\$ 6,738.40	\$ 0.59	\$ -	\$ -	\$ -	\$ 19,550.13	\$ 1,918,525.70	\$ 55,637.23	\$ 1,974,162.93
October 2025	\$ 6,488.05	\$ 0.43	\$ -	\$ -	\$ -	\$ 7,131.08	\$ 1,925,013.75	\$ 48,506.58	\$ 1,973,520.33
November 2025	\$ 6,492.30	\$ 0.39	\$ -	\$ -	\$ -	\$ 3,416.00	\$ 1,931,506.05	\$ 45,090.97	\$ 1,976,597.02
December 2025									\$ -
2025 Totals	\$ 72,598.59	\$ 24.65	\$ 120,000.00	\$ 157,550.00	\$ 43,000.00	\$ 171,956.90			\$ -
	\$ 72,623.24			\$ 277,550.00		\$ 214,956.90			\$ -

Month	Comments	Amount
January	from: LUCT Deposit - 63 Pelham Rd (M 105 / L 7773), 10 Whistle Hill (M 132 / L 12679), 8 Whistle Hill (M 132 L 12680) - \$27,500 each	\$ 82,500.00
January	from: Ed Hawkins Donation	\$ 2,000.00
February	Transfer of \$120k to Investment Account - Citizens to Sweep Inv Account	\$ (120,000.00)
February	Transfer of \$120k to Investment Account - Citizens to Sweep Inv Account	\$ 120,000.00
March	from: LCHIP Incentive Check	\$ 550.00
April	Transfer of \$43k from Investment Account - Sweep Inv to Citizens Account	\$ (43,000.00)
April	Transfer of \$43k from Investment Account - Sweep Inv to Citizens Account	\$ 43,000.00
April	to: Innovision Realty Group (State of NH) - TF Parking Lot Payment	\$ (400.00)
May	to: Rockingham Planning Commission for Payment 1 of 3 of Open Space Plan	\$ (6,333.00)
May	to: SELT for Town Forest Easement Amendment to Include Glugeth Parcel	\$ (5,977.00)
August	from: LUCT Deposit - 9 Whistle Hill (M 132 / L 12678)	\$ 27,500.00
August	from: Ed Hawkins Donation	\$ 2,000
August	to: Rockingham Planning Commission for Payment 2 of 3 of Open Space Plan	\$ (6,333.00)
August	to: Upton & Hatfield for Incorporation of Glugeth Parcel into Town Forest Easement	\$ (2,816.69)
September	to: Town of Salem for Recreation Coordinator Position (for May 2025 - April 2026)	\$ (19,550.13)
October	to: Conservation Trails LLC for New Kiosks (Payment 1 of 2)	\$ (7,131.08)
November	to: Harvey Signs for Hawkins and Schultz Farms Signs	\$ (3,416.00)
	Net Increase (decrease) [including interest]	\$ 135,216.34